

INLAND WETLANDS  
COMMISSION  
Telephone (203) 563-0180  
Fax (203) 563-0284



TOWN HALL  
238 Danbury Road  
Wilton, Connecticut 06897

## APPLICATION FOR AN INTERMEDIATE REGULATED ACTIVITY

### For Office Use Only:

Filing Fee \$ _____	WET# _____
Date of Submission _____	Wilton Land Record Map# _____
Date of Acceptance _____	Volume # _____ Page # _____
	Assessor's Map # _____ Lot# _____

### APPLICANT INFORMATION:

Applicant <u>Robert Grippando</u>	Agent (if applicable) _____
Address <u>35 Cavalry Hill Rd</u>	Address _____
<u>Wilton, CT 06897</u>	_____
Telephone <u>(203) 219-3540</u>	Telephone _____
Email <u>rob.grippando@gmail.com</u>	Email _____

### PROJECT INFORMATION:

Property Address <u>35 Cavalry Hill Rd</u>	Site Acreage <u>2</u>
Acres of altered Wetlands On-Site <u>Ø (only altering regulated area)</u>	Cu. Yds. of Material Excavated <u>90</u>
Linear Feet of Watercourse <u>315'</u>	Cu. Yds. of Material to be Deposited <u>Ø</u>
Linear Feet of Open Water <u>315'</u>	Acres of altered upland buffer <u>0.019</u>
Sq. Ft. of proposed and/or altered impervious coverage <u>857.50 (24.5 x 35)</u>	Sq. Ft. of disturbed land in regulated area <u>857.50</u>

### APPLICATION REQUIREMENTS:

Is The Site Within a Public Water Supply  
Watershed Boundary? NO ☒ YES\* ☐

Is The Site Within 500 Feet of a Town Boundary?  
NO ☐ YES\* ☒ Wilton

\* If the answer is yes, then the applicant is responsible for notifying the appropriate water authority and/or adjoining community's Wetlands Department. Instructions for notification are available at the office of the commission.

Project Description and Purpose: Construction of an addition to the existing house  
that would include a crawl space patio. The purpose is to create  
an alternative living space to free up room for an in home office.

In addition, the applicant shall provide nine (9) collated copies of the following information as well as an electronic submission via email to [mike.conklin@wiltonct.org](mailto:mike.conklin@wiltonct.org) & [elizabeth.larkin@wiltonct.org](mailto:elizabeth.larkin@wiltonct.org) \*\*

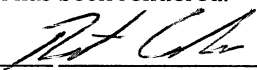
- ☐ A. Written consent from the owner authorizing the agent to act on his/her behalf
- ☐ B. A Location Map at a scale of 1" = 800'
- ☐ C. ***A Site Plan showing existing and proposed features at a scale not to exceed 1" = 40'***
- ☐ D. Sketch Plans depicting the alternatives considered
- ☐ E. Names and addresses of adjoining property owners
- ☐ F. A narrative describing, in detail
  - a. the proposed activity
  - b. the alternatives considered
  - c. impacts
  - d. proposed mitigation measures
- ☐ G. Soils Report prepared by a Certified Soil Scientist and Wetlands Map prepared by a Registered Land Surveyor
- ☐ H. Description of the chemical and physical characteristics of fill material to be used in the Regulated Area
- ☐ I. Description and maps detailing the watershed of the Regulated Area
- ☐ J. One original application and eight (8) copies

**\*\*Application materials shall be collated and copies of documents more than two pages in length shall be double sided.**

See Section 7 of the Wetlands and Watercourses Regulations of the Town of Wilton for a more detailed description of applications requirements.

The Applicant or his/her agent certifies that he is familiar with the information provided in this application and is aware of the penalties for obtaining a permit through deception, inaccurate or misleading information.

By signing this application, permission is hereby given to necessary and proper inspections of the subject property by the Commissioners and designated agents of the Commission or consultants to the Commission, at reasonable times, both before and after a final decision has been rendered.

Applicant's Signature:  Date: 4/7/22

Agent's Signature (if applicable): \_\_\_\_\_ Date: \_\_\_\_\_

**Written consent from the owner authorizing the agent to act on his/her behalf**

Owner is presenting with contractor/builder

**A Location Map at a scale of 1" = 800'**

**A Site Plan showing existing and proposed features at a scale not to exceed 1" = 40'**

**Sketch Plans depicting the alternatives considered**

**Names and addresses of adjoining property owners**

19 Cavalry Hill Road – Joseph Groves and Leah Gambolati

45 Cavalry Hill Road- Sharon Denke/Hakes

26 Cavalry Hill Road - Eric and Alissa Helgesen

42 Cavalry Hill Road - Christopher Mancuso

James and miriam McCrea (1331 Brickell Bay Drive, Miami FL

**A narrative describing, in detail**

**a. the proposed activity**

Contruction of a 24.5x37' family room with crawl space underneath. In addition, a back patio will be installed with bluestone on top of stone dust. The siding will be hardi board. No plumbing is required. No building or existing structure will have to be torn down in order to build. We will only be adding space to the current house and relocating the electric condensors and generator. The new structure will use propane (LP) for heating and cooling. No additional tanks will be required to do this as we have enough tanks already.

**b. the alternatives considered**

We considered and had construction drawings drawn up for a partial basement. We decided against that option because of the additional soil displacement and additional materials and labor involved. We also, considered removing 5 trees that are the closest to the new structure, but decided against that at this time.

**c. impacts**

Impacts considered were that roughly 2-2.5' of top soil will have to removed in order to have the crawl space. The area of soil being removed was "fill" from the 1960s when the house was built. We saw evidence of this when we did work on our septic system a few years ago. We also decided against removing 5 trees. With more square footage we will use more propane for heating and cooling, so we are looking into a system for the fireplace to be able to redistribute heat into the house.

**d. proposed mitigation measures**

All soil removed for the project will be taken off the property. We are also planning on extending our current landscaping in the front of the house another 35-40', which will add local plants and flowers to the property.

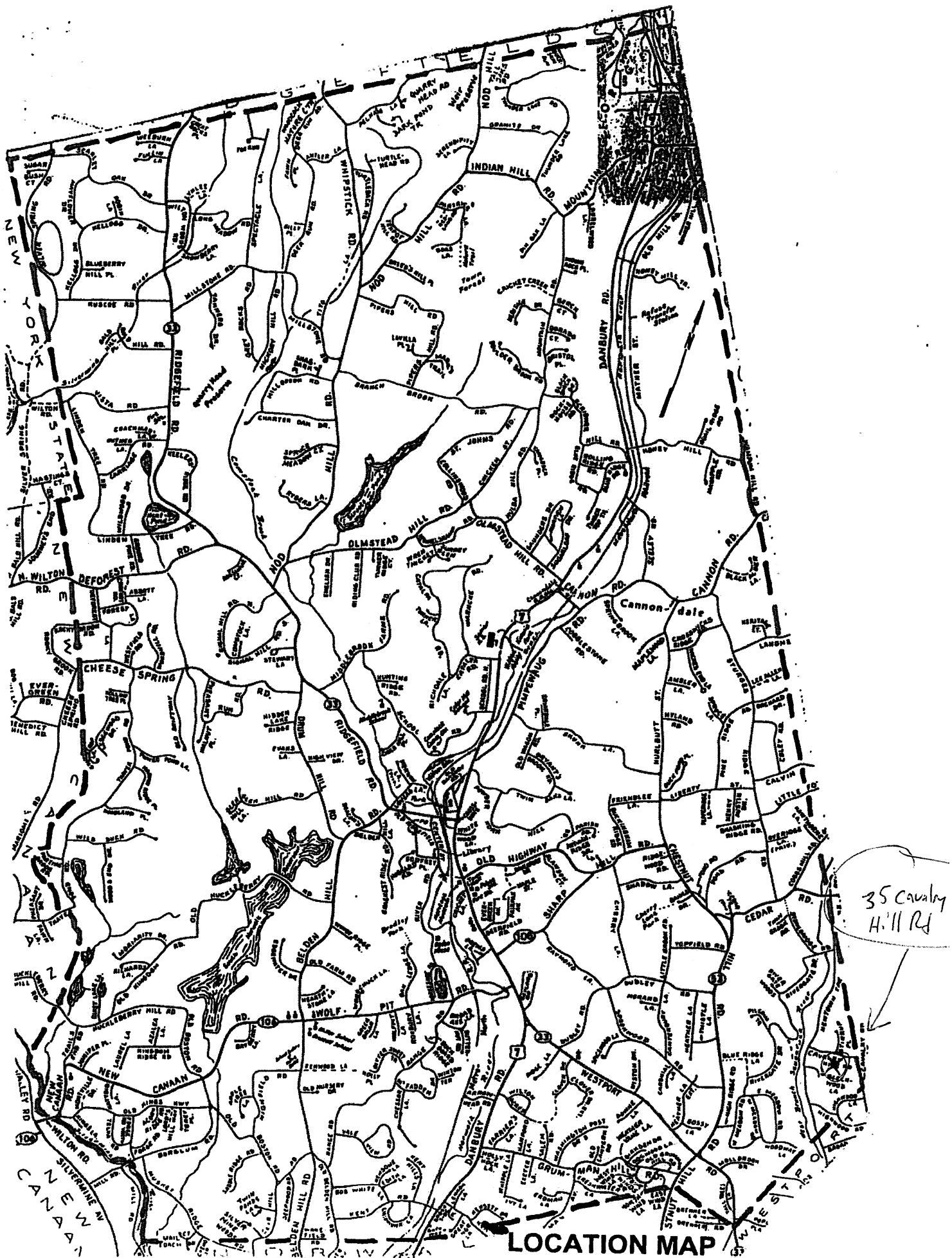
**Soils Report prepared by a Certified Soil Scientist and Wetlands Map prepared by a Registered Land Surveyor**

**Description of the chemical and physical characteristics of fill material to be used in the Regulated Area**

No fill being brought in

**Description and maps detailing the watershed of the Regulated Area**

**One original application and eight (8) copies**



THIS MAP NOT VALID WITHOUT THE SURVEYOR'S LIVE SIGNATURE AND EMBOSSED SEAL.

