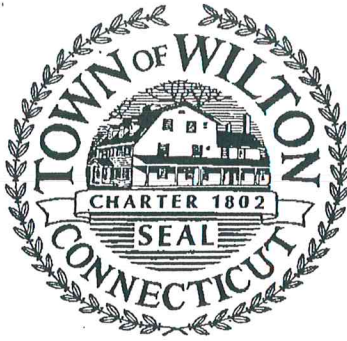


INLAND WETLANDS
COMMISSION
Telephone (203) 563-0180
Fax (203) 563-0284



TOWN HALL
238 Danbury Road
Wilton, Connecticut 06897

APPLICATION FOR A MINOR REGULATED ACTIVITY

For Office Use Only:

Filing Fee \$ _____

Date of Submission _____

Date of Acceptance _____

WET# _____

Wilton Land Record Map# _____

Volume # _____ Page # _____

Assessor's Map # _____ Lot# _____

APPLICANT INFORMATION:

Applicant KEVIN & IRENE ROTH

Address 1030 RIDGEFIELD ROAD
WILTON, CT 06897

Telephone 917 640-3023

Email ikroth@verizon.net

Agent (if applicable) GARY QUARANTA

Address 278 EAGLES LANDING
SHELTON, CT 06484

Telephone 203 640-2513

Email garyq40@gmail.com

PROPERTY INFORMATION:

Property Address 1030 RIDGEFIELD ROAD

Acres of altered Wetlands On-Site - 0 -

Linear Feet of Watercourse ± 195'

Linear Feet of Open Water ± 80'

Site Acreage 2.394

Cu. Yds. of Material Excavated - 0 -

Cu. Yds. of Material to be Deposited - 0 -

Acres of altered upland buffer - 0 -

Sq. Ft. of proposed and/or altered impervious coverage = ADDING ± 727 SF OF COVERED POOL

- WITH PERVIOUS FLOOR
- REMOVING 115 SF OF THE EXISTING HOUSE
- REMOVING 783 SF OF EXISTING DRIVEWAY

Sq. Ft. of disturbed land in regulated area 1135 SF TOTAL
227 NEW
898 TBR

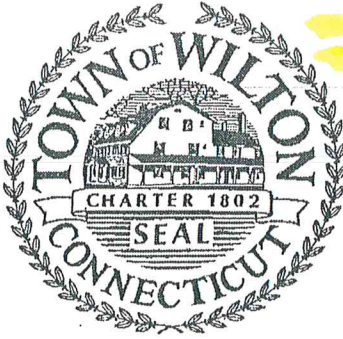
APPLICATION REQUIREMENTS:

Is The Site Within a Public Water Supply
Watershed Boundary? NO YES* X

Is The Site Within 500 Feet of a Town Boundary?
NO X YES*

* If the answer is yes, then the applicant is responsible for notifying the appropriate water authority and/or adjoining community's Wetlands Department. Instructions for notification are available at the office of the commission.

INLAND WETLANDS
COMMISSION
Telephone (203) 563-0180
Fax (203) 563-0284



INFO PROVIDED BY ROGER STALKER
5/28/21 EMAIL AND
TRANSFERRED TO FULL APPLICATION

TOWN HALL
238 Danbury Road
Wilton, Connecticut 06897

APPLICATION FOR A MINOR REGULATED ACTIVITY

For Office Use Only:

Filing Fee \$ _____

Date of Submission _____

Date of Acceptance _____

WET# _____

Wilton Land Record Map# _____

Volume # _____ Page # _____

Assessor's Map # _____ Lot# _____

APPLICANT INFORMATION:

Applicant _____

Address _____

Telephone _____

Email _____

Agent (if applicable) _____

Address _____

Telephone _____

Email _____

PROPERTY INFORMATION:

Property Address _____

Acres of altered Wetlands On-Site 0 ACRES

Linear Feet of Watercourse 195' +/-

Linear Feet of Open Water 80' +/-

Sq. Ft. of proposed and/or altered impervious
coverage _____

Site Acreage _____

Cu. Yds. of Material Excavated - 0 -

Cu. Yds. of Material to be Deposited - 0 -

Acres of altered upland buffer - 0 -

Sq. Ft. of disturbed land in regulated area 1135 SF TOTAL
227 SF NEW
898 SF (TBR)

APPLICATION REQUIREMENTS:

Is The Site Within a Public Water Supply
Watershed Boundary? NO YES* X

Is The Site Within 500 Feet of a Town Boundary?
NO X YES* _____

* If the answer is yes, then the applicant is responsible for notifying the appropriate water authority and/or adjoining community's Wetlands Department. Instructions for notification are available at the office of the commission.

Project Description and Purpose: ADD NEW FRONT PORCH CONNECTING THE EXISTING DETACHED GARAGE TO THE EXISTING HOUSE. ADD A SECOND FLOOR OVER THE EXISTING ONE STORY 1970'S PORTION FACING RIDGEFIELD RD. REMOVE THE OUTDOOR FP/CHIMNEY, GAZEBO AND RAMP OVER THE STREAM. THE BALANCE OF THE WORK IS INTERIOR REMODELING OF KITCHEN & BATHROOMS.

In addition, the applicant shall provide three (3) collated paper copies of the following information as well as an electronic submission via email to mike.conklin@wiltonct.org & elizabeth.larkin@wiltonct.org **

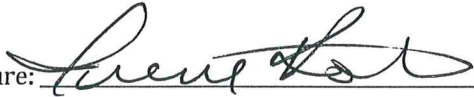
- (/) A. Written consent from the owner authorizing the agent to act on his/her behalf
- (/) B. A Location Map at a scale of 1" = 800'
- (/) C. A Site Plan showing existing and proposed features
- (/) D. Names and addresses of adjoining property owners

****Application materials shall be collated and copies of documents more than two pages in length shall be double sided.**

See Section 7 of the Wetlands and Watercourses Regulations of the Town of Wilton for a more detailed description of applications requirements.

The Applicant or his/her agent certifies that he is familiar with the information provided in this application and is aware of the penalties for obtaining a permit through deception, inaccurate or misleading information.

By signing this application, permission is hereby given to necessary and proper inspections of the subject property by the Commissioners and designated agents of the Commission or consultants to the Commission, at reasonable times, both before and after a final decision has been rendered.

Applicant's Signature:  Date: 6/8/21

Agent's Signature (if applicable) _____ Date: _____

WILTON BUILDING
DEPARTMENT

Building Official
Demolition Officer
Tel: 203-563-0177



TOWN HALL ANNEX
238 Danbury Road
Wilton, Connecticut 06897

Fax: 203-563-0284

LETTER OF AUTHORIZATION

To Whom It May Concern:

I hereby declare the following:

1. That I am the owner of the premises described as follows:

1030 RIDGEFIELD RD WILTON CT R-2A
Street City State Zone

2. That GARY QUARANTA is duly authorized for and on behalf of the owner to execute an application for building, zoning, health and wetlands permits to enable him/her to obtain permits to complete construction of the following work ADD A SECOND FLOOR OVER THE EXISTING FOOTPRINT OF THE CURRENT LIVING AND DO A COMPLETE INTERIOR REMODELING INCLUDING KITCHEN, BATHROOMS & NEW HUNG SYSTEM at the above site.

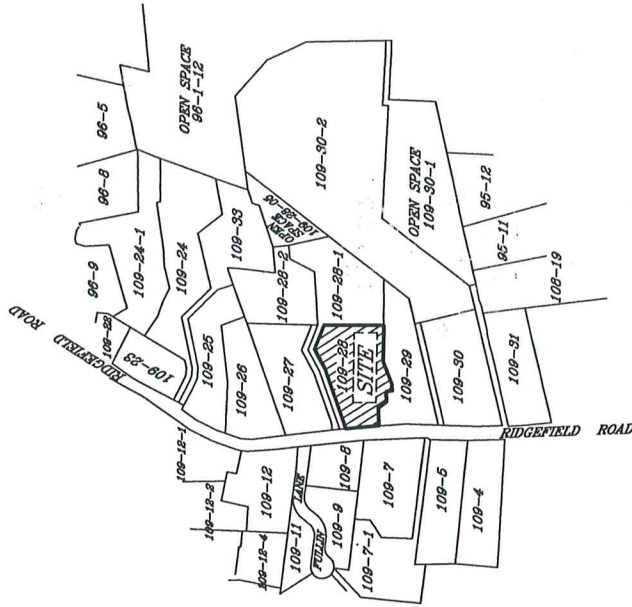
3. That GARY QUARANTA is hereby designated as the owner's representative with whom all town departments may deal with in respect to the work involved.

4. That this authorization also includes any and all electrical, plumbing, heating, and HVAC contractors doing work in conjunction with the above noted activity to obtain the appropriate sub permits.

Date: 6/8/21

Owner: IRENE ROTH
Print Name

[Signature]
Signature



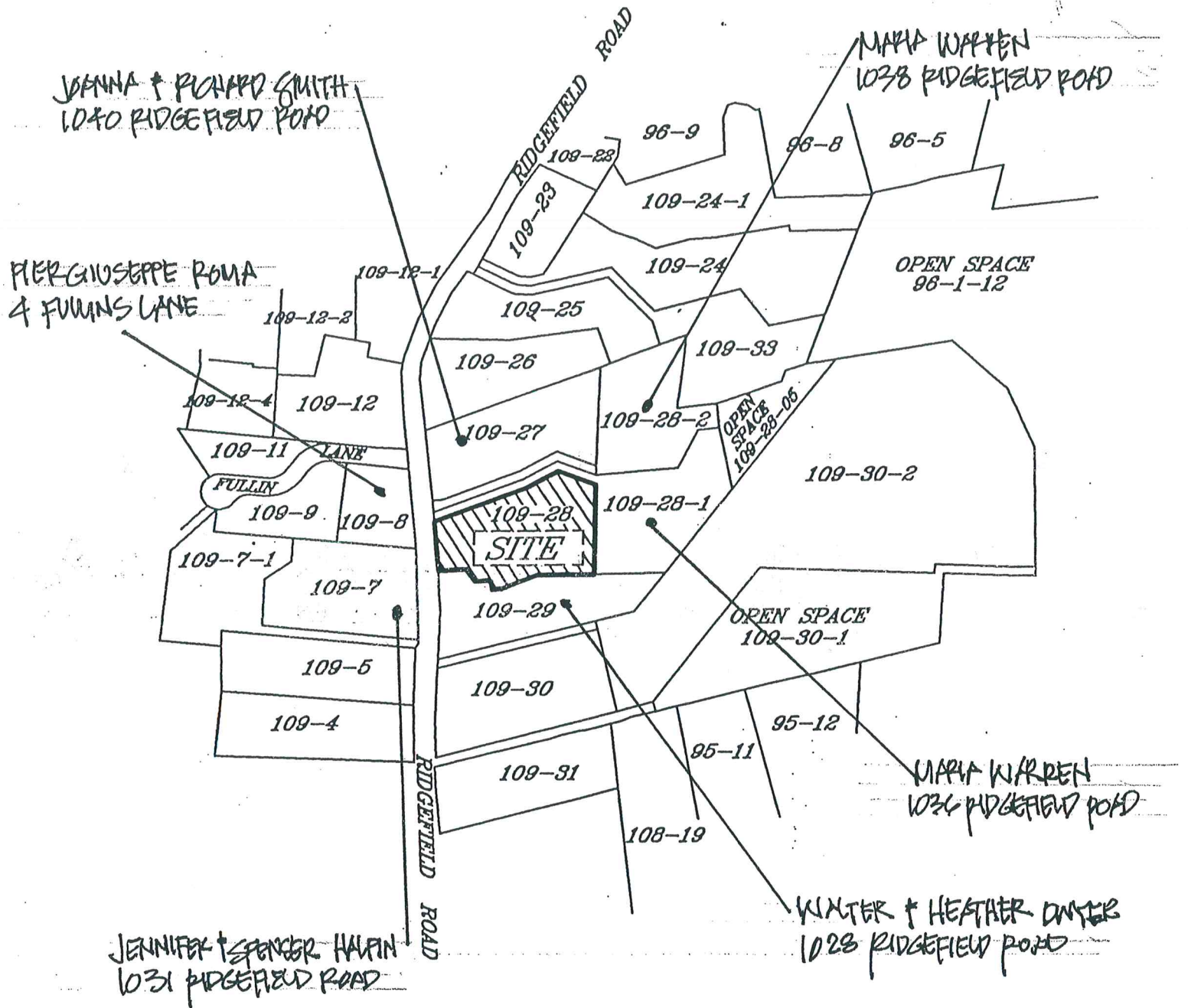
VICINITY SKETCH
1030 RIDGEFIELD ROAD
ZONE: R2A

WILTON, CONNECTICUT
PREPARED FOR

KEVIN ROSS

MAY 21, 2021

SCALE: 1" = 800'



NEIGHBORS

Watershed or Aquifer Area Project Notification Form

REQUIREMENT:

Within seven days of filing, all applicants before a municipal Zoning Commission, Planning and Zoning Commission, Zoning Board of Appeals or Inland Wetlands Commission for any project located within a public water supply aquifer or watershed area are required by Public Act No. 06-53 of the CT General Statutes to notify The Commissioner of Public Health and the project area Water Company of the proposed project by providing the following information.

To determine if your project falls within a public water supply aquifer or watershed area visit the appropriate town hall and look at their *Public Drinking Water Source Protection Areas* map. If your project falls completely within or contain any part of a public water supply aquifer or watershed you are required to complete the following information.

Note: You will need information obtained from the *Public Drinking Water Source Protection Areas* map located in the appropriate town hall to complete this form.

Step 1: Have you already notified the CT Department of Public Health (CTDPH) of this project?