**AUTHORITIES.** CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455

REFERENCE MADE TO MAPS # 1925, 2578, 2831, AND 2842 OF THE TOWN CLERK'S OFFICE.

MAP #2578 OF THE TOWN CLERK'S OFFICE.

ENCROACHMENTS, IF ANY, NOT LOCATED FOR THE PURPOSE OF THIS SURVEY:

ALL BOUNDARY MONUMENTS FOUND OR SET DEPICTED HEREON.

OFFICE FOR THE ACCURACY OF THE SKETCH OR LOCATION OF THE ACTUAL SYSTEM.

WETLANDS FLAGGED BY OTTO THEALL, SOIL SCIENTIST, AND FIELD LOCATED BY THIS OFFICE

FOR THE PROPOSED SITE CONDITIONS.

MAXIMUM BUILDING COVERAGE: 7%. EXISTING BUILDING COVERAGE: 3.4%.

MAXIMUM SITE COVERAGE: 12%. EXISTING SITE COVERAGE: 6.3%.

MAXIMUM BUILDING COVERAGE: 7%. PROPOSED BUILDING COVERAGE: 4.4%.

MAXIMUM SITE COVERAGE: 12%. PROPOSED SITE COVERAGE: 7.3%.



ON SEPTEMBER 26, 1996.


**CLASS OF ACCURACY: A-2**

**CERTIFIED BY:**

PDF COPY

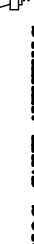
ROGER A. STALKER, LS # 70009

2	6-29-21	+ PROPOSED ADDITION	RAS	
1	3-1-17	+ AS-BUILT DECK & SEPTIC	RAS	
NO.	DATE	DESCRIPTION	BY	



**STALKER LAND SURVEYING, INC.**

Roger Stalker, LS  
503 Danbury Road  
Wilton, Connecticut 06897  
TEL (203) 563-0048  
www.stalkerls.com



<i>DRAWN BY:</i>	RAS	<i>DATE:</i>	9-29-14
<i>CHECKED BY:</i>	RAS	<i>DRAWING NO.:</i>	35 CAYLARY
<i>JOB NO.:</i>	0612014	<i>SHEET</i>	1 OF 1

( IN FEET )  
1 inch = 40 ft.



ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2015 INTERNATIONAL MECHANICAL CODE (IMC)  
2015 INTERNATIONAL PLUMBING CODE (IPC)  
2015 INTERNATIONAL ENERGY CONSERVATION CODE  
2015 INTERNATIONAL ENERGY CONSERVATION CODE  
2017 NATIONAL ELECTRICAL CODE (NEPAFC)  
ALONG WITH ALL REQUIRED TESTING AND APPROVALS

ALL CONTRACTORS SHALL VISIT THE PROJECT SITE AND FAMILIARIZE THEMSELVES WITH ALL THE SITE CONDITIONS INCLUDING ANY BACKFILLING AND REGRADING

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, BRACING, UNDERPINNING, ETC. THAT MAY BE NECESSARY.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK, INCLUDING WINDOW SIZE AND MODEL NUMBERS.

DESIGN ASSUMPTION: SOIL-BEARING CAPACITY IS 2.0 TONS PER SQUARE FOOT.

BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 3'-6" BELOW FINISHED GRADE.

CONTROLLED FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS AND COMPACTED WITH A VIBRATOR ROLLER TO 95 PERCENT OF THE MAXIMUM DRY DENSITY. FILL MATERIAL SHALL BE COMPACTED AT OR NEAR THE OPTIMUM MOISTURE CONTENT.

CONCRETE SHALL BE AIR-ENTRAINED NORMAL WEIGHT CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH AT 28-DAYS OF 3000 PSI. CALCIUM CHLORIDE SHALL NOT BE USED, AND 3,500 PSI AT GRADE SLAB.

REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60. EPOXY COATED

MAXIMUM SLUMP FOR ALL CONCRETE SHALL BE 5 INCHES.

AT NEW CONSTRUCTION: WOOD FRAME, WESTERN TYPE, TRIPLE STUDS AT ALL CORNERS, WOOD BUILT-UP LINTELS AS REQUIRED. DOUBLE PLATE UNDER ALL WINDOWS AND ATOP OF ALL WALLS. DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. ALL NAILING TO BE DONE IN STRICT ACCORDANCE WITH THE LATEST STATE BASIC BUILDING CODE. CONTRACTOR TO PROVIDE A CONTINUOUS BEAD OF GLUE ATOP ALL JOISTS BEFORE SETTING AND NAILING PLYWOOD. ALL FRAMING LUMBER AND PLYWOOD SHALL BE CLEARLY MARKED WITH A GRADE STAMP.