- ☒ No, Go to Step 2
- ☐ Yes, I have notified DPH under a different project name - Complete steps 4-6
- ☐ Yes, same name different year - Notification Year Complete steps 4-6

Step 2:

- Name of public water supply aquifer your project lies within:
- Name of the public water supply watershed your project lies within:
- Public Water Supply Identification number (PWSID) for the water utility:

Step 3: For 1-5 Check all that apply

1. My project is proposing:

- ☐ Industrial use; ☐ Commercial use; ☐ Agricultural use; ☒ Residential use;
- ☐ Recreational use; ☐ Transportation improvements; ☐ Institutional (school, hospital, nursing home, etc.);
- ☐ Quarry/Mining; ☐ Zone Change, Please Describe:
- ☐ Other, Please describe:

2. The total acreage of my project is:

- ☒ Less than or equal to 5 acres ☐ Greater than 5 acres

3. My project site contains, abuts or is within 50 feet of a:

- ☒ Wetland; ☒ Stream; ☐ River; ☐ Pond or Lake

4. Existing use of my project site is:

☐ Grassland/meadow; ☐ Forested; ☐ Agricultural; ☐ Transportation; ☐ Institutional (school, hospital, nursing home, etc.); ☒ Residential; ☐ Commercial; ☐ Industrial; ☐ Recreational; ☐ Quarry/Mining
☐ Other Please Describe:

5. My project will utilize:

☒ ^{EXISTING} septic system; ☐ existing public sewer; ☐ new public sewer; ☐ agricultural waste facility;
☒ existing private well; ☐ new private well; ☐ existing public water supply;
☐ new public water supply, if new have you applied for a certificate of public convenience and necessity from DPH? ☐ Yes ☐ No

6. My project will contain this percentage of built up area (buildings, parking, road/driveway, pool): ☒ Less than or equal to 20% ☐ Greater than 20% to 50% ☐ Greater than 50%

Step: 4 Applicants Contact Information:

Name:
E-mail address:
Telephone:
Fax number:

Step 5: Please provide the following if available:

Project name:
Project site address:
Town:
Project site nearest intersection:
Project site latitude and longitude:

E-mail completed form to dph.swpmail@ct.gov



January 26, 2021

First Taxing Dist. Water Department
12 New Canaan Avenue
Norwalk, CT 06851

CT # 103011
Brown's Reservoir

To whom it may concern:

This is to notify you per Inland Wetlands Instruction of our proposal to renovate the home at 1030 Ridgefield Road, Wilton.

The only changes to the footprint are a new front porch.

- A new front porch connecting the existing detached garage and existing house, to be built on concrete piers to minimize any disturbance.
- The removal of an existing FP & Chimney.
- Removal of a small area of the existing driveway and some accessory structures.

All other work will be done within the existing footprint of the current structure.

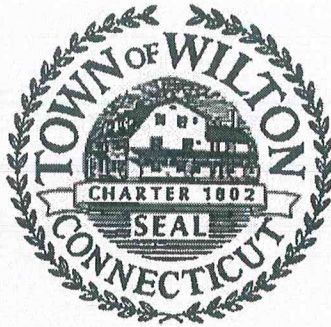
Yours truly,

A handwritten signature in blue ink, appearing to read 'Robert Storm', with a long horizontal flourish extending to the right.

Robert Storm, A.I.A.

RS/gc

INLAND WETLANDS
COMMISSION
Telephone (203) 563-0180
Fax (203) 563-0284



TOWN HALL
238 Danbury Road
Wilton, Connecticut 06897

ADDENDUM TO APPLICATION – NOTICE TO WATER COMPANY & CT DEPT. OF PUBLIC HEALTH

Section 8-31 of the Connecticut General Statutes states, in part, “When an applicant files with the Zoning Commission, Planning and Zoning Commission or Zoning Board of Appeals of any municipality an application, petition, request or plan concerning any project on any site which is within the watershed of a water company, as defined in Section 25-32a, the applicant shall **provide written notice of the application, petition, request or plan to the water company...** Such notice shall be made by certified mail, return receipt requested, and shall be made within seven days of the date of the application...”

The watershed map is located in the Planning and Zoning Office in the Town Hall Annex.

The certified letter should state the address of the property and the intention of the application. It is helpful to include a project plan, although not required.

The address is either:

~~SNEW
South Norwalk Electric and Water Company
164 Old Boston Road
Wilton, CT 06897
CT#1030021
South Norwalk Reservoir/City Lake
Pope's Pond/Street's Pond~~

First Taxing Dist. Water Department
12 New Canaan Avenue
Norwalk, CT 06851

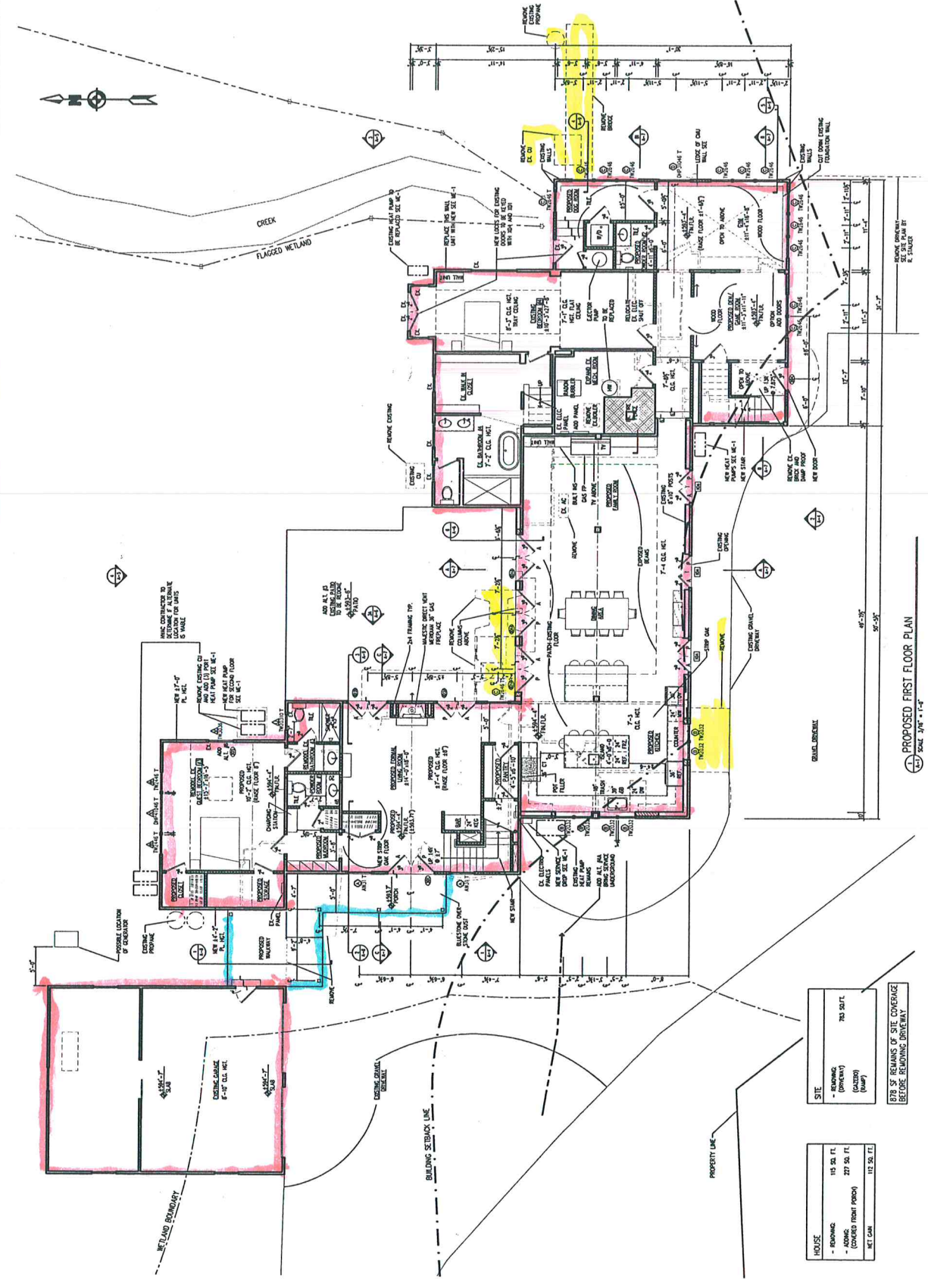
CT#103011
Brown's Reservoir

Public Water Supply Watershed or Aquifer Area Project Notification

Under the Public Act 06-53 notification requirement, applicants with projects in public water supply watersheds or aquifer protection areas must notify the CTDPH in addition to the project area water company.

The CT DPH Drinking Water Section prefers applicants use the listed website to satisfy the notification requirement. You may access the online PA 0653 Notification Form on the Source Water Protection Program website: https://portal.ct.gov/-/media/Departments-and-Agencies/DPH/dph/drinking_water/pdf/WatershedorAquiferAreaProjectNotificationFormpdf.pdf

Revised For	Date
Initial Design	01/20/2021
Design Development I	03/23/2021
Design Development II	03/23/2021
Final Design	03/23/2021
Construction Documents I	03/23/2021
Construction Documents II	03/23/2021
Construction Documents III	03/23/2021
Construction Documents IV	03/23/2021
Construction Documents V	03/23/2021
Construction Documents VI	03/23/2021
Construction Documents VII	03/23/2021
Construction Documents VIII	03/23/2021
Construction Documents IX	03/23/2021
Construction Documents X	03/23/2021
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Construction Documents XIX	03/23/2021
Construction Documents XX	03/23/2021
Construction Documents XXI	03/23/2021
Construction Documents XXII	03/23/2021
Construction Documents XXIII	03/23/2021
Construction Documents XXIV	03/23/2021
Construction Documents XXV	03/23/2021
Construction Documents XXVI	03/23/2021
Construction Documents XXVII	03/23/2021
Construction Documents XXVIII	03/23/2021
Construction Documents XXIX	03/23/2021
Construction Documents XXX	03/23/2021



SEE ME PAGE
FOR SHAW/DO DETAILINGS

NEW WALL
EXISTING WALL

ROBERT STORM
ARCHITECTS
WESTPORT, CT 06895
PHONE: 203.222.0093
FAX: 203.222.0097

ROTH RESIDENCE
1039 RIDGEFIELD ROAD
WILTON, CT

PROPOSED
FIRST FLOOR PLAN

21-01

Jan. 20, 2021

A-1
AS NOTED

REMOVED
EXISTING
PROPOSED

PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

HOUSE	115 SQ. FT.	227 SQ. FT.	112 SQ. FT.
- REMOVING			
- ADDING (TOTAL FLOOR)			
- NET GAIN			

SITE	783 SQ. FT.	783 SQ. FT.	783 SQ. FT.
- REMOVING			
- ADDING (TOTAL FLOOR)			
- NET GAIN			

579 SQ. REMAINS OF SITE COVERAGE
BEFORE REMOVING DRIVEWAY

ANY REPRODUCTION, ALTERATION, OR REPRINTING WITHOUT THE SURVEYOR'S KNOWLEDGE AND APPROVAL, WILL VOID ANY CERTIFICATIONS, AND NO LIABILITY SHALL BE ASSUMED BY THE SURVEYOR FOR THE SAME.

THIS MAP NOT VALID WITHOUT THE SURVEYOR'S LIVE SIGNATURE AND EMBOSSED SEAL.

UNDERGROUND UTILITIES, STRUCTURES, AND FACILITIES NOT FIELD LOCATED. THE SIZE, LOCATION, EXISTENCE OR NON-EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES. CONTACT *CALL BEFORE YOU DIG* AT 1-800-922-4455.

REFERENCE MADE TO MAPS #5768 OF THE TOWN CLERK'S OFFICE.

UNDERGROUND ENCROACHMENTS, IF ANY, NOT LOCATED FOR THE PURPOSE OF THIS SURVEY.

THE PURPOSE OF THIS SURVEY IS TO ALLOW DETERMINATION OF COMPLIANCE WITH ZONING REGULATIONS. REFERENCE MADE TO AGREEMENT BETWEEN DWYER AND WARREN RECORDED IN VOL. 2305, AT PG. 240, OF THE WILTON TOWN CLERKS OFFICE, GRANTING LICENCES FOR ENCROACHMENTS.

EXISTING SEPTIC SYSTEM AS DEPICTED ON "REPAIR - SEWAGE DISPOSAL SYSTEM FOR: WARREN RESIDENCE, 1030 RIDGEFIELD ROAD" PREPARED BY NEXUS ENGINEERING ASSOCIATES, ON FILE IN THE WILTON HEALTH DEPARTMENT.

MAXIMUM BUILDING COVERAGE: 7%. EXISTING BUILDING COVERAGE: 4.99%.

MAXIMUM SITE COVERAGE: 12%. EXISTING SITE COVERAGE: 11.15%.

MAXIMUM BUILDING COVERAGE: 7%. PROPOSED BUILDING COVERAGE: 5.0%.

MAXIMUM SITE COVERAGE: 12%. PROPOSED SITE COVERAGE: 10.35%.

REFERENCE MADE TO ARCHITECTURAL DRAWING PROVIDED BY ROBERT STORM, ARCHITECT, IN AUTOCAD FORMAT, FOR THE PROPOSED SITE CONDITIONS.

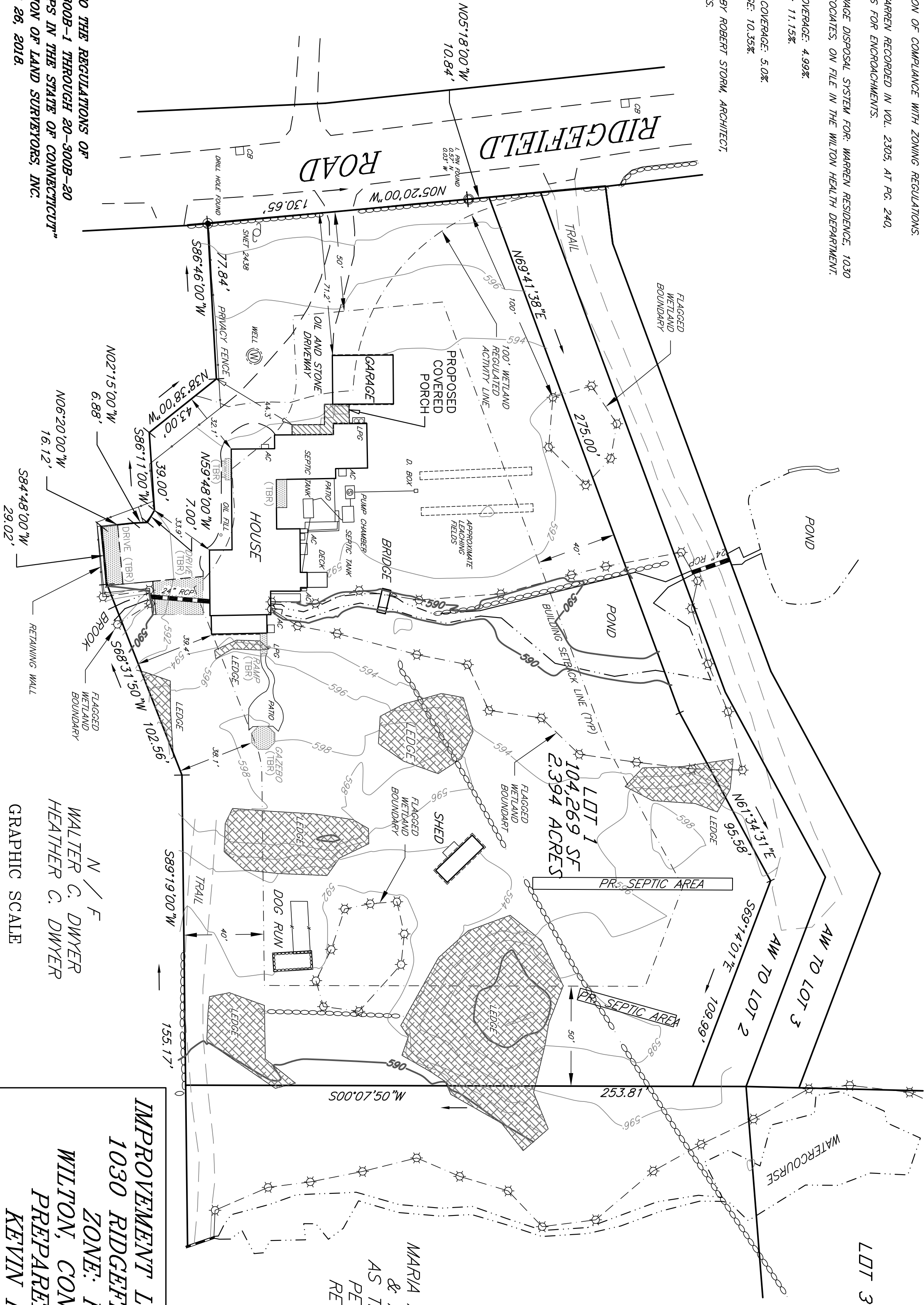
THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996, AMENDED OCTOBER 26, 2018.