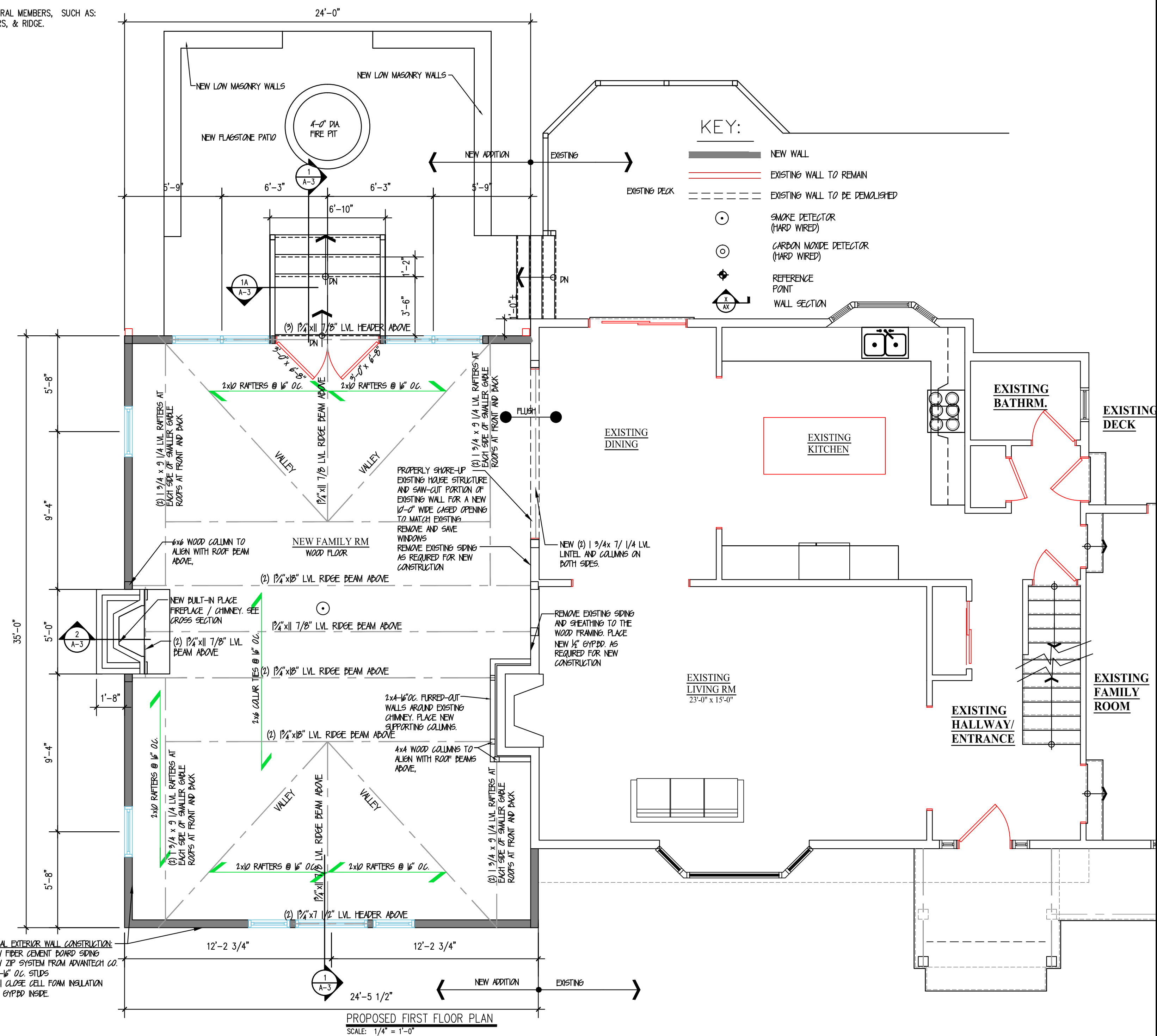
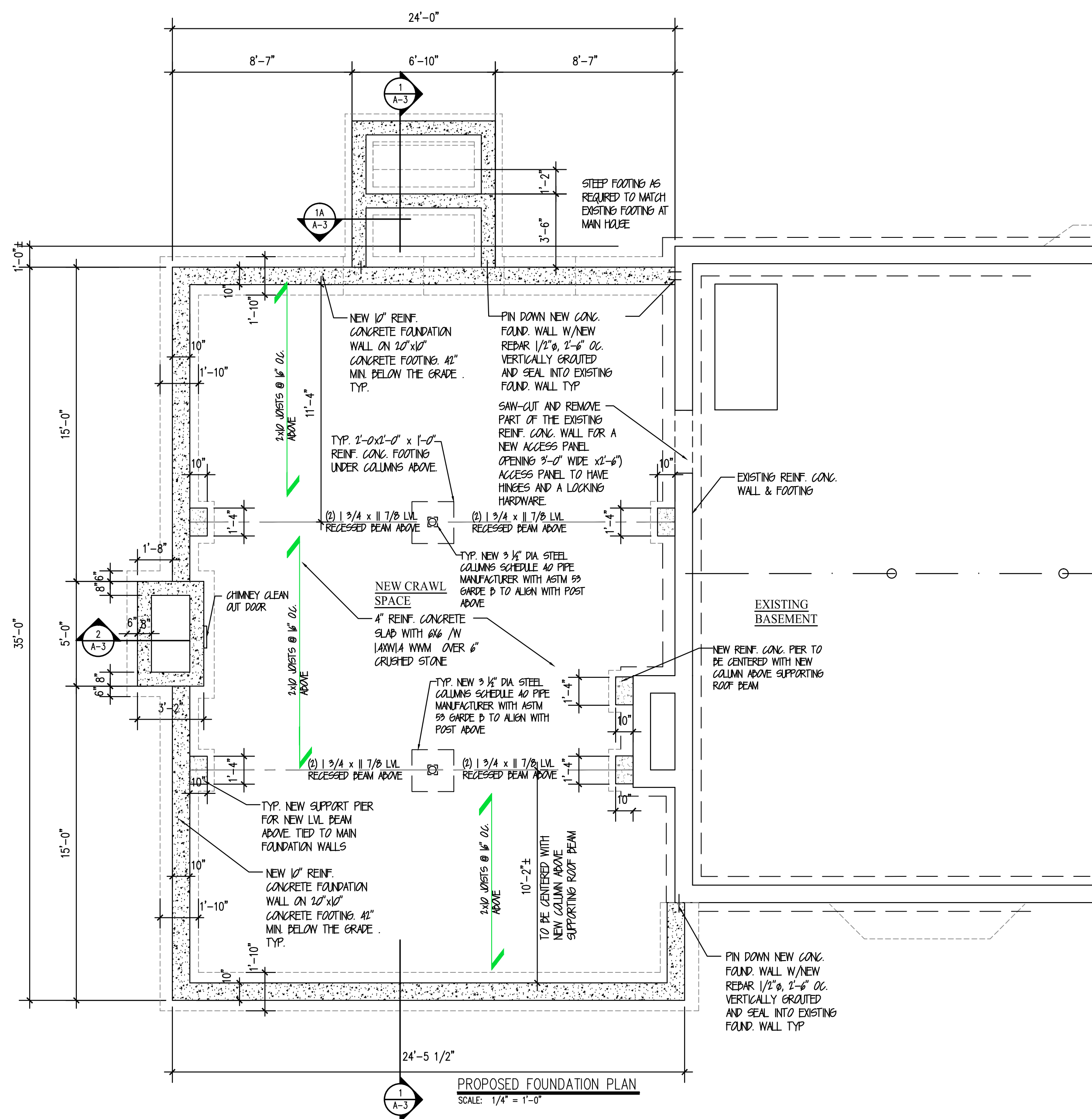
TYPICAL WALL HEADER OVER WINDOW AND DOOR OPENINGS SHALL BE (2)-2X10'S WITH 1/2" PLYWOOD  
FILLER SUPPORTED BY (2)-2 X 6 JACK STUDS AND (1) FULL HEIGHT STUD AT EACH END OF HEADER.  
(UNLESS OTHERWISE NOTED).

ALL WOOD FRAMING IN CONTACT WITH CONCRETE, MASONRY OR EXPOSED TO THE WEATHER SHALL BE CCA PRESERVATIVE TREATED SOUTHERN YELLOW PINE NO.2 OR BETTER AND SHALL BE CLEARLY AND STAMPED "FOR GROUND CONTACT" USE. PLYWOOD IN CONTACT WITH CONCRETE, MASONRY OR EXPOSED TO THE WEATHER SHALL BE CCA PRESERVATIVE TREATED IN ACCORDANCE WITH AMPA STANDARDS C9 FOR PLYWOOD.

15. FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 2 OR SOUTHERN YELLOW PINE NO. 2 OR BETTER.
- 15A. STRUCTURAL LUMBER USED FOR JOISTS, RAFTERS AND COLUMNS SHALL BE NOT LESS THAN NO. 2 GRADE STRUCTURAL FIR AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING	Fb = 550 PSI
TENSION PARALLEL TO GRAIN	Ft = 375 PSI
COMPRESSION PARALLEL TO GRAIN	Fc = 1,350 PSI
MODULUS OF ELASTICITY	E = 1,400,000 PSI
16. BLOCK STUD TO BEARING UNDER ALL HEADERS, BEAMS, AND GIRDERS.
17. DOUBLE JOIST ABOVE ALL ROOF AND FLOOR OPENING, UNLESS NOTED OTHERWISE.
18. DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FLOOR JOIST.
19. NOTCHING IN THE TOP AND BOTTOM OF SOLID SAWN (DIMENSIONAL) JOISTS SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN THE JOISTS SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST AND SHALL NOT EXCEED 1/3 THE DEPTH OF THE JOIST.
20. LAMINATED VENEER LUMBER (LVL) SHALL BE MICROLAM. PARALLEL STRAND LUMBER (PSL) SHALL BE PENAFLEX LUMBER. (TRUSS JOIST MACMILLAN SHALL MANUFACTURE LVL AND PSL MATERIAL.)
21. ALL WINDOWS WITH GLASS LESS THAN 18" ABOVE FINISH FLOOR TO HAVE TEMPERED GLASS. OR CLOSE TO SHOWER/ TUB AREAS.
22. ALL GYPSUM BOARD TO BE 1/2" BEVELED EDGE. 3 COAT TAPING PER MANUFACTURER'S WRITTEN SPECIFICATIONS. GYPSUM BOARD TO SECURED WITH SCREWS AS REQUIRED FOR SPECIFIC DETAIL. TAPING SHALL BE DONE IN MINIMUM 70 DEGREES TEMPERATURE DURING 24 HOURS BEFORE AND DUR 24 HOURS AFTER INSTALLATION. PROVIDE TEMPERATURE HEAT AS REQUIRED.
23. PROVIDE SMOKE DETECTORS AS SHOWN, WIRED IN SERIES (UL LISTED WITH BATTERY BACK-UP) .
24. ALL ELECTRICAL, & PLUMBING WORK SHALL COMPLY WITH INTERNATIONAL RESIDENTIAL CODE (IRC) CHAPTER 39.
25. ALL ROOF VALLEYS TO HAVE COPPER FLASHING.
26. PROVIDE 1"-0" WIDE STRIP OF SELF ADHERE MEMBRANE AT ALL FOUR SIDES OF ALL WINDOW AND DOOR OPENINGS PRIOR TO SETTING WINDOWS AND DOORS (TYPICAL) OR PAN FLASHING AS REQUIRED BY THE IRC CODE
27. WHERE DETAILS ARE NOT INDICATED, THEY SHALL BE CONSIDERED TYPICAL AND APPLY AT SAME AND SIMILAR CONDITIONS.
28. CONTRACTOR SHALL VERIFY SIZES OF ALL STRUCTURAL MEMBERS, SUCH AS: FLOOR JOISTS, BEAMS, HEADERS, COLUMNS, RAFTERS, & RIDGE.