SURVEY TYPE: IMPROVEMENT LOCATION SURVEY
BOUNDARY DETERMINATION CATEGORY: RESURVEY
CLASS OF ACCURACY: A-2 / T-2

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
CERTIFIED BY:

Roger A. Stalker
ROGER A. STALKER, LS # 70009

PDF COPY



RE MAP #5768

LOT 2
N / F
MARIA ALEJANDA WARREN
& ANNE E. CRANE
AS TRUSTEE'S OF THE
PETER K. WARREN
REVOCABLE TRUST

IMPROVEMENT LOCATION MAP
1030 RIDGEFIELD ROAD
ZONE: R-2A
WILTON, CONNECTICUT
PREPARED FOR
KEVIN ROTH
AND
IRENE JASHYNN ROTH
DECEMBER 4, 2019

2	5-28-21	+ PROPOSED RENOVATIONS	RAS		
1	1-15-21	UPDATE COVERAGE, + DECK	RAS		
NO.	DATE	DESCRIPTION	BY		

STALKER LAND SURVEYING, INC.

Roger Stalker, LS
500 Danbury Road
Wilton, Connecticut 06897
TEL (203) 563-0048
www.StalkerLS.com

STALKER LAND SURVEYING, INC.

DRAWN BY:	RAS	DATE:	12-4-19
CHECKED BY:	RAS	DRAWING NO.:	1030 RR ROTH
JOB NO.:	0402019	SHEET	1 OF 1

THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND THE PROPERTY OF ROBERT STORM ARCHITECT AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY EXTENSION OF THIS PROJECT OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ROBERT STORM ARCHITECT.

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Base Drawings	01/20/2021
Design	02/10/2021
Design Development I	02/22/2021
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Design Development III	03/10/2021
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C.D. 50% / Pricing Set	05/26/2021
Permit Review	07/08/2021
Ready For Permit Subm.	08/13/2021
Permit & Const.	11/10/2021

INDEX OF DRAWINGS

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A-2 SECOND FLOOR PLAN
A-3 ROOF PLAN

A-4 WEST AND SOUTH ELEVATIONS
A-5 EAST AND NORTH ELEVATIONS
A-6 WINDOW AND DOOR SCHEDULE
A-7 BUILDING SECTIONS
A-8 WALL SECTIONS
A-9 WALL SECTIONS
A-10 STAIR DETAILS

STRUCTURALS/MECH/ELEC

S-1 FIRST FLOOR FRAMING PLAN
S-2 FIRST FLOOR CEILING FRAMING PLAN
S-3 SECOND FLOOR CEILING FRAMING PLAN
S-4 ROOF FRAMING PLAN

ME-0 BASEMENT MECH./ELEC. PLAN
ME-1 FIRST FLOOR MECH./ELEC. PLAN
ME-2 2ND FLOOR MECH./ELEC. PLAN

INTERIOR

IN-1 KITCHEN FLOOR PLAN AND ELEVATIONS/
REFLECTED CEILING BEAM PLAN
IN-2 KITCHEN ISLAND PLAN AND ELEVATIONS
AND WET BAR PLAN AND ELEVATIONS

NIC - IN-3 FIRST FLOOR BATHROOM/POWDER ROOM
PLANS AND ELEVATIONS

NIC - IN-4 SECOND FLOOR BATHROOM/POWDER ROOM
PLANS AND ELEVATIONS

EXISTING/DEMO

X-0 EXISTING BASEMENT/FNDTN PLAN
X-1 EXISTING FIRST FLOOR PLAN
X-2 EXISTING SECOND FLOOR PLAN
X-3 EXISTING ROOF PLAN

X-4 EXISTING FRONT & RIGHT SIDE ELEVATIONS
X-5 EXISTING REAR & LEFT ELEVATIONS
X-6 EXISTING SECTIONS

X EXISTING WATER FIXTURE LOCATION
P PROPOSED WATER FIXTURE LOCATION

ROBERT STORM ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE 1030 RIDGEFIELD ROAD WILTON, CT

Title:

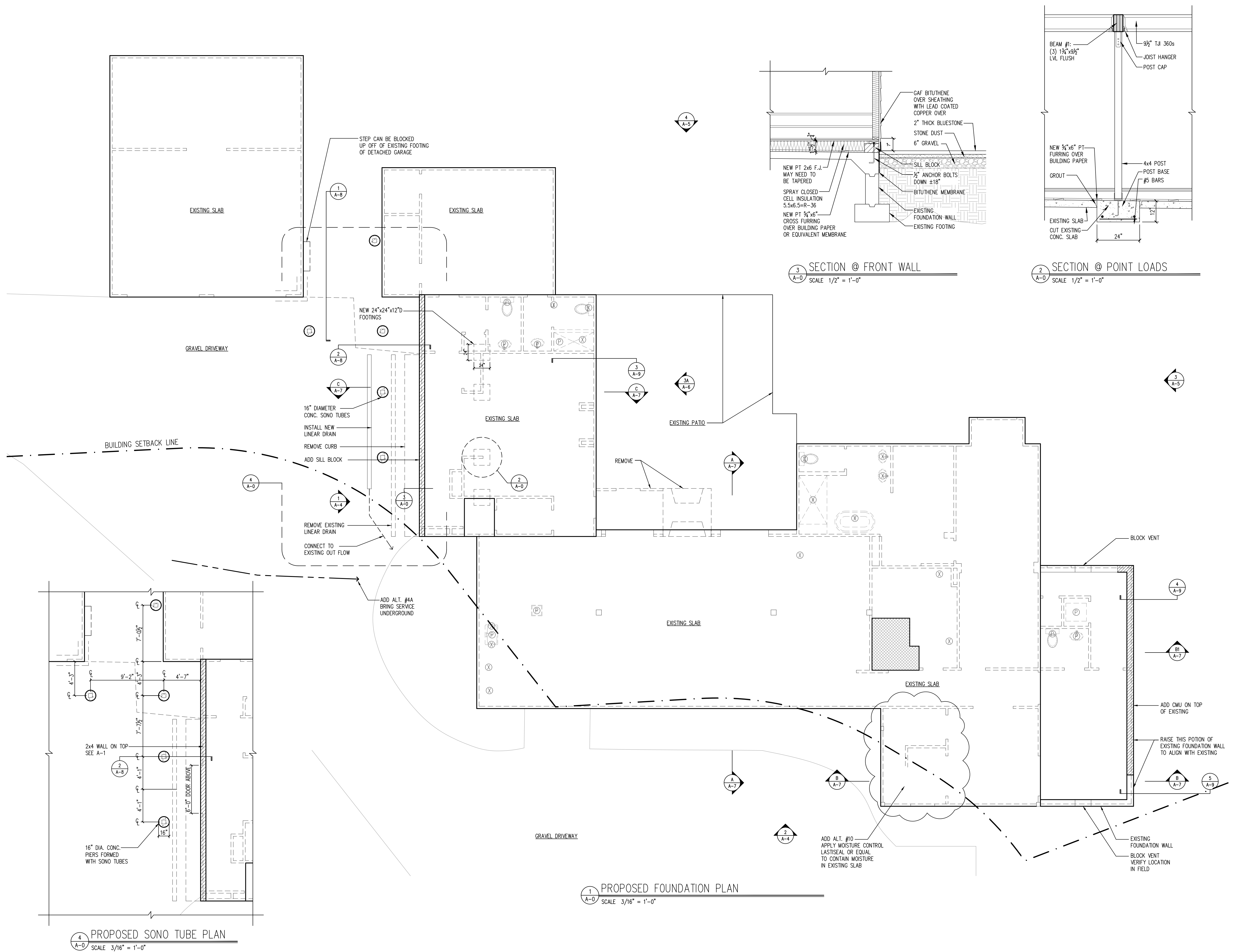
PROPOSED FOUNDATION PLAN

Job No.: 21-01

Date: Jan. 20, 2021

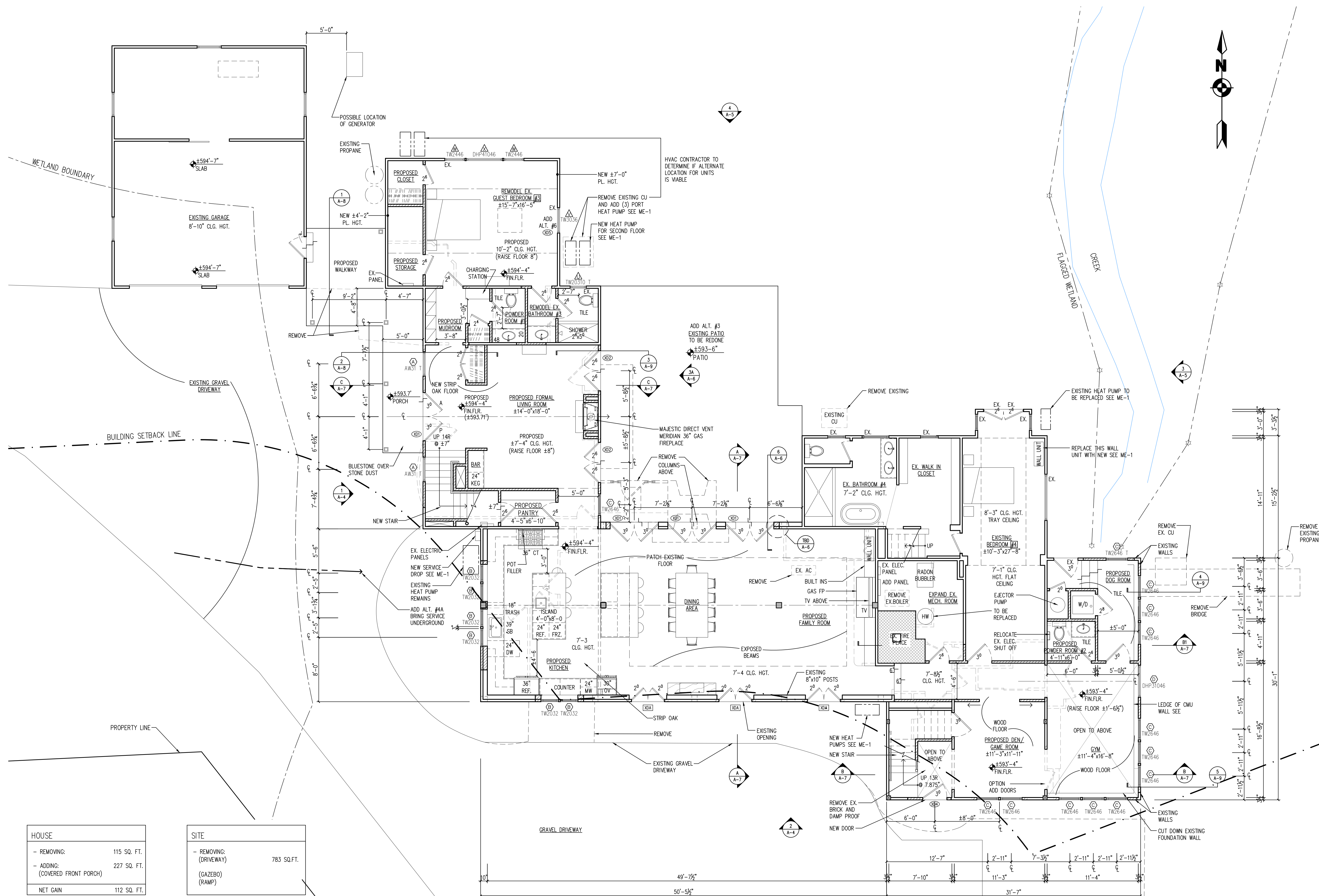
Scale: AS NOTED

A-0



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Permit Review	07/08/2021
Ready For Permit Subm.	08/13/2021
Permit & Const.	11/10/2021



HOUSE	
- REMOVING:	115 SQ. FT.
- ADDING: (COVERED FRONT PORCH)	227 SQ. FT.
NET GAIN	112 SQ. FT.

SITE	
- REMOVING: (DRIVEWAY)	783 SQ. FT.
(GAZEBO) (RAMP)	

878 SF REMAINS OF SITE COVERAGE BEFORE REMOVING DRIVEWAY

PROPOSED FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"

SEE M/E DWGS FOR SMOKE/CO DETECTORS

NEW WALL
EXISTING WALL

ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

PROPOSED
FIRST FLOOR PLAN

Job No.: 21-01

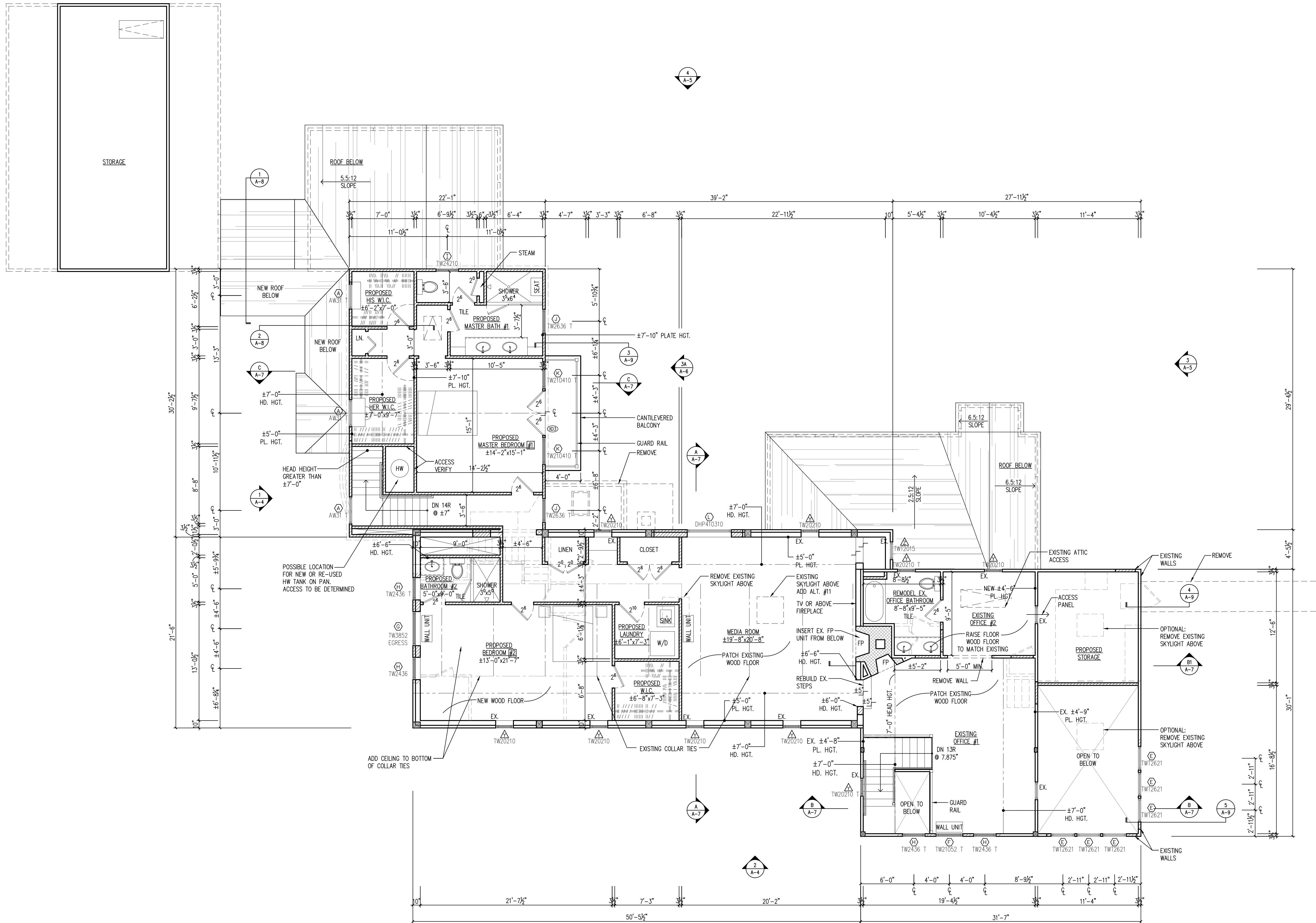
Date: Jan. 20, 2021

Scale: AS NOTED

A-1

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PROPOSED SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"

NEW WALL
EXISTING WALL

ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

PROPOSED
SECOND FLOOR PLAN

Job No.: 21-01

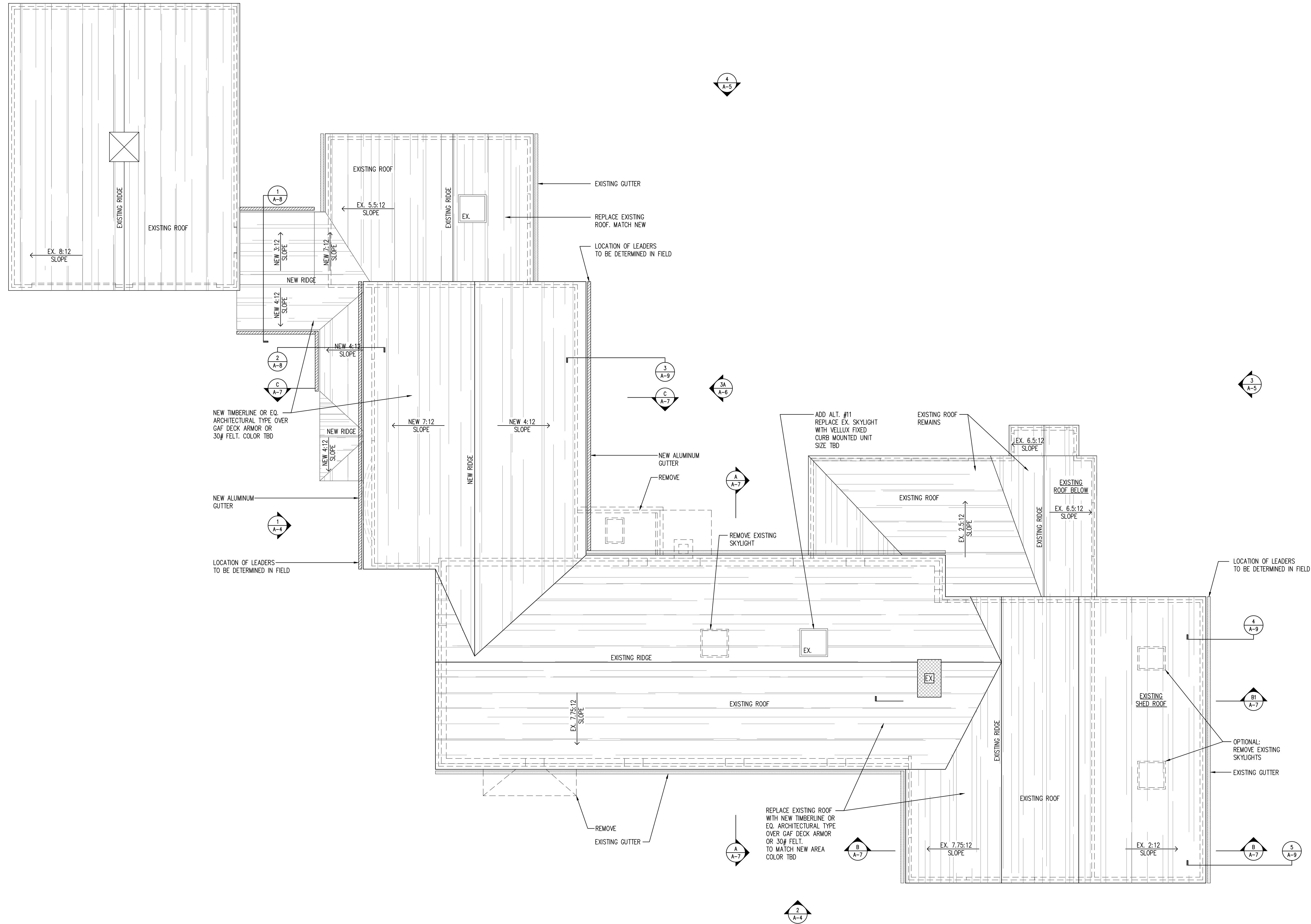
Date: Jan. 20, 2021

Scale: AS NOTED

A-2

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Permit Review	07/08/2021
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Permit & Const.	11/10/2021



1 A-3 PROPOSED ROOF PLAN
SCALE 3/16" = 1'-0"

HIGH ROOF
LOW ROOF

ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

PROPOSED
ROOF PLAN

Job No.: 21-01

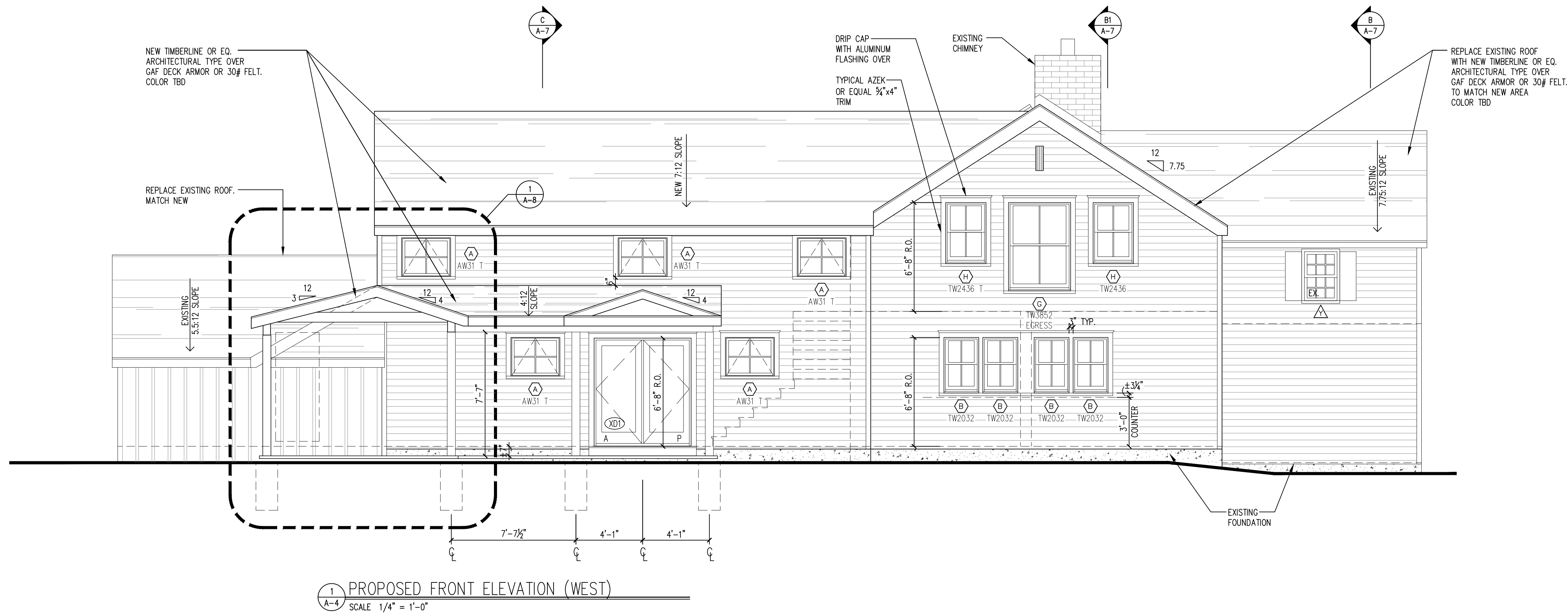
Date: Jan. 20, 2021

Scale: AS NOTED

A-3

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ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

PROPOSED
FRONT AND RIGHT
SIDE ELEVATIONS

Job No.: 21-01

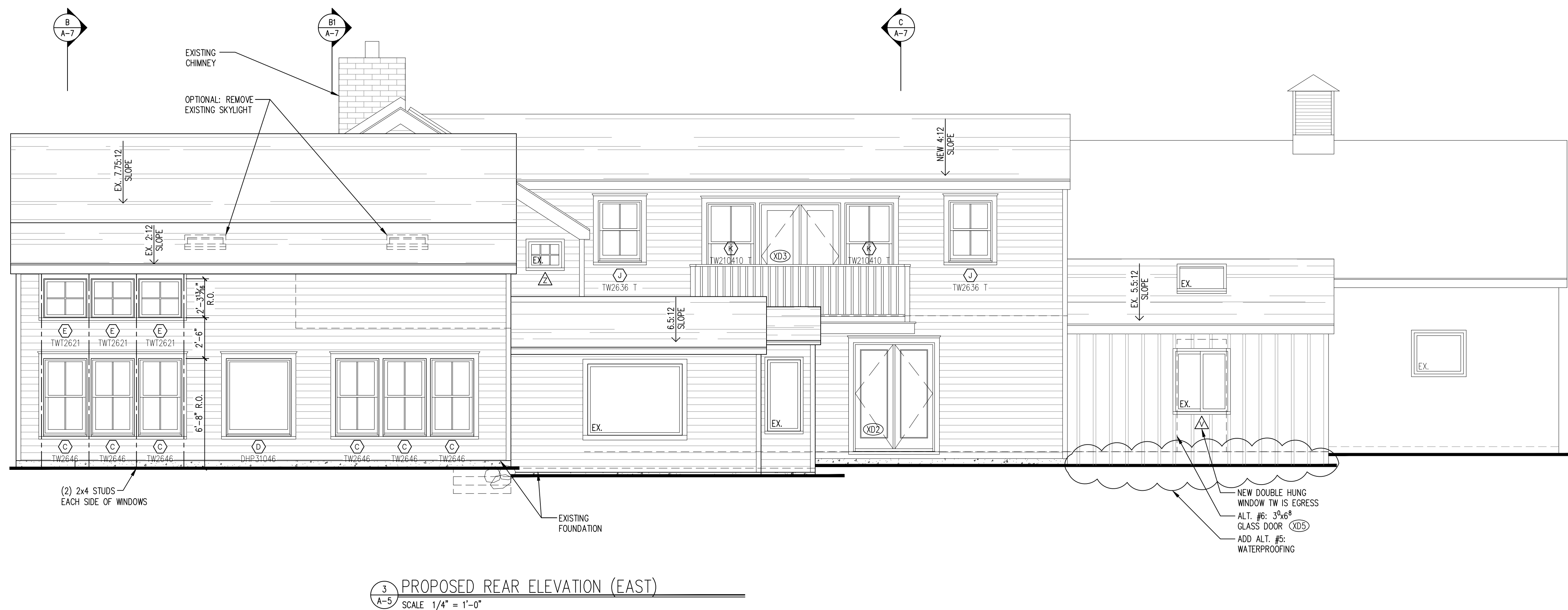
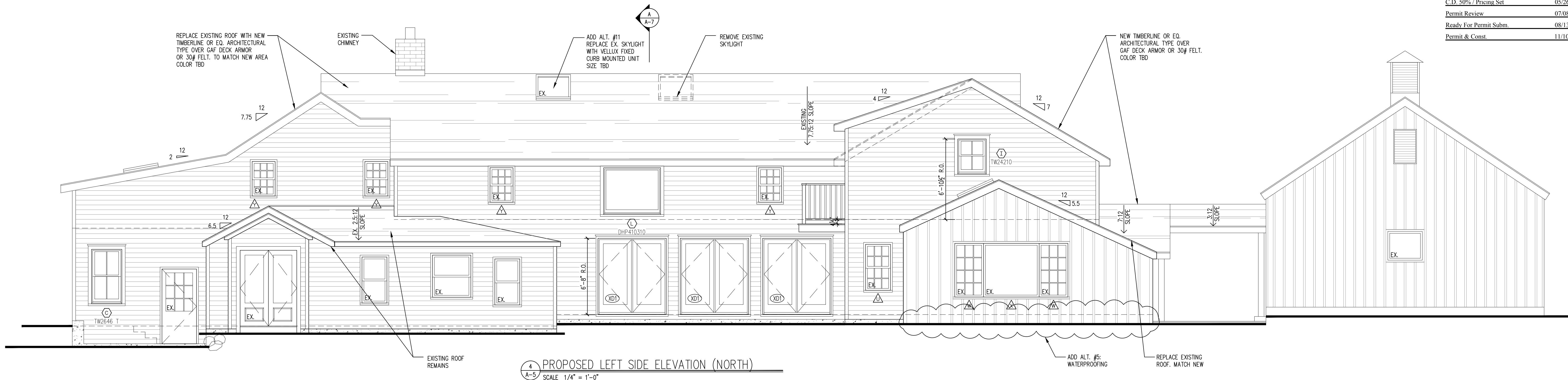
Date: Jan. 20, 2021