29. ALL DIMENSIONS ARE TO THE FACE OF STUD WALLS UNLESS OTHERWISE NOTED. ALL EXTERIOR WALLS TO BE 2x6-16" oc. OR AS SHOWN ON THE DRAWINGS. INTERIOR WALLS EXCEPT PLUMBING WALLS TO BE 2x4-16" oc OR AS SHOWN ON PLANS. PLUMBING WALLS TO BE 2x6-16" oc.
30. ~~DEGREE OF ALL CONSTRUCTION DEPENDS IN A LEGAL MANNER, PROTECT ALL AREAS OF THE HOUSE BEYOND CONSTRUCTION AREAS FROM DEBRIS, DUST, NOISE.~~
31. ALL SUBCONTRACTORS ARE TO REVIEW THE SITE IN ORDER TO FAMILIARIZE THEMSELVES WITH THE SITE CONDITIONS, PRIOR TO ISSUING A COST PROPOSAL TO THE GENERAL CONTRACTOR AND/OR THE OWNER.
32. EXACT LOCATION OF ALL OUTLETS , TELEPHONE, CABLE TV HOOKUPS & LIGHT FIXTURES TO BE DETERMINED BY OWNER, ELECTRICAL CONTRACTOR & CODE REQUIREMENTS. PLACE WIRING FOR WI IN NEW WALLS, FLOOR AND CEILINGS.
33. COST PROPOSAL TO INCLUDE ALL WORK SHOWN ON THE DRAWINGS A1, A2, AND A-3. ALONG WITH AN AIA CONTRACT BETWEEN OWNER AND CONTRACTOR FOR SMALL PROJECTS. PLUS ALL ELECTRICAL AND PLUMBING WORK AS REQUIRED FOR THE OWNER'S FINAL AND PROPER USE OF THE PREMISES. (INCLUDING EQUIPMENT, MATERIALS, FITTINGS AND MANPOWER.) PAINT ENTIRE NEW ADDITION INSIDE AND ALL AFFECTED AREAS INSIDE. CONTRACTOR IS TO ALSO INCLUDE THE FOLLOWING SCOPE OF WORK TO THE BASE BID. PLACE NEW FINISH TRIM AT ALL NEW DOORS AND WINDOWS TO MATCH EXISTING. ALL LIGHT FIXTURES (AS SELECTED BY THE OWNER) HARDWOOD FLOOR TO MATCH EXISTING AS SHOWN ON PLANS.
34. ALL WINDOWS TO BE BY ANDERSEN CO. SERIES 400 OR APPROVED EQUAL. WITH HIGH-PERFORMANCE ARGON GAS LOW-E GLASS. BLACK EXTERIOR CONTRACTOR TO VERIFY SIZE AND QUANTITY PRIOR TO ORDERING.
35. ALL HVAC SHALL BE ON A DESIGN BUILD BASIS. AS SELECTED BY OWNER. MUST MEET CODE STANDARDS AND REQUIRED TESTING PER IRC SECTION R303.4 AND SECTION M 1507
36. CONTRACTOR TO SEAL ALL PIPE PENETRATION THROUGH ALL EXTERIOR WALLS IN ACCORDANCE TO IRC SECTION P2606.
38. CONTRACTOR TO PLACE EXTERIOR WALL BRACING AS REQUIRED AND SHOWN ON BRACING CALCULATION DRAWING.
39. ALL CONTRACTORS AND SUBCONTRACTORS SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE OWNER FOR REVIEW AND APPROVAL. PRIOR TO ANY ADDITIONAL WORK TO BE PERFORMED. NO ADDITIONAL WORK IS TO PROCEED WITHOUT A WRITTEN AUTHORIZATION FROM THE OWNER.



PROPOSED SECOND FLOOR  
ADDITION AND EXTERIOR  
RENOVATIONS FOR:

Robert & Rebecca  
Grippando

35 Calvary Road  
Wilton CT 06897

PREPARED BY:

**L.F. GARCIA  
ARCHITECTS LLC.**

15 BOND ST  
E. NORWALK CT. 06855  
PHONE (203) 981-5800

THIS DRAWING IS THE PROPERTY  
OF LF. GARCIA ARCHITECTS LLC.  
ANY REPRODUCTION OR USE OF  
THIS DRAWING MUST BE  
APPROVED BY THE ARCHITECT.


DRAWING TITLE:

## PROPOSED PLANS & GENERAL NOTES

**SCALE:**

AS SHOWN

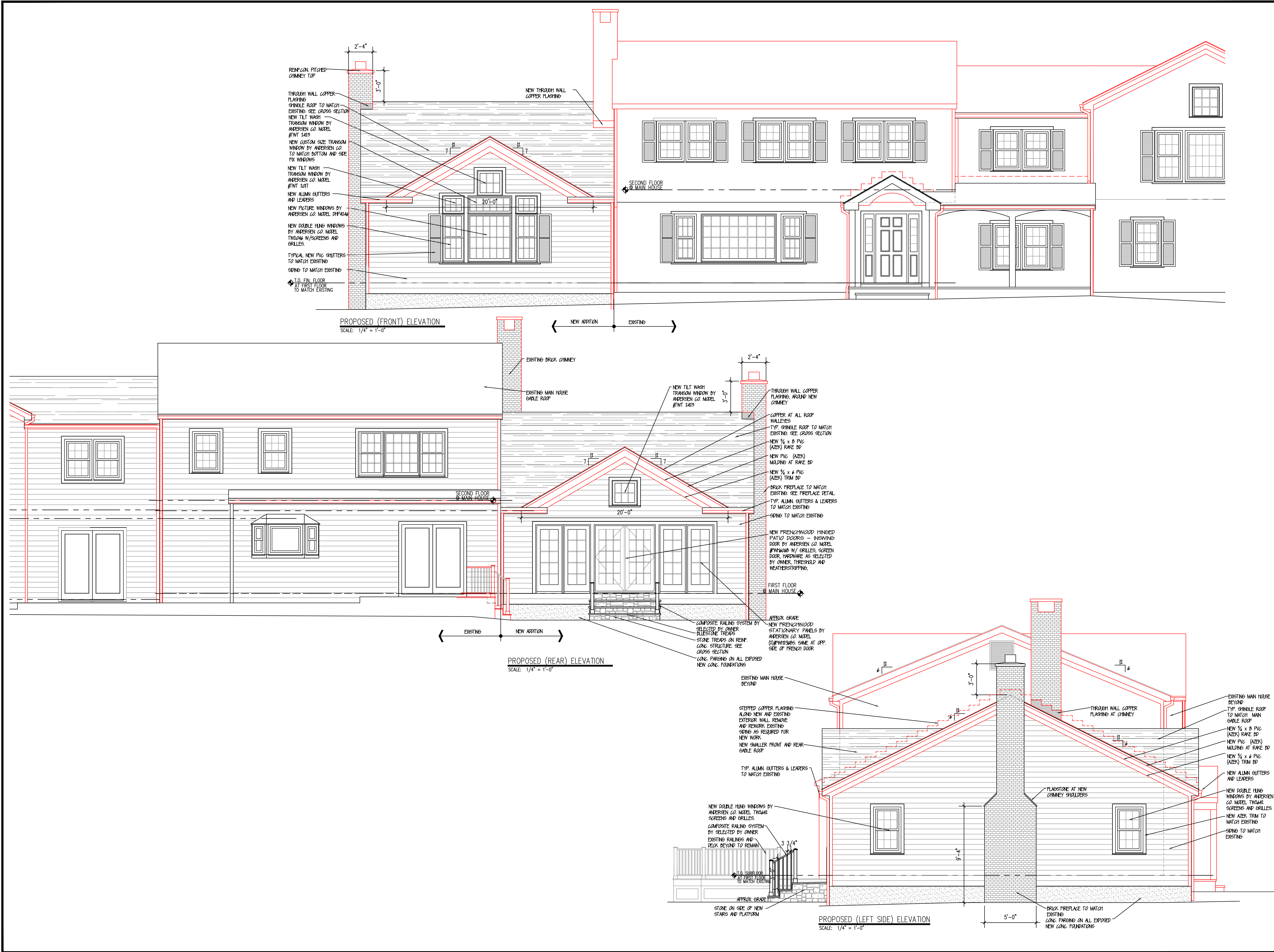
DRAWING NO.

# A-1

DATE:

6-2-2021





PROJECT NAME & LOCATION:  
PROPOSED SECOND FLOOR  
ADDITION AND EXTERIOR  
RENOVATIONS FOR:  
Robert & Rebecca  
Grippando  
35 Calvary Road  
Wilton CT 06897

PREPARED BY:  
L.F. GARCIA  
ARCHITECTS LLC.  
15 BOND ST  
E. NORWALK CT. 06855  
PHONE (203) 981-5800

THIS DRAWING IS THE PROPERTY  
OF L.F. GARCIA ARCHITECTS LLC.  
ANY REPRODUCTION OR USE OF  
THIS DRAWING MUST BE  
APPROVED BY THE ARCHITECT.

REVISION	DATE	COMMENTS

DRAWING TITLE:  
**PROPOSED ELEVATIONS  
& NOTES**

SCALE:  
AS SHOWN

DRAWING NO.

**A-2**

DATE:  
6-2-2021



PROPOSED SECOND FLOOR  
ADDITION AND EXTERIOR  
RENOVATIONS FOR:

PREPARED BY:

15 BOND ST  
E. NORWALK CT. 06855  
PHONE (203) 981-5800

THIS DRAWING IS THE PROPERTY  
OF LF. GARCIA ARCHITECTS LLC.  
ANY REPRODUCTION OR USE OF  
THIS DRAWING MUST BE  
APPROVED BY THE ARCHITECT.