Scale: AS NOTED

A-4

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ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

PROPOSED
REAR & LEFT SIDE
ELEVATIONS

Job No.: 21-01

Date: Jan. 20, 2021

Scale: AS NOTED

A-5

ORDER #1

WINDOW SCHEDULE: ANDERSEN 400 SERIES (BLACK CLAD) ◻

TAG	TYPE	CODE	QTY.	R.O. (W x H)	NOTES
A	AWNING	AW31	5	3'-0 $\frac{1}{4}$ " W x 2'-4 $\frac{1}{8}$ " H	INDIVIDUAL UNITS. TEMPERED
B	DOUBLE HUNG	TW2032	6	2'-2 $\frac{1}{8}$ " W x 3'-4 $\frac{1}{8}$ " H	INDIVIDUAL UNITS
C	DOUBLE HUNG	TW2646	13	2'-8 $\frac{1}{8}$ " W x 4'-8 $\frac{1}{8}$ " H	INDIVIDUAL UNITS. (1) TEMPERED
D	PICTURE	DHP31046	1	3'-11 $\frac{1}{16}$ " W x 4'-8 $\frac{1}{8}$ " H	FIXED
E	TRANSOM	TWT2621	6	2'-8 $\frac{1}{8}$ " W x 2'-3 $\frac{1}{4}$ " H	FIXED
F	DOUBLE HUNG	TW21052	1	3'-0 $\frac{1}{8}$ " W x 5'-4 $\frac{1}{8}$ " H	
G	DOUBLE HUNG	TW3852	1	3'-10 $\frac{1}{8}$ " W x 5'-4 $\frac{1}{8}$ " H	
H	DOUBLE HUNG	TW2436	4	2'-6 $\frac{1}{8}$ " W x 3'-8 $\frac{1}{4}$ " H	(2) TEMPERED
I	DOUBLE HUNG	TW24210	1	2'-6 $\frac{1}{8}$ " W x 3'-0 $\frac{7}{8}$ " H	
J	DOUBLE HUNG	TW2636	2	2'-8 $\frac{1}{8}$ " W x 3'-8 $\frac{1}{4}$ " H	TEMPERED
K	DOUBLE HUNG	TW210410	2	3'-0 $\frac{1}{8}$ " W x 5'-0 $\frac{1}{4}$ " H	TEMPERED
L	PICTURE	DHP410310	1	4'-11 $\frac{1}{16}$ " W x 4'-0 $\frac{7}{8}$ " H	FIXED

ORDER #1

EXTERIOR DOOR SCHEDULE: ANDERSEN 400 SERIES ◻

TAG	TYPE	CODE	QTY.	R.O. (W x H)	NOTES
XD1	INSWING	FWHD6068APLR	4	6'-0" W x 6'-8" H	
XD2	INSWING	FWHD5068APLR	2	5'-0" W x 6'-8" H	
XD3	INSWING	FWHD50611APLR	1	5'-0" W x 6'-11" H	
XD4	INSWING	FWHD3168AL	1	3'-1" W x 6'-8" H	

XD5	INSWING	FWHD3168AL	1	3'-1" W x 6'-8" H	ADD ALT. #6
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ORDER #2

WINDOW SCHEDULE: ANDERSEN 400 SERIES (BLACK CLAD) ◻

TAG	TYPE	CODE	QTY.	R.O. (W x H)	NOTES
A	DOUBLE HUNG	TW2652	3	2'-2$\frac{1}{8}$" W x 5'-4$\frac{1}{8}$" H	
B	DOUBLE HUNG	TW20310	1	2'-2$\frac{1}{8}$" W x 4'-0$\frac{1}{4}$" H	TEMPERED. VERIFY EX. R.O.
C	DOUBLE HUNG	TW3036	1	3'-2$\frac{1}{8}$" W x 3'-8$\frac{1}{8}$" H	MAY BE ELIMINATED IF ADD ALT. #6 IS ACCEPTED
D	DOUBLE HUNG	TW2446	2	2'-6$\frac{1}{8}$" W x 4'-8$\frac{1}{8}$" H	VERIFY EX. R.O.
E	PICTURE	DHP41046	1	4'-11$\frac{1}{16}$" W x 4'-8$\frac{1}{8}$" H	TEMPERED. VERIFY EX. R.O.
F	DOUBLE HUNG	TW20210	9	2'-2$\frac{1}{8}$" W x 3'-0$\frac{7}{8}$" H	(2) TEMPERED. VERIFY EX. R.O.
G	TRANSOM	TWT2015	1	2'-2$\frac{1}{8}$" W x 1'-7$\frac{1}{8}$" H	VERIFY EX. R.O.

N/A

ORDER #2

EXTERIOR DOOR SCHEDULE: ANDERSEN 400 SERIES ◻

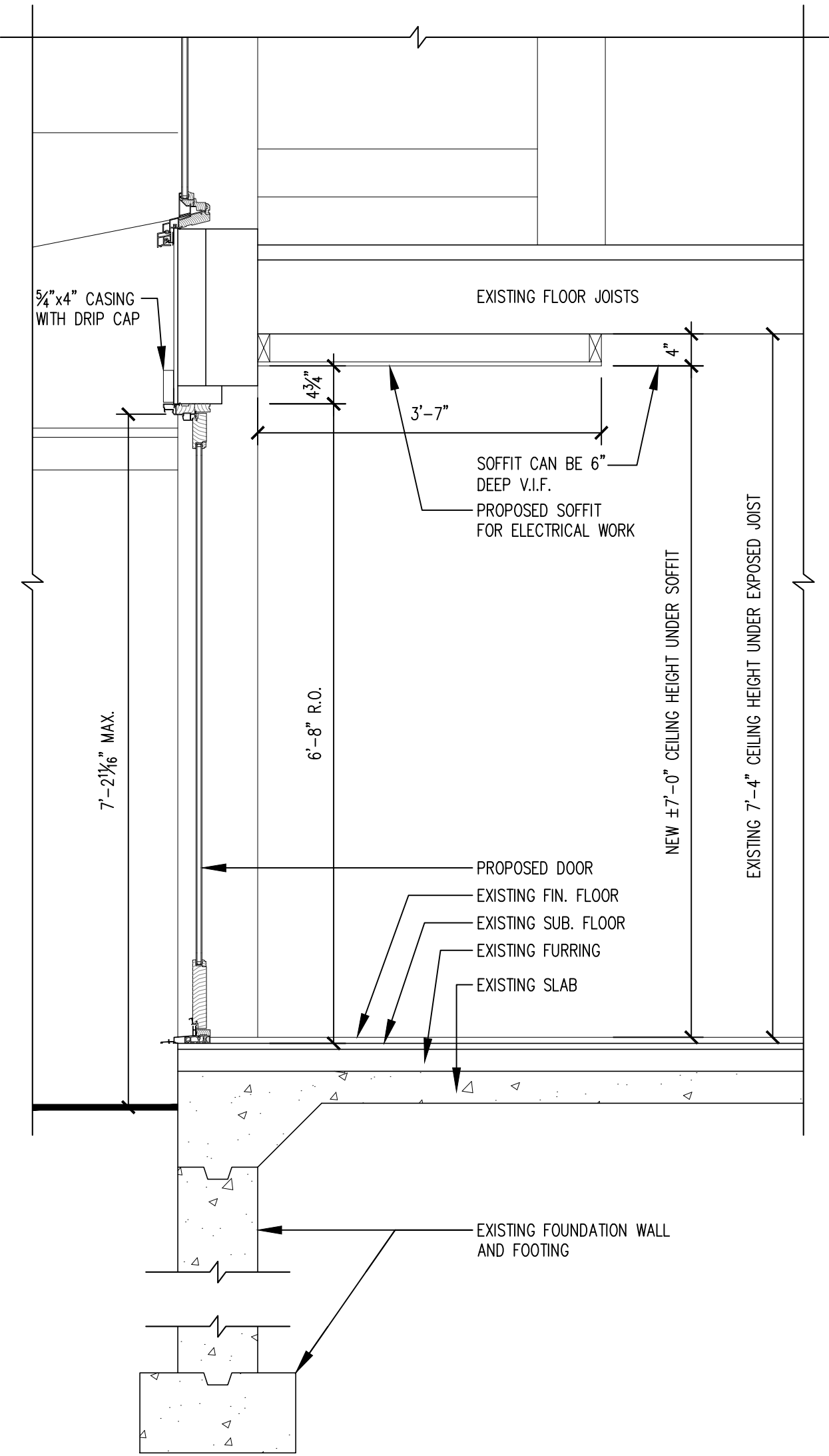
TAG	TYPE	CODE	QTY.	R.O. (W x H)	NOTES
XDA	INSWING	FWHD4068APLR	3	4'-0" W x 6'-8" H	

OPENING RESTRAINTS REQUIRED ON WINDOWS:

F - (1)

K - (2)

X - (9)



SECTION @ FAMILY ROOM SOFFIT

SCALE 3/4" = 1'-0"

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1 TYPICAL DOUBLE HUNG MUNTIN PATTERN

SCALE 1/4" = 1'-0"

4 TYPICAL DOOR NO MUNTIN

SCALE 1/4" = 1'-0"

2 TYPICAL AWNING MUNTIN PATTERN

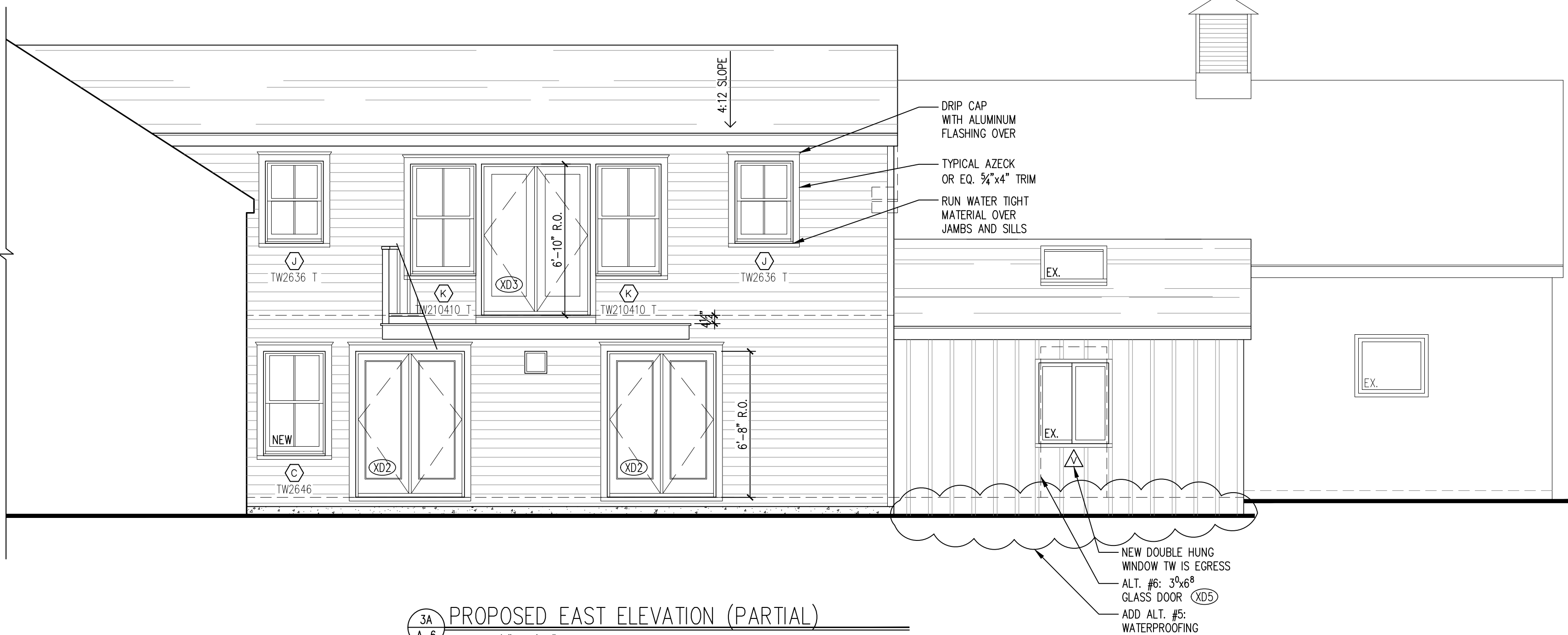
SCALE 1/4" = 1'-0"

5 INTERIOR TRIM

SCALE 1/4" = 1'-0"

3 TYPICAL PICTURE NO MUNTIN

SCALE 1/4" = 1'-0"



3A PROPOSED EAST ELEVATION (PARTIAL)

SCALE 1/4" = 1'-0"

ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

PROPOSED
WINDOW AND
DOOR SCHEDULE

Job No.: 21-01

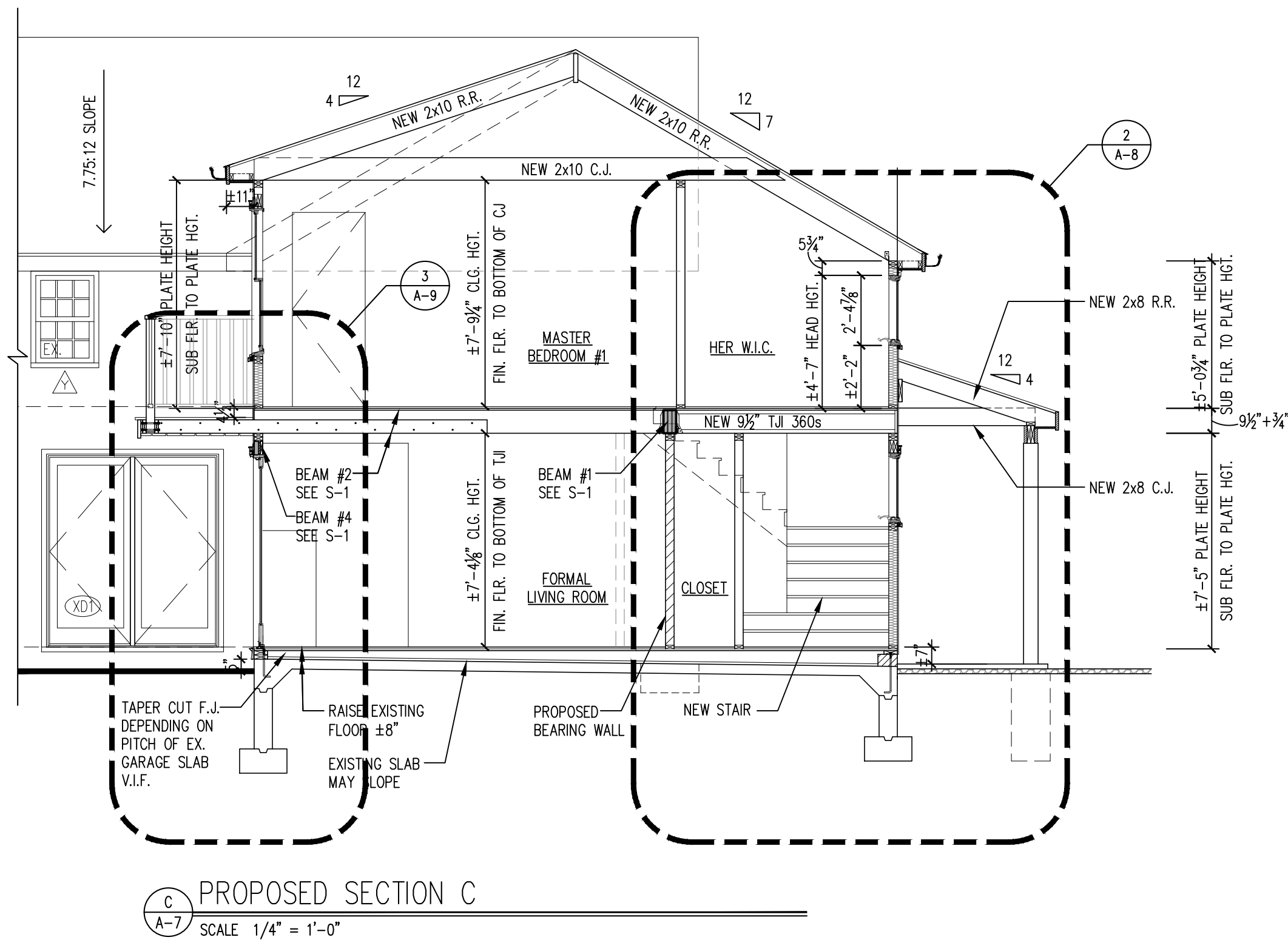
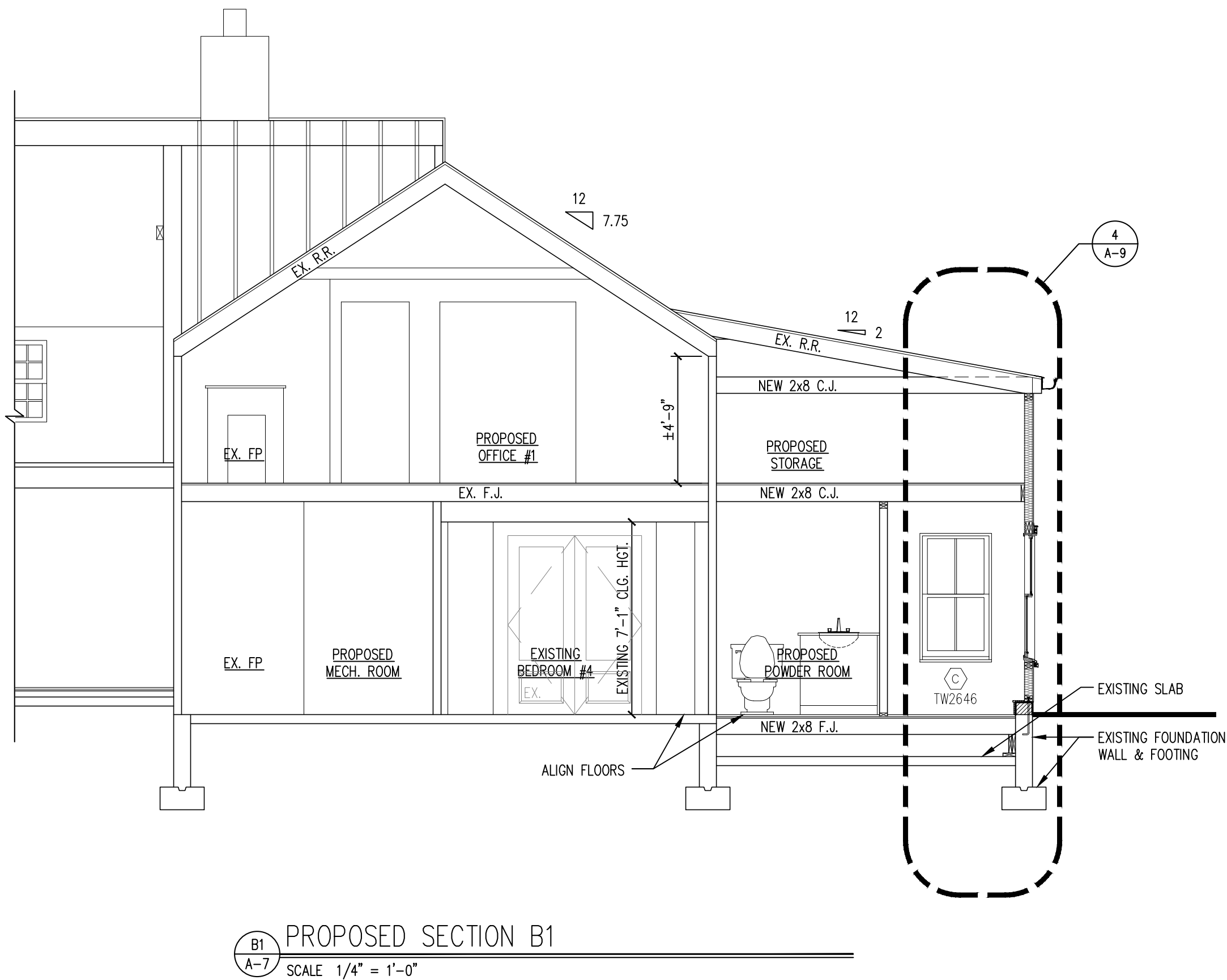
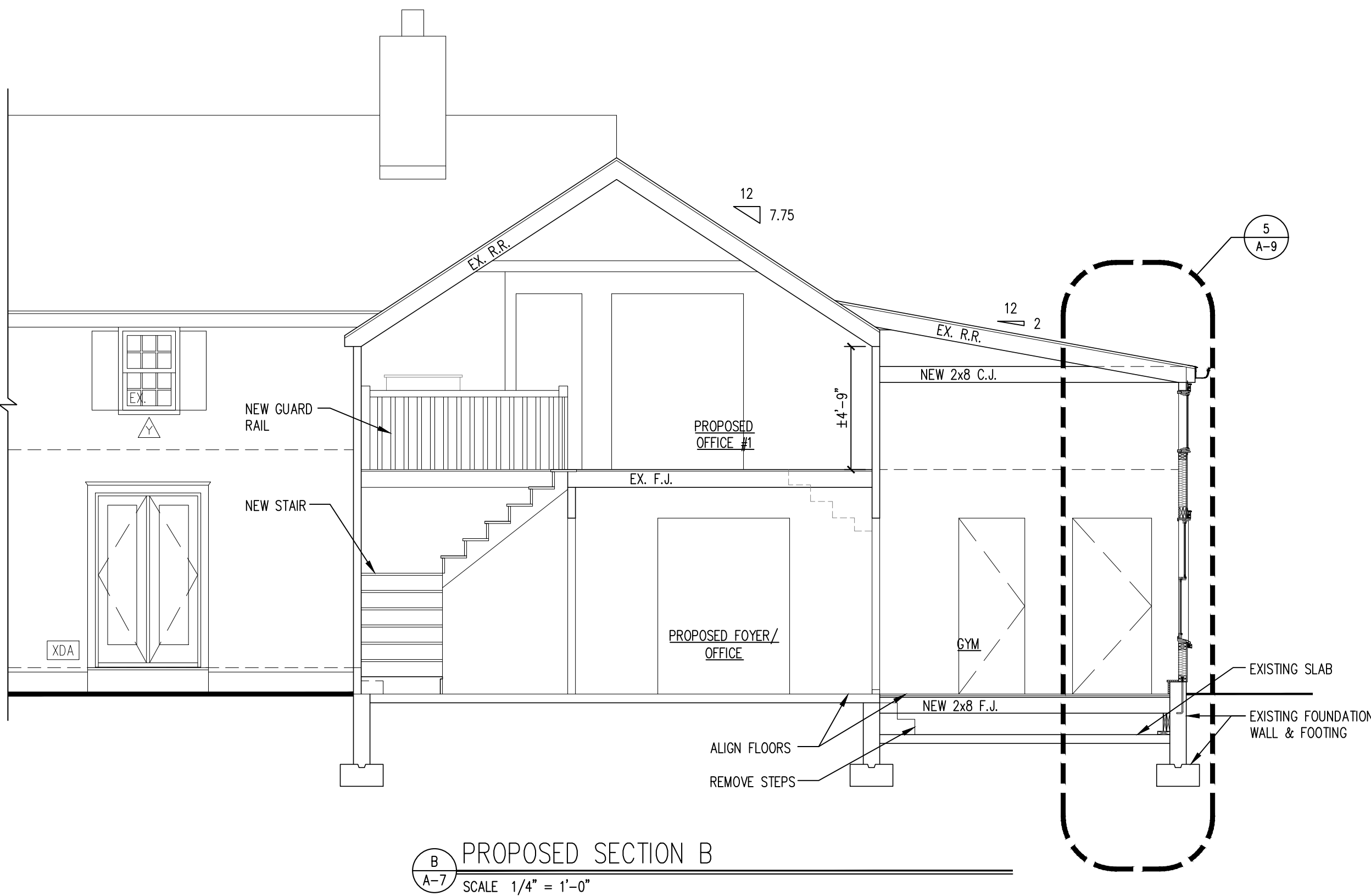
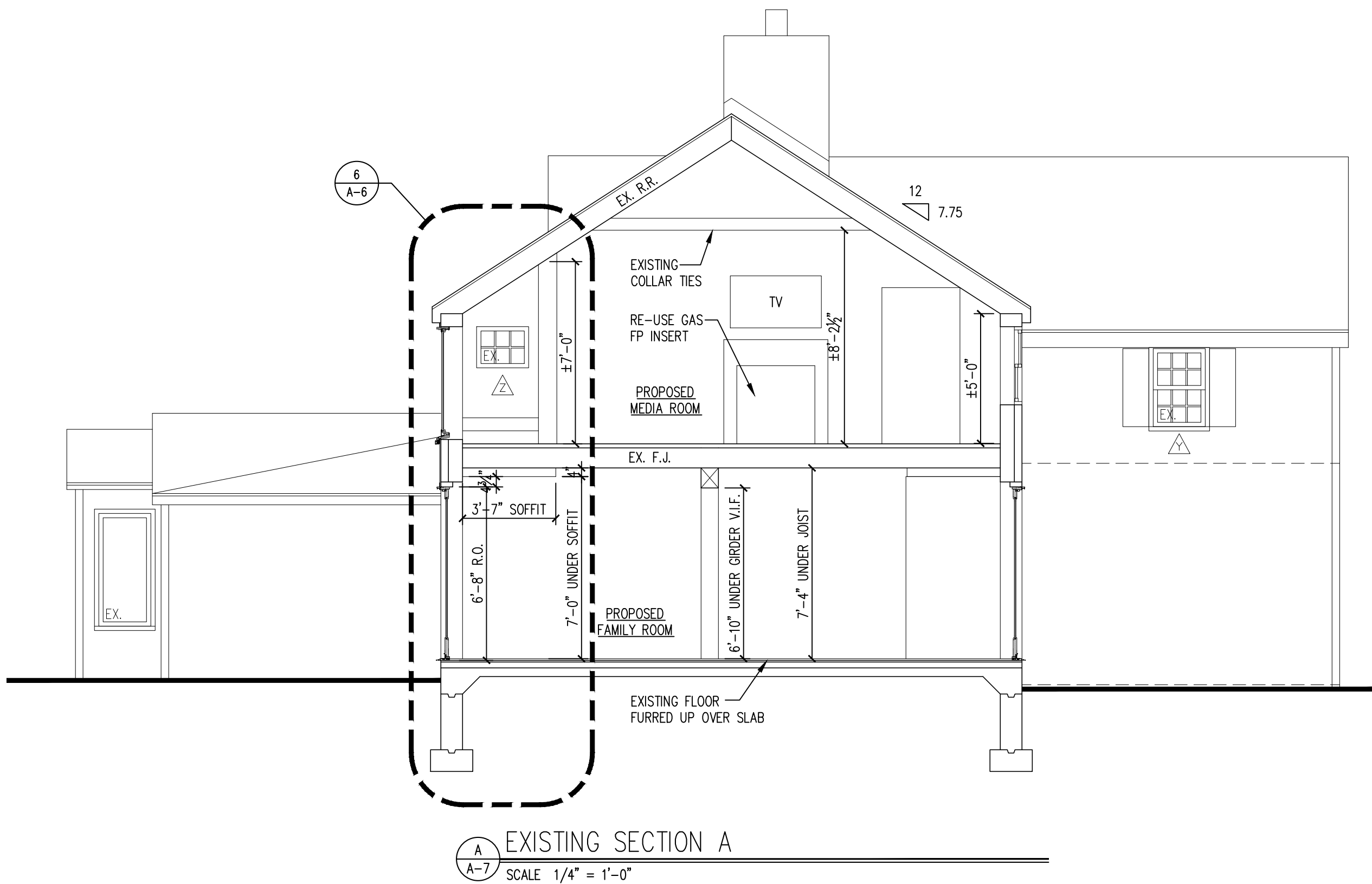
Date: Jan. 20, 2021

Scale: AS NOTED

A-6

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ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