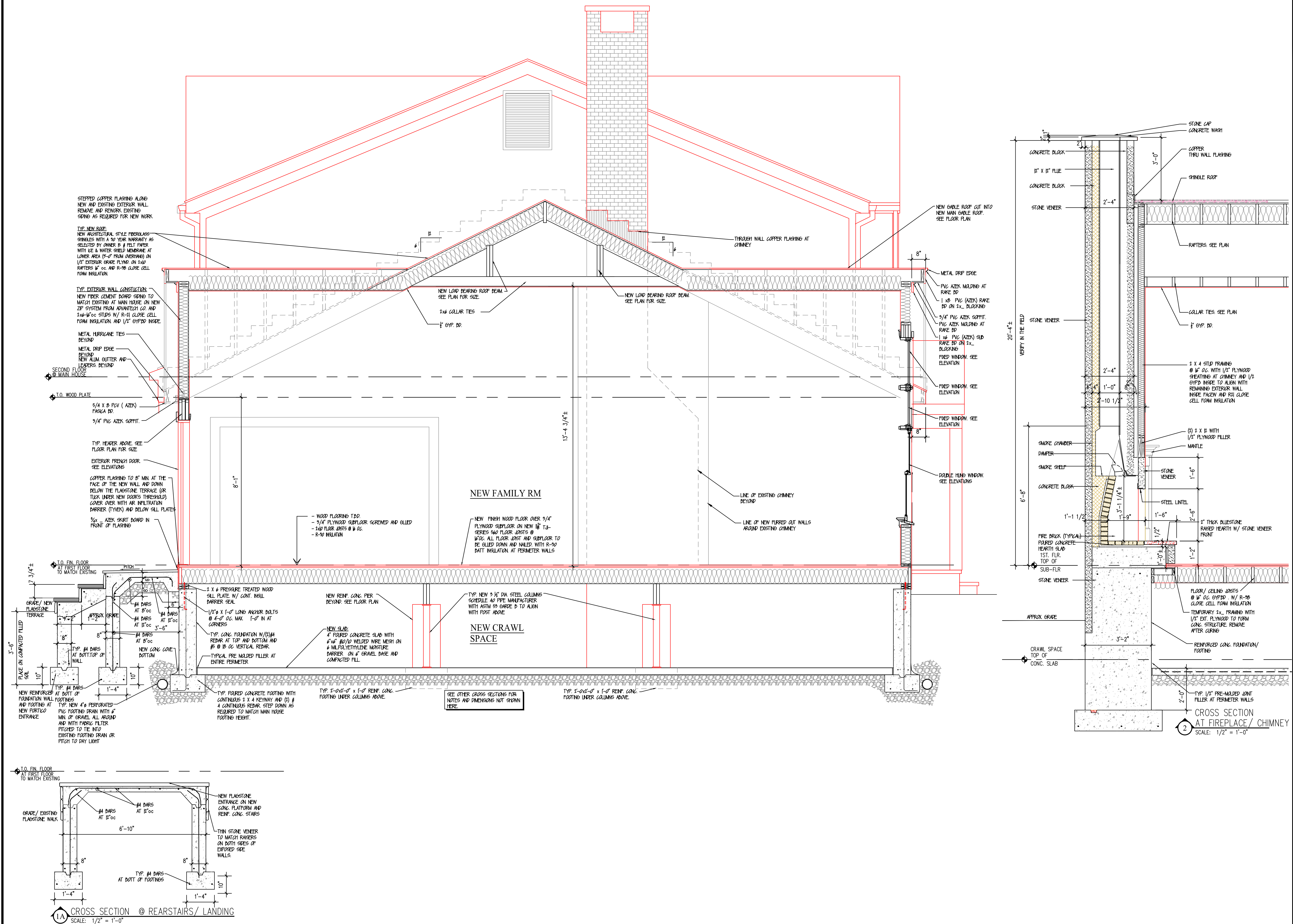
REVISION	DATE	COMMENTS

DRAWING TITLE:

SCALE: AS SHOWN

DRAWING NO.

DATE: 6-2-2021





ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2015 INTERNATIONAL MECHANICAL CODE (IMC)  
2015 INTERNATIONAL PLUMBING CODE (IPC)  
2015 INTERNATIONAL ENERGY CONSERVATION CODE  
2015 INTERNATIONAL ENERGY CONSERVATION CODE  
2017 NATIONAL ELECTRICAL CODE (NEPAFC)  
ALONG WITH ALL REQUIRED TESTING AND APPROVALS

ALL CONTRACTORS SHALL VISIT THE PROJECT SITE AND FAMILIARIZE THEMSELVES WITH ALL THE SITE CONDITIONS INCLUDING ANY BACKFILLING AND REGRADING

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, BRACING, UNDERPINNING, ETC. THAT MAY BE NECESSARY.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK, INCLUDING WINDOW SIZE AND MODEL NUMBERS.

DESIGN ASSUMPTION: SOIL-BEARING CAPACITY IS 2.0 TONS PER SQUARE FOOT.

BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 3'-6" BELOW FINISHED GRADE.

CONTROLLED FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS AND COMPACTED WITH A VIBRATOR ROLLER TO 95 PERCENT OF THE MAXIMUM DRY DENSITY. FILL MATERIAL SHALL BE COMPACTED AT OR NEAR THE OPTIMUM MOISTURE CONTENT.

CONCRETE SHALL BE AIR-ENTRAINED NORMAL WEIGHT CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH AT 28-DAYS OF 3000 PSI. CALCIUM CHLORIDE SHALL NOT BE USED, AND 3,500 PSI AT GRADE SLAB.

REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60. EPOXY COATED

MAXIMUM SLUMP FOR ALL CONCRETE SHALL BE 5 INCHES.

AT NEW CONSTRUCTION: WOOD FRAME, WESTERN TYPE, TRIPLE STUDS AT ALL CORNERS, WOOD BUILT-UP LINTELS AS REQUIRED. DOUBLE PLATE UNDER ALL WINDOWS AND ATOP OF ALL WALLS. DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. ALL NAILING TO BE DONE IN STRICT ACCORDANCE WITH THE LATEST STATE BASIC BUILDING CODE. CONTRACTOR TO PROVIDE A CONTINUOUS BEAD OF GLUE ATOP ALL JOISTS BEFORE SETTING AND NAILING PLYWOOD. ALL FRAMING LUMBER AND PLYWOOD SHALL BE CLEARLY MARKED WITH A GRADE STAMP.

TYPICAL WALL HEADER OVER WINDOW AND DOOR OPENINGS SHALL BE (2)-2X10'S WITH 1/2" PLYWOOD  
SUPPORT BY (2)-2 X 6 JACK STUDS AND (1) FULL HEIGHT STUD AT EACH END OF HEADER.  
(UNLESS OTHERWISE NOTED).

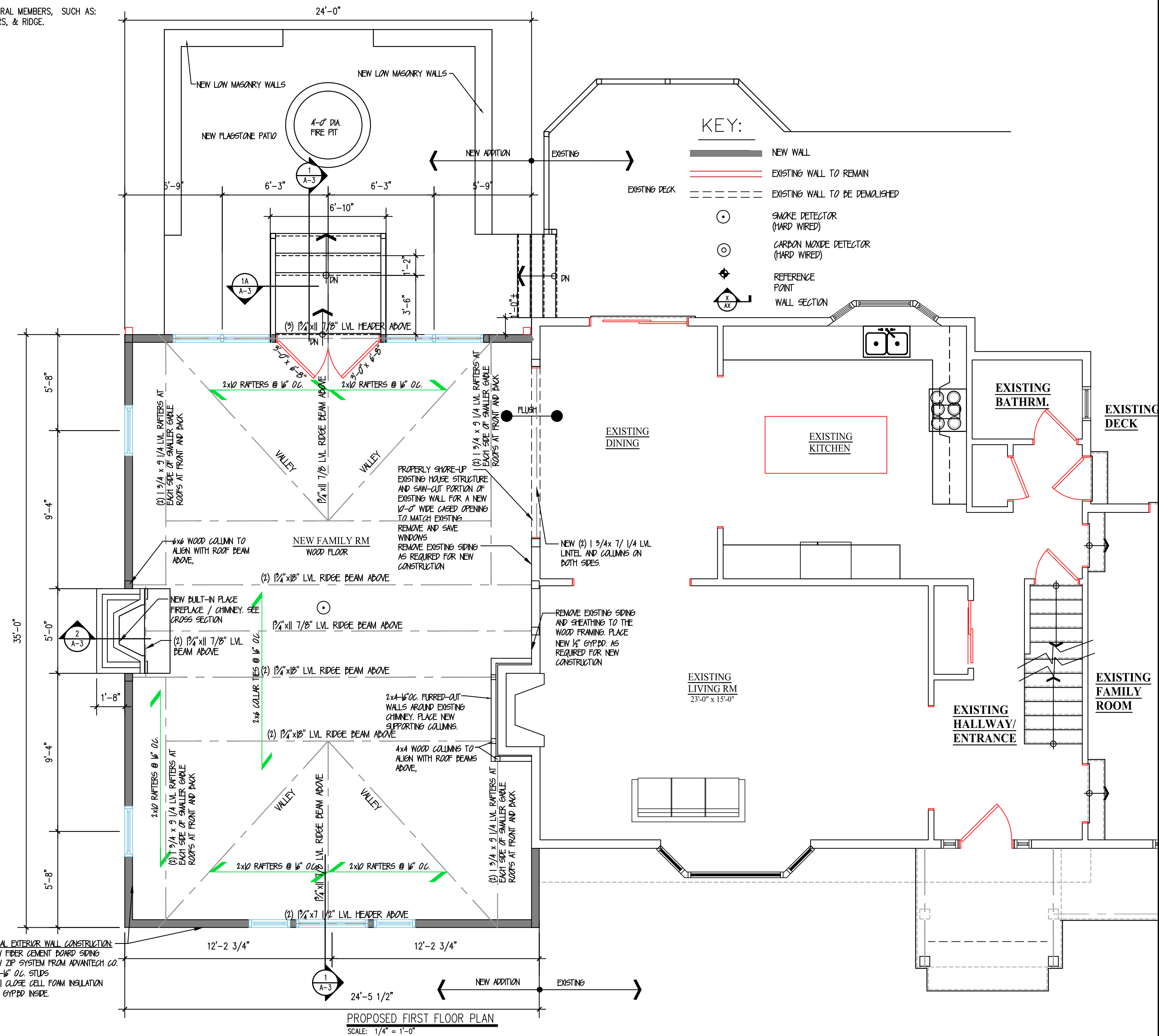
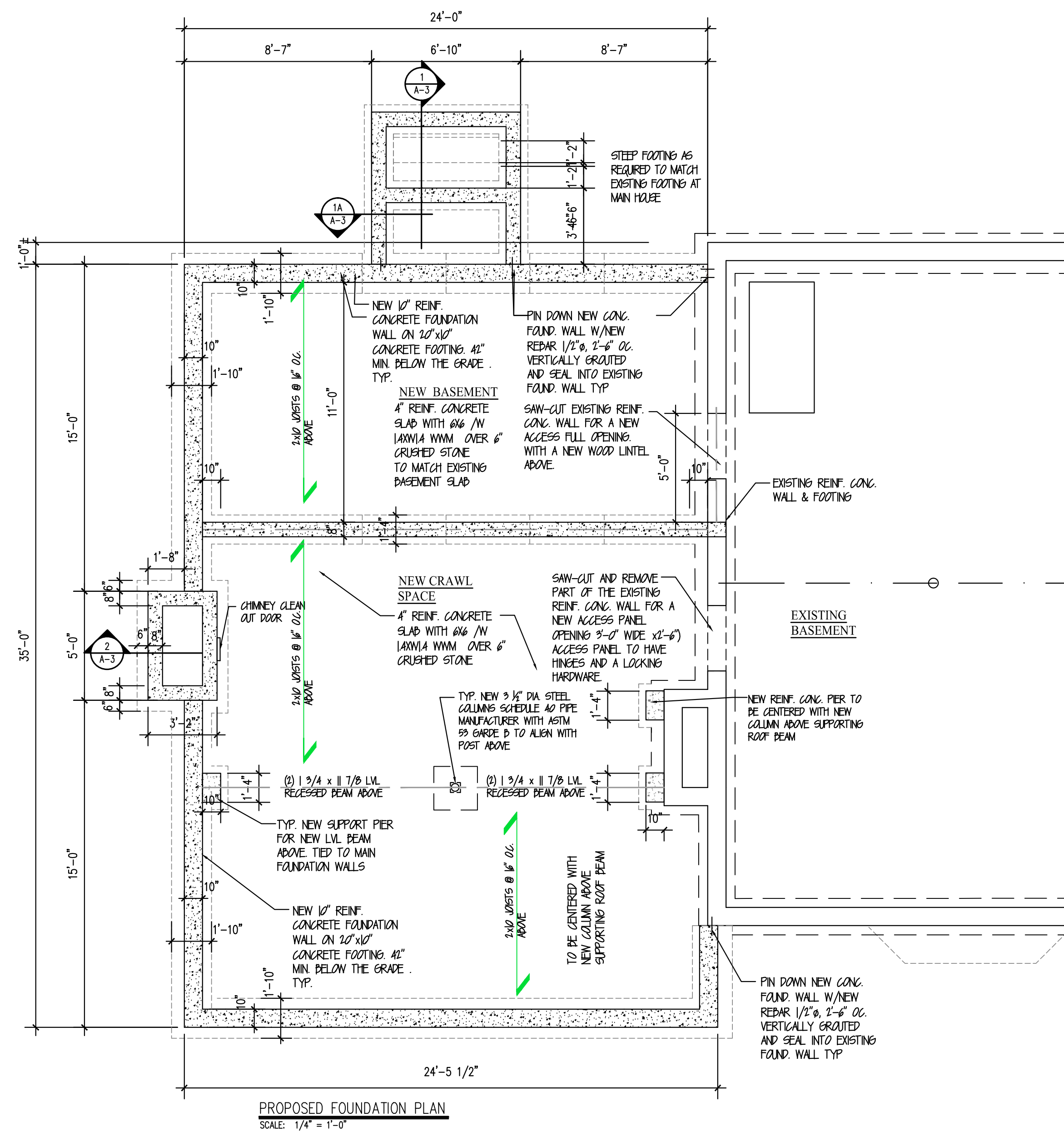
ALL WOOD FRAMING IN CONTACT WITH CONCRETE, MASONRY OR EXPOSED TO THE WEATHER SHALL BE CCA PRESERVATIVE TREATED SOUTHERN PINE. NO. 2 OR BETTER AND SHALL BE CLEARLY AND STAMPED "FOR GROUND CONTACT" USE. PLYWOOD IN CONTACT WITH CONCRETE, MASONRY OR EXPOSED TO THE WEATHER SHALL BE CCA PRESERVATIVE TREATED IN ACCORDANCE WITH AMPA STANDARDS C9 FOR PLYWOOD.

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2015 INTERNATIONAL MECHANICAL CODE (IMC)  
2015 INTERNATIONAL PLUMBING CODE (IPC)  
2015 INTERNATIONAL ENERGY CONSERVATION CODE  
2015 INTERNATIONAL ENERGY CONSERVATION CODE  
2017 NATIONAL ELECTRICAL CODE (NFPA70)  
ALONG WITH ALL REQUIRED TESTING AND APPROVALS
2. ALL CONTRACTORS SHALL VISIT THE PROJECT SITE AND FAMILIARIZE THEMSELVES WITH ALL THE SITE CONDITIONS, INCLUDING ANY BACKFILLING AND REGRADING
3. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
4. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, BRACING, UNDERPINNING, ETC. THAT MAY BE NECESSARY.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK, INCLUDING WINDOW SIZE AND MODEL NUMBERS.
6. DESIGN ASSUMPTION: SOIL-BEARING CAPACITY IS 2.0 TONS PER SQUARE FOOT.
7. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 3'-6" BELOW FINISHED GRADE.
8. CONTROLLED FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS AND COMPACTED WITH A VIBRATOR ROLLER TO 95 PERCENT OF THE MAXIMUM DRY DENSITY. FILL MATERIAL SHALL BE COMPACTED AT OR NEAR THE OPTIMUM MOISTURE CONTENT.
9. CONCRETE SHALL BE AIR-ENTRAINED NORMAL WEIGHT CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI. CALCIUM CHLORIDE SHALL NOT BE USED, AND 3,500 PSI AT GARAGE SLAB.
10. REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60, EPOXY COATED
11. MAXIMUM SLOPE FOR ALL CONCRETE SHALL BE 5 INCHES.
12. AT NEW CONSTRUCTION: WOOD FRAME, WESTERN TYPE, TRIPLE STUDS AT ALL CORNERS. WOOD BUILT-UP UNITS/AS REQUIRED: DOUBLE PLATE UNDER ALL WINDOWS AND ATOP OF ALL WALLS. DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. ALL NAILING TO BE DONE IN STRICT ACCORDANCE WITH THE CONNECTICUT STATE BASIC BUILDING CODE. CONTRACTOR TO PROVIDE A CONTINUOUS BEAD OF GLUE ATOP ALL JOISTS BEFORE SETTING AND NAILING PLYWOOD. ALL FRAMING LUMBER AND PLYWOOD SHALL BE CLEARLY MARKED WITH A GRADE STAMP.
13. TYPICAL WALL HEADER OVER WINDOW AND DOOR OPENINGS SHALL BE (2)-2X10'S WITH 1/2" PLYWOOD FLOOR SUPPORTED BY (2)-2 X 6 JACK STUDS AND (1) FULL HEIGHT STUD AT EACH END OF HEADER. (UNLESS OTHERWISE NOTED).
14. ALL WOOD FRAMING IN CONTACT WITH CONCRETE, MASONRY OR IN CONTACT TO THE WEATHER SHALL BE CCA PRESERVATIVE TREATED SOUTHERN YELLOW PINE NO.2 OR BETTER AND SHALL BE CLEARLY
15. FRAMING LUMBER SHALL BE DOUGLAS FIR, NO. 2 OR SOUTHERN YELLOW PINE NO. 2 OR BETTER.
- 15A. STRUCTURAL LUMBER USED FOR JOISTS, RAFTERS AND COLUMNS SHALL BE NOT LESS THAN NO. 2 GRADE DOUGLAS FIR AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:  

$F_b = 550 \text{ PSI}$   
 $F_t = 375 \text{ PSI}$   
 $F_c = 1,350 \text{ PSI}$   
 $E = 1,400,000 \text{ PSI}$
- 15B. LIGHT FRAMING LUMBER USED FOR STUDS, PARTITIONS, AND MISCELLANEOUS FRAMING SHALL NOT BE LESS THAN NO. 2 GRADE DOUGLAS FIR AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:  