PROPOSED
BUILDING SECTIONS

Job No. 21-01

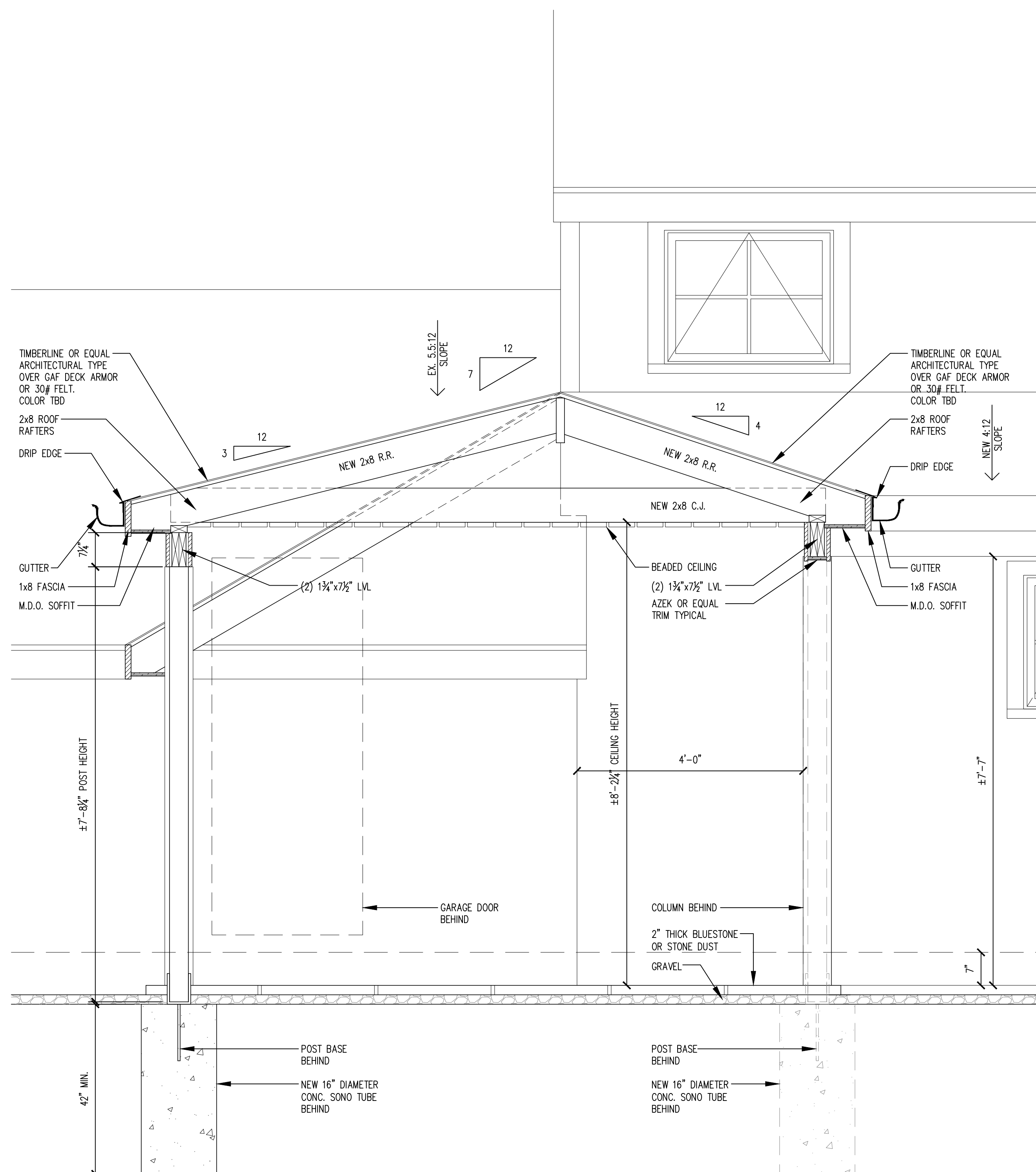
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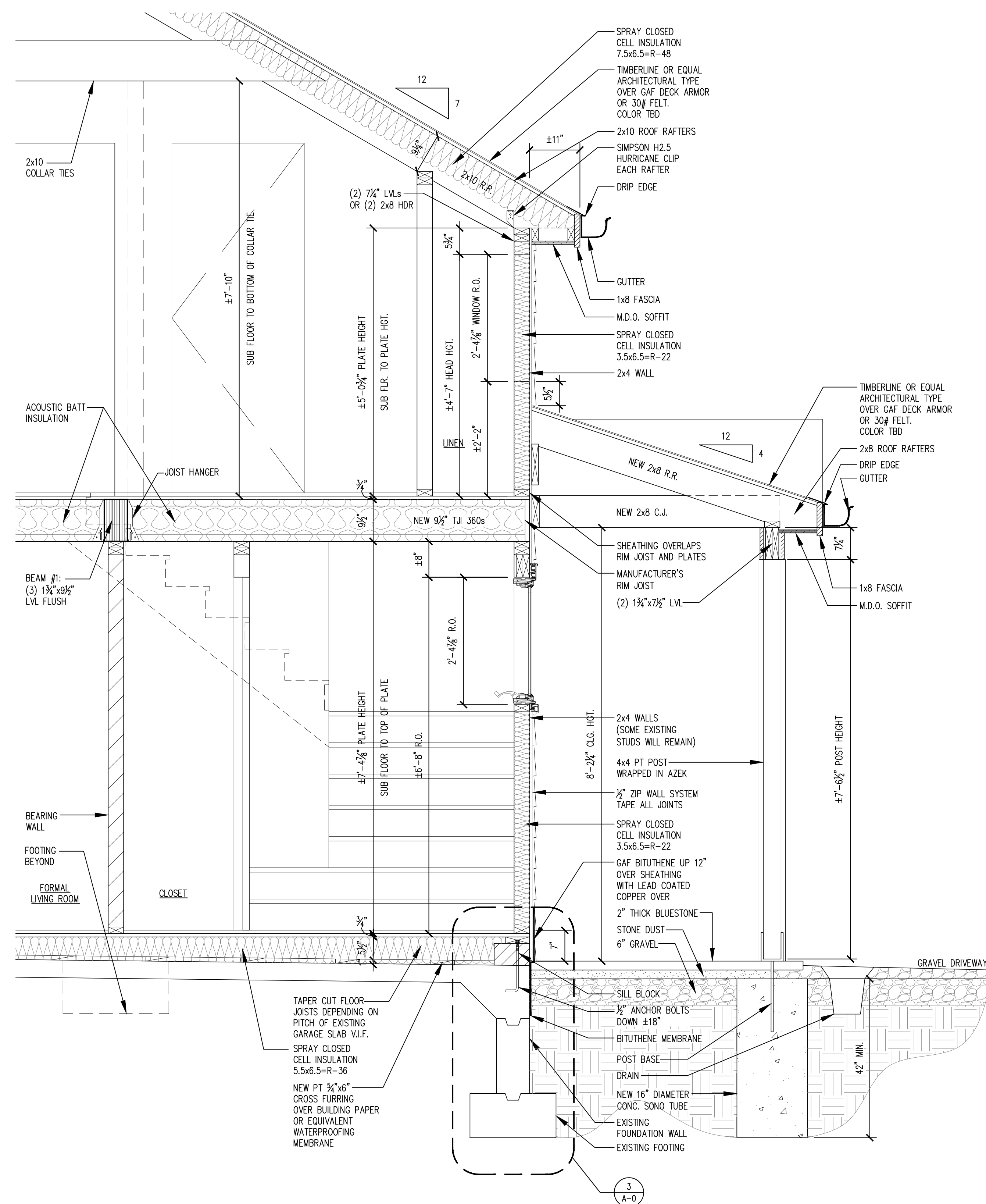
A-7

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SECTION @ COVERED WALKWAY W. PERVIOUS FLOOR
SCALE 3/4" = 1'-0"



SECTION @ FRONT WALL
SCALE 3/4" = 1'-0"

ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title: _____

PROPOSED WALL SECTIONS

Job No.: 21-01

Date: Jan. 20, 2021

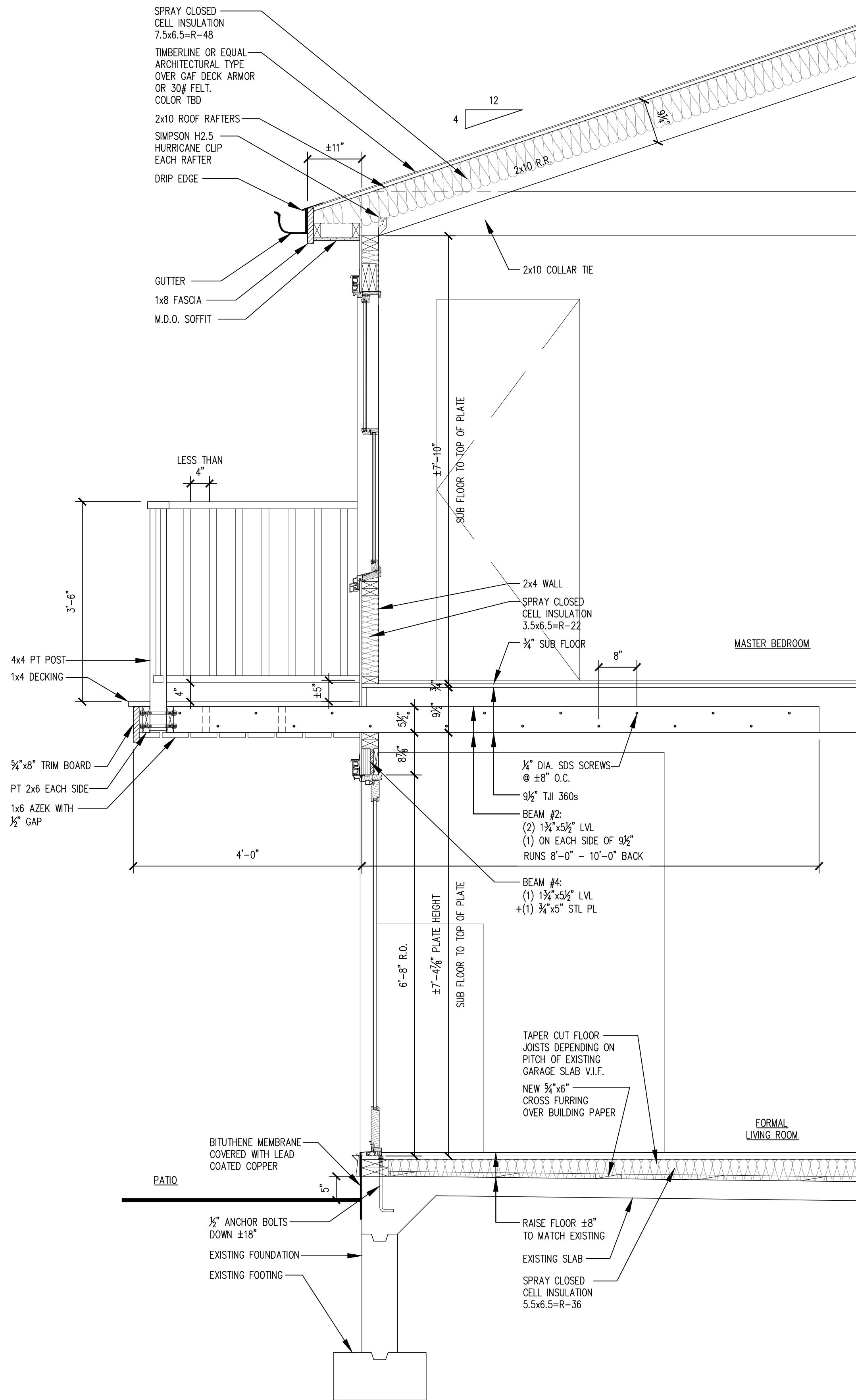
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A-8