$F_b = 550 \text{ PSI}$   
 $F_t = 375 \text{ PSI}$   
 $F_c = 1,350 \text{ PSI}$   
 $E = 1,400,000 \text{ PSI}$
16. BLOCK STUD TO BEARING UNDER ALL HEADERS, BEAMS, AND GIRDERS.
17. DOUBLE FRAME AROUND ALL FLOOR AND FLOOR OPENING, UNLESS NOTED OTHERWISE.
18. DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FLOOR JOIST.
19. NOTCHING IN THE TOP AND BOTTOM OF SOLID SAWN (DIMENSIONAL) JOISTS SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN THE JOISTS SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST AND SHALL NOT EXCEED 1/3 THE DEPTH OF THE JOIST.
20. LAMINATED VENEER LUMBER (LVL) SHALL BE MICROLAM. PARALLEL STRAND LUMBER (PSL) SHALL BE PARALAM. (TRUSS JOIST MAXIMILAN SHALL MANUFACTURE LVL AND PSL MATERIAL).
21. ALL WINDOWS WITH GLASS LESS THAN 18" ABOVE FINISH FLOOR TO HAVE TEMPERED GLASS, OR CLOSE TO SHOWER/ TUB AREAS.
22. ALL GYPSUM BOARD TO BE 1/2" REVEALED EDGE. 3 COAT TAPING PER MANUFACTURER'S WRITTEN SPECIFICATIONS. GYPSUM BOARD TO BE SECURED WITH SCREWS AS REQUIRED FOR SPECIFIC DETAIL. TAPING SHALL BE DONE IN MINIMUM 70 DEGREES TEMPERATURE DURING 24 HOURS BEFORE AND DURING 24 HOURS AFTER INSTALLATION. PROVIDE TEMPERATURE HEAT AS REQUIRED.
23. PROVIDE SMOKE DETECTORS AS SHOWN, WIRED IN SERIES (UL LISTED WITH BATTERY BACK-UP).
24. ALL ELECTRICAL & PLUMBING WORK SHALL COMPLY WITH INTERNATIONAL RESIDENTIAL CODE (IRC) CHAPTER 39.
25. ALL FLOOR VALLEYS TO HAVE COPPER FLASHING.
26. PROVIDE 1'-0" WIDE STRIP OF SELF ADHERE MEMBRANE AT ALL FOUR SIDES OF ALL WINDOW AND DOOR OPENINGS PRIOR TO SETTING WINDOWS AND DOORS (TYPICAL), OR PAN FLASHING AS REQUIRED BY THE IRC CODE.
27. WHERE DETAILS ARE NOT INDICATED, THEY SHALL BE CONSIDERED TYPICAL AND APPLY AT SAME AND SIMILAR CONDITIONS.
28. CONTRACTOR SHALL VERIFY SIZES OF ALL STRUCTURAL MEMBERS, SUCH AS: FLOOR JOISTS, BEAMS, HEADERS, COLUMNS, RAFTERS, & RIDGE.

29. ALL DIMENSIONS ARE TO THE FACE OF STUD WALLS UNLESS OTHERWISE NOTED. ALL EXTERIOR WALLS TO BE 2x6-16" oc. OR AS SHOWN ON THE DRAWINGS. INTERIOR WALLS EXCEPT PLUMBING WALLS TO BE 2x4-16" oc OR AS SHOWN ON PLANS. PLUMBING WALLS TO BE 2x6-16" oc.
30. DEPOSE OF ALL CONSTRUCTION DEBRIS IN A LEGAL MANNER. PROTECT ALL AREAS OF THE HOUSE BEYOND CONSTRUCTION AREAS FROM DIRT, DUST, NOISE.
31. ALL SUBCONTRACTORS ARE TO REVIEW THE SITE IN ORDER TO FAMILIARIZE THEMSELVES WITH THE SITE CONDITIONS, PRIOR TO ISSUING A COST PROPOSAL TO THE GENERAL CONTRACTOR AND/OR THE OWNER.
32. EXACT LOCATION OF ALL OUTLETS , TELEPHONE, CABLE TV HOOKUPS & LIGHT FIXTURES TO BE DETERMINED BY OWNER, ELECTRICAL CONTRACTOR & CODE REQUIREMENTS. PLACE WIRING FOR WI IN NEW WALLS, FLOOR AND CEILINGS.
33. COST PROPOSAL TO INCLUDE ALL WORK SHOWN ON THE DRAWINGS A1,A2,AND A-3-3. ALONG WITH AN AIA CONTRACT BETWEEN OWNER AND CONTRACTOR FOR SMALL PROJECTS. PLUS ALL ELECTRICAL AND PLUMBING WORK AS REQUIRED FOR THE OWNER'S FINAL AND PROPER USE OF THE PREMISES. (INCLUDING EQUIPMENT, MATERIALS, FITTINGS AND MANPOWER.) PAINT ENTIRE NEW ADDITION INSIDE AND ALL AFFECTED AREAS INSIDE. CONTRACTOR IS TO ALSO INCLUDE THE FOLLOWING SCOPE OF WORK TO THE BASE BID. PLACE NEW FINISH TRIM AT ALL NEW DOORS AND WINDOWS TO MATCH EXISTING. ALL LIGHT FIXTURES (AS SELECTED BY THE OWNER) HARDWOOD FLOOR TO MATCH EXISTING AS SHOWN ON PLANS.
34. ALL WINDOWS TO BE BY ANDERSEN CO. SERIES 400 OR APPROVED EQUAL. WITH HIGH-PERFORMANCE ARGON GAS LOW-E GLASS. BLACK EXTERIOR CONTRACTOR TO VERIFY SIZE AND QUANTITY PRIOR TO ORDERING.
35. ALL HVAC SHALL BE ON A DESIGN BUILD BASIS. AS SELECTED BY OWNER. MUST MEET CODE STANDARDS AND REQUIRED TESTING PER IRC SECTION R303.4 AND SECTION M 1507
36. CONTRACTOR TO SEAL ALL PIPE PENETRATION THRUOUT ALL EXTERIOR WALLS IN ACCORDANCE TO IRC SECTION P2606.
38. CONTRACTOR TO PLACE EXTERIOR WALL BRACING AS REQUIRED AND SHOWN ON BRACING CALCULATION DRAWING.
39. ALL CONTRACTORS AND SUBCONTRACTORS SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE OWNER FOR REVIEW AND APPROVAL. PRIOR TO ANY ADDITIONAL WORK TO BE PERFORMED. NO ADDITIONAL WORK IS TO PROCEED WITHOUT A WRITTEN AUTHORIZATION FROM THE OWNER.



PROJECT NAME &amp; LOCATION:

PROPOSED SECOND FLOOR  
ADDITION AND EXTERIOR  
RENOVATIONS FOR:

Robert & Rebecca  
Grippando

35 Calvary Road  
Wilton CT 06897

**PREPARED BY:**

**L.F. GARCIA  
ARCHITECTS LLC.**

15 BOND ST  
E. NORWALK CT. 06855  
PHONE (203) 981-5800

THIS DRAWING IS THE PROPERTY  
OF LF. GARCIA ARCHITECTS LLC.  
ANY REPRODUCTION OR USE OF  
THIS DRAWING MUST BE  
APPROVED BY THE ARCHITECT.

REVISION	DATE	COMMENTS

DRAWING TITLE:

## PROPOSED PLANS & GENERAL NOTES AT BASEMENT OPTION

**SCALE:**

AS SHOWN

DRAWING NO.

# A-1

DATE:

6-2-202-

# **SOIL & WETLAND SCIENCE, LLC**

**OTTO R. THEALL  
PROFESSIONAL SOIL SCIENTIST  
PROFESSIONAL WETLAND SCIENTIST  
2 LLOYD ROAD  
NORWALK, CONNECTICUT 06850  
OFFICE (203) 845-0278  
CELL (203) 247-0650  
FAX (203) 354-4881  
EMAIL: soilwetlandsci@aol.com**

## **SOIL INVESTIGATION REPORT 35 CAVALRY HILL ROAD WILTON, CONNECTICUT SEPTEMBER 12, 2014**

I conducted an on-site investigation of the soils on the residential property that is located at 35 Cavalry Hill Road in Wilton, Connecticut on September 11 and 12, 2014. The examination for inland wetland soils was conducted in the field by inspection of approximately 65 soil samples taken with spade and auger.

The definitions of wetlands and watercourses used in this investigation are as follows. Inland wetlands in Connecticut are lands, including submerged lands, which consist of any of the soil types designated as poorly drained, very poorly drained, alluvial, and floodplain by the NCSS. Watercourses include rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs and all other bodies of water, natural or artificial, vernal or intermittent. Intermittent watercourses are to be delineated by a defined permanent channel and bank and the occurrence of two or more of the following characteristics: (A) evidence of scour or deposits of recent alluvium or detritus, (B) the presence of standing or flowing water for a duration longer than a particular storm incident, and (C) the presence of hydrophytic vegetation.

The wetlands lines were marked in the field with flags numbered 1 through 17 and 101 through 117. The wetland soils consist of Ridgebury, Leicester and Whitman soils, extremely stony (3) and Leicester fine sandy loam (4). The wetland described by flags 1 through 17 contains an intermittent watercourse. The non-wetland soils consist of Sutton fine sandy loam, extremely stony (52) and Udorthents-Urban land complex (306). The soil map units contain inclusions of other soil types. The results of this investigation are subject to change until they are accepted by the Wilton Inland Wetland Commission.

Respectfully submitted:

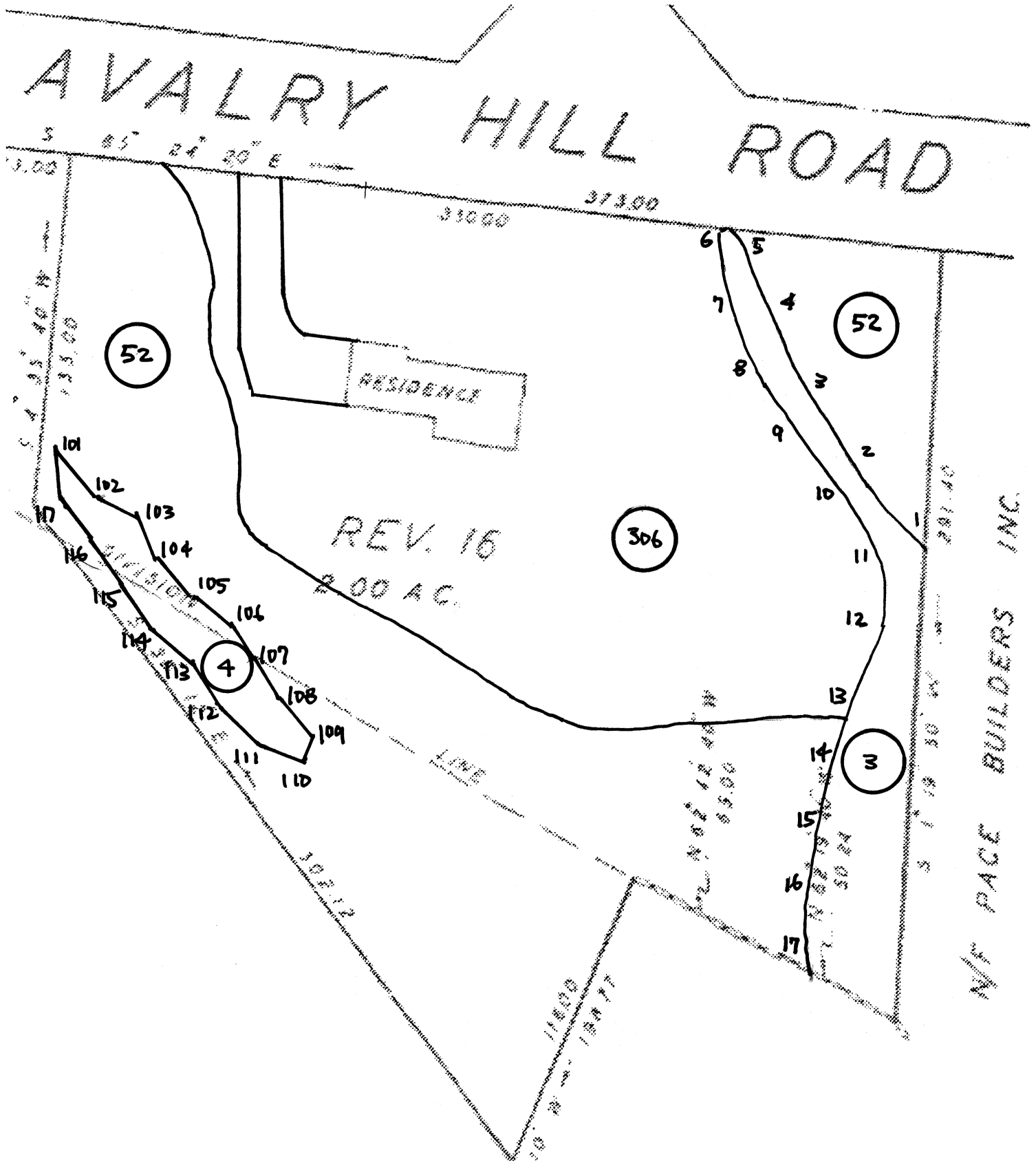


Otto R. Theall  
Professional Soil Scientist



SOIL SURVEY SKETCH MAP  
35 CAVALRY HILL ROAD  
WILTON, CONNECTICUT  
SOIL & WETLAND SCIENCE, LLC  
OTTO R. THEALL  
PROFESSIONAL SOIL SCIENTIST  
SEPTEMBER 12, 2014

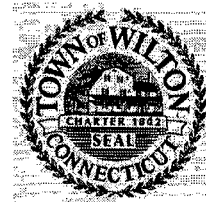
SOIL LEGEND:  
Wetland Soils:  
3 = Ridgebury, Leicester & Whitman  
4 = Leicester fine sandy loam  
Non-wetland Soils:  
52 = Sutton fine sandy loam, e. stony  
306 = Udorthents-Urban land complex



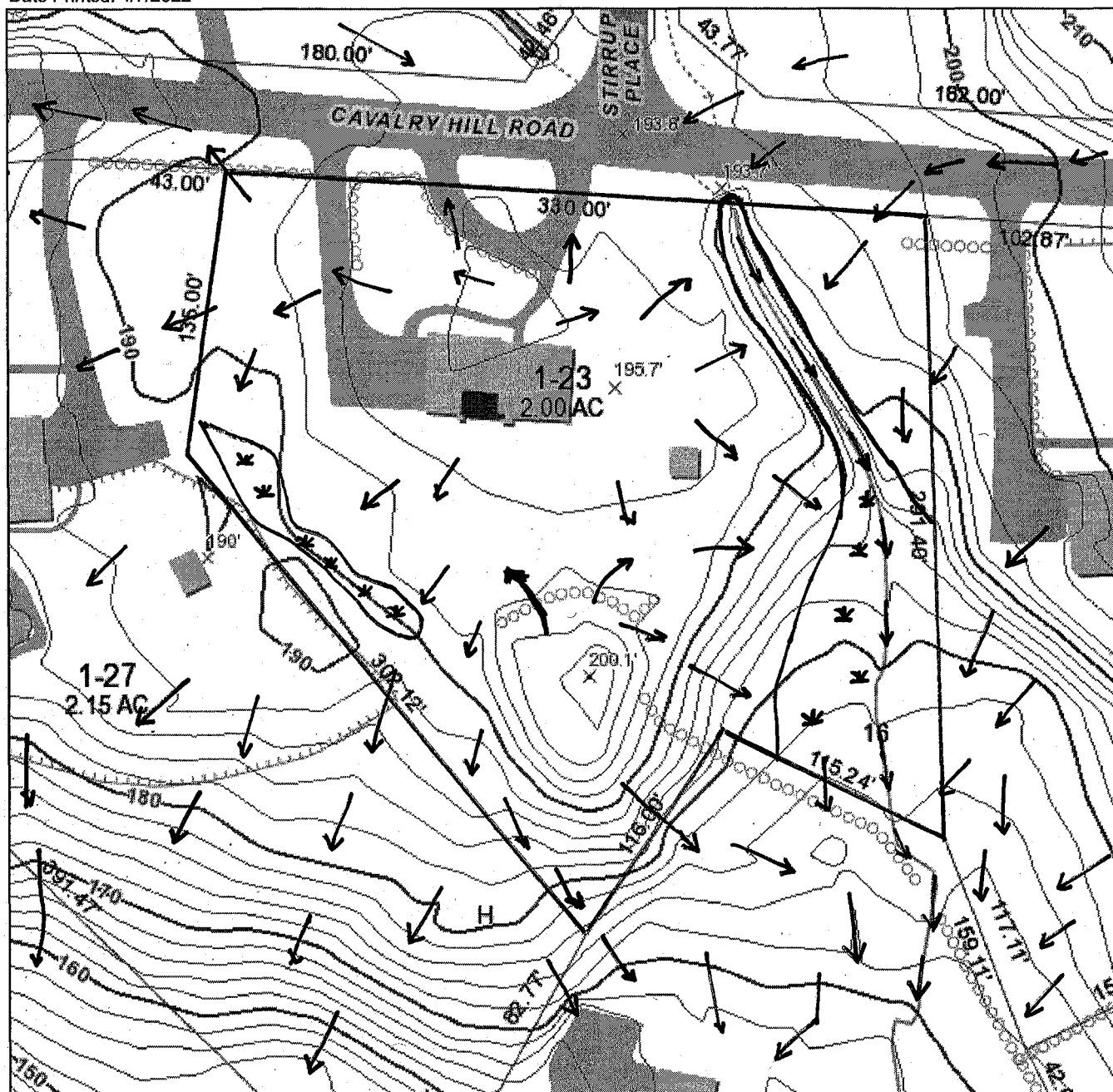
# Town of Wilton

Geographic Information System (GIS)

WATERSHED MAP  
35 CAVALRY HILL ROAD  
WILTON, CONNECTICUT  
SOIL & WETLAND SCIENCE, LLC  
OTTO R. THEALL  
PROFESSIONAL SOIL SCIENTIST  
APRIL 7, 2022



Date Printed: 4/7/2022



## MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Wilton and its mapping contractors assume no legal responsibility for the information contained herein.

Zoning Effective: July 28, 2017

Planimetrics Updated: 2014

Approximate Scale: 1 inch = 75 feet