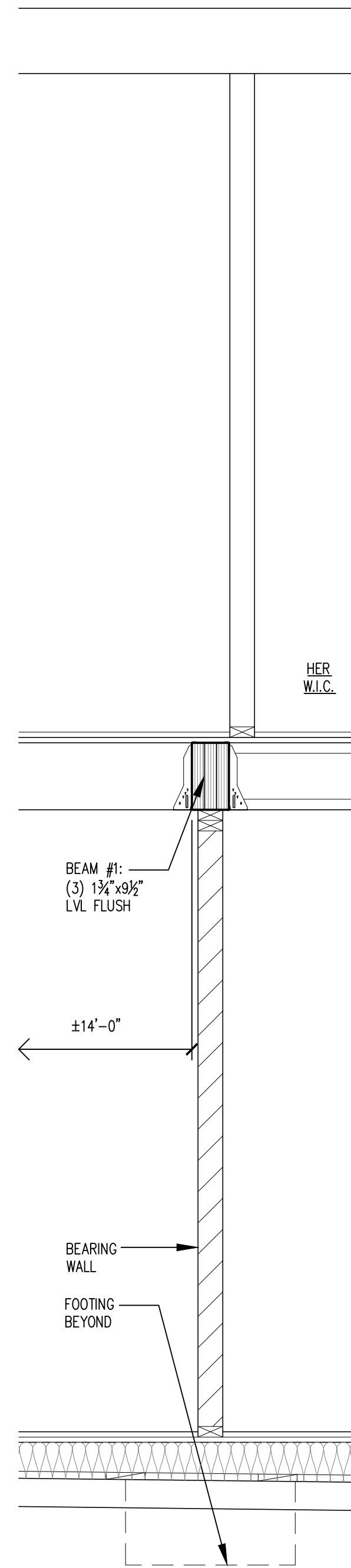
AS NOTED

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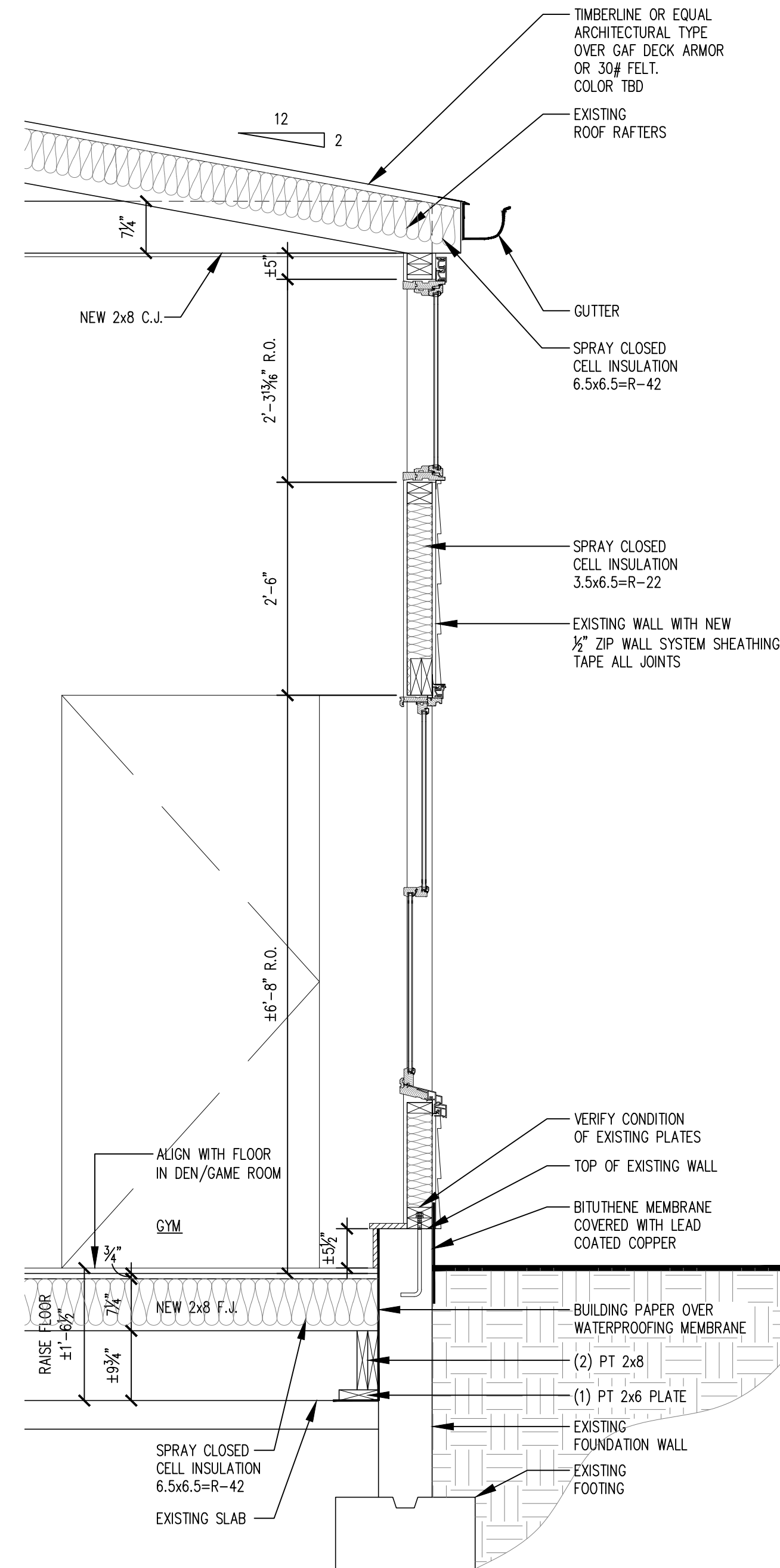
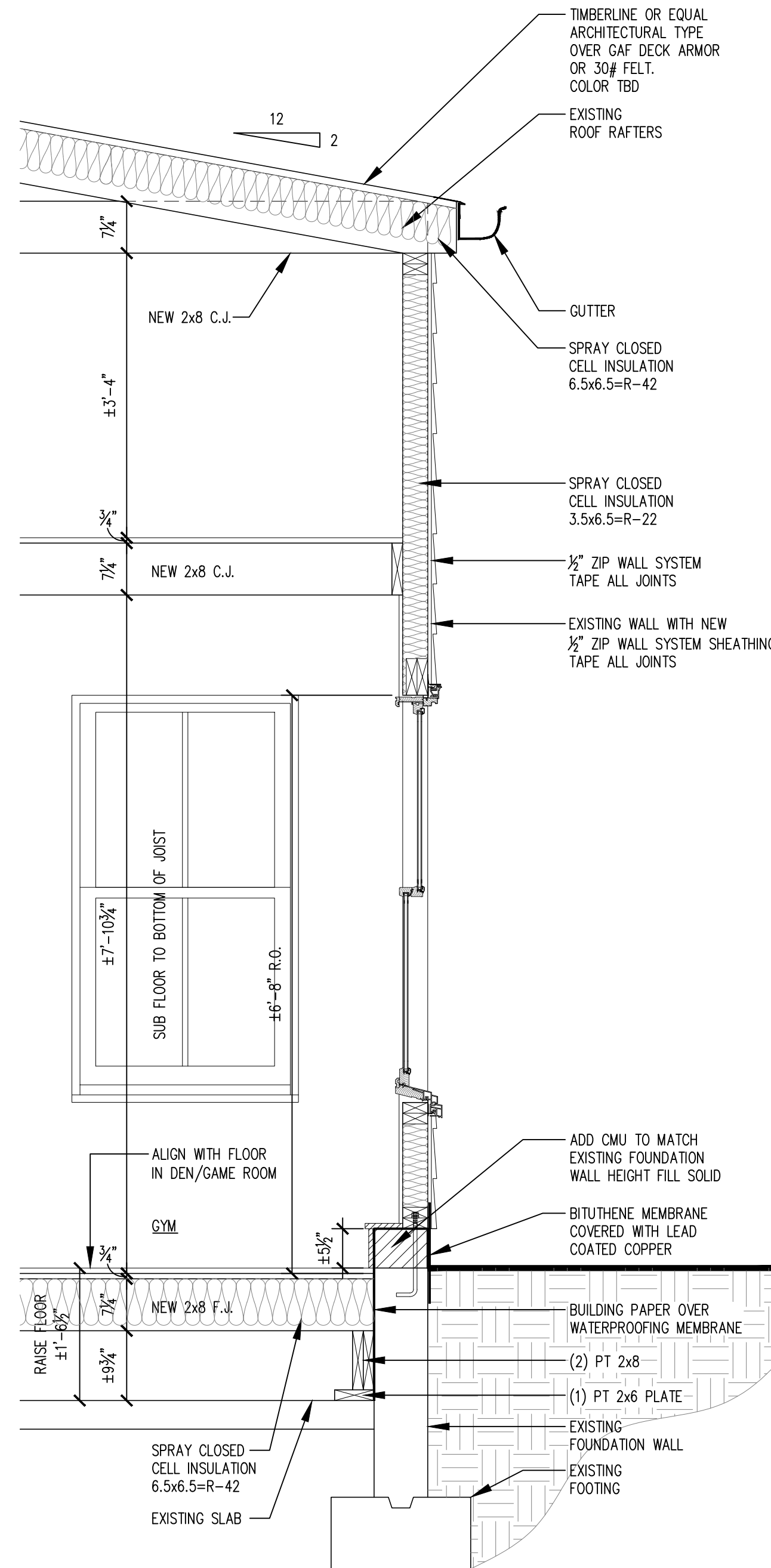
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3 SECTION @ CANTILEVERED BALCONY
SCALE 3/4" = 1'-0"



4 SECTION @ DOG ROOM
SCALE 3/4" = 1'-0"



5 SECTION @ GYM
SCALE 3/4" = 1'-0"

ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

PROPOSED
WALL SECTIONS

Job No. 21-01

Date: Jan. 20, 2021

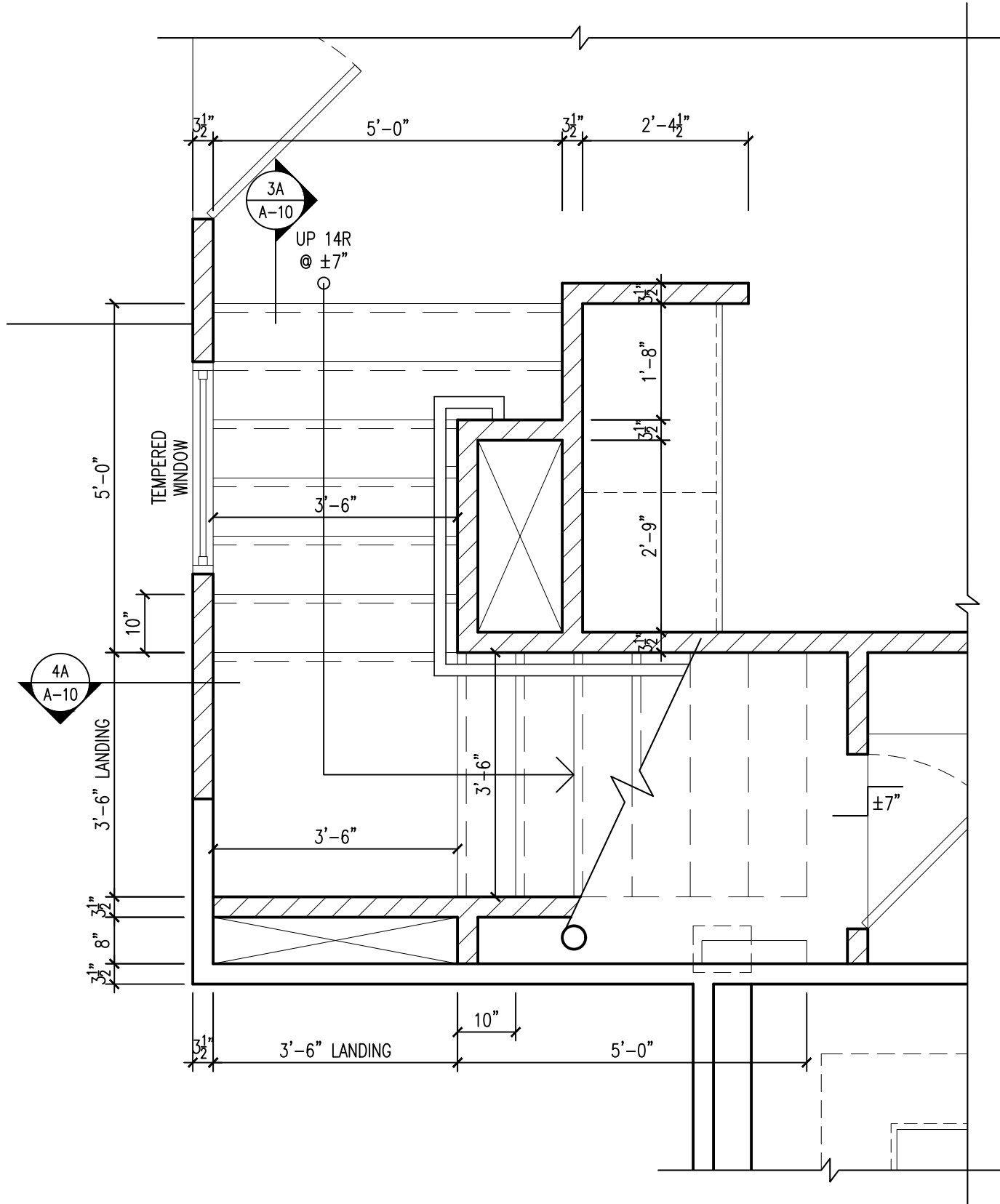
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A-9

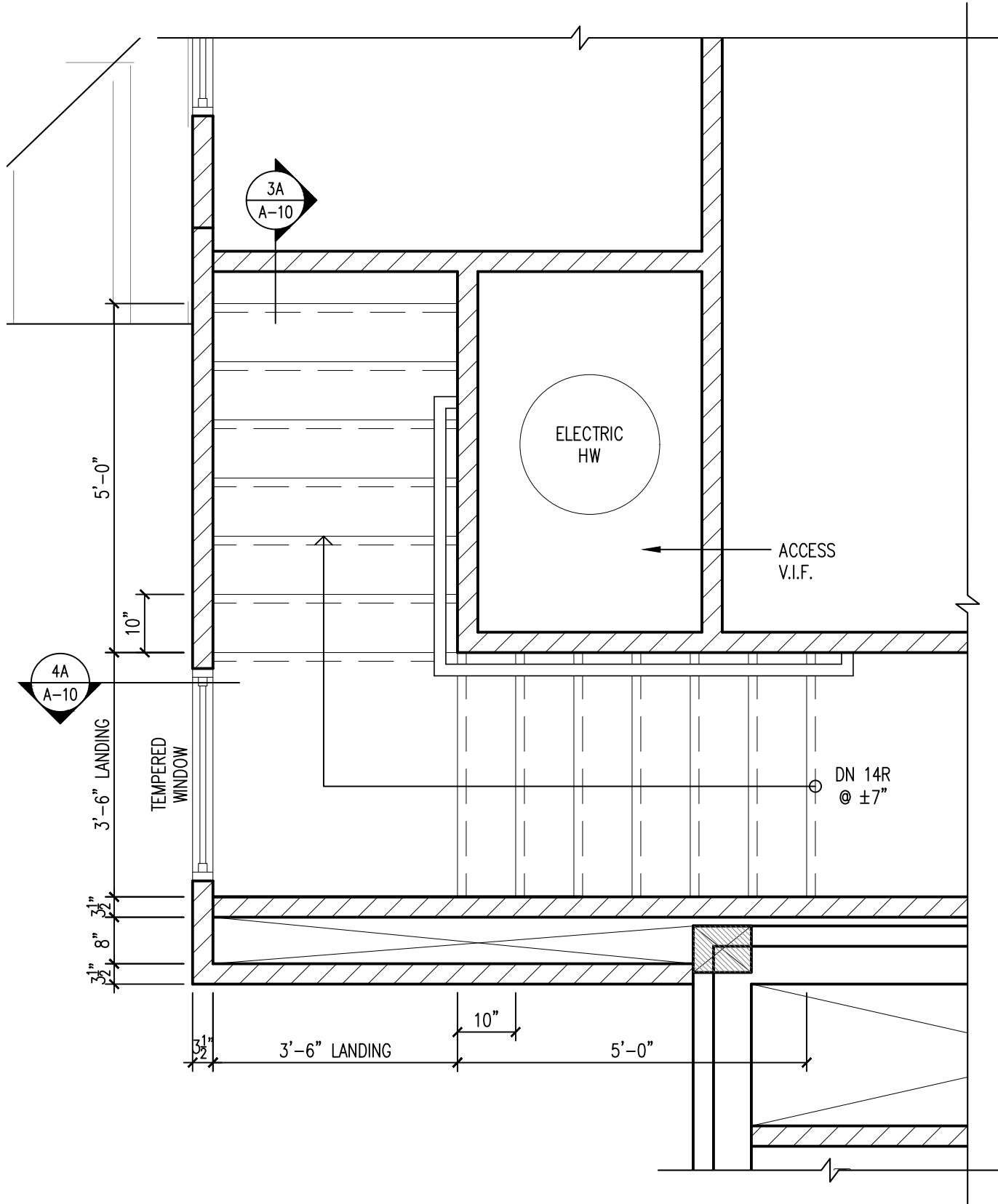
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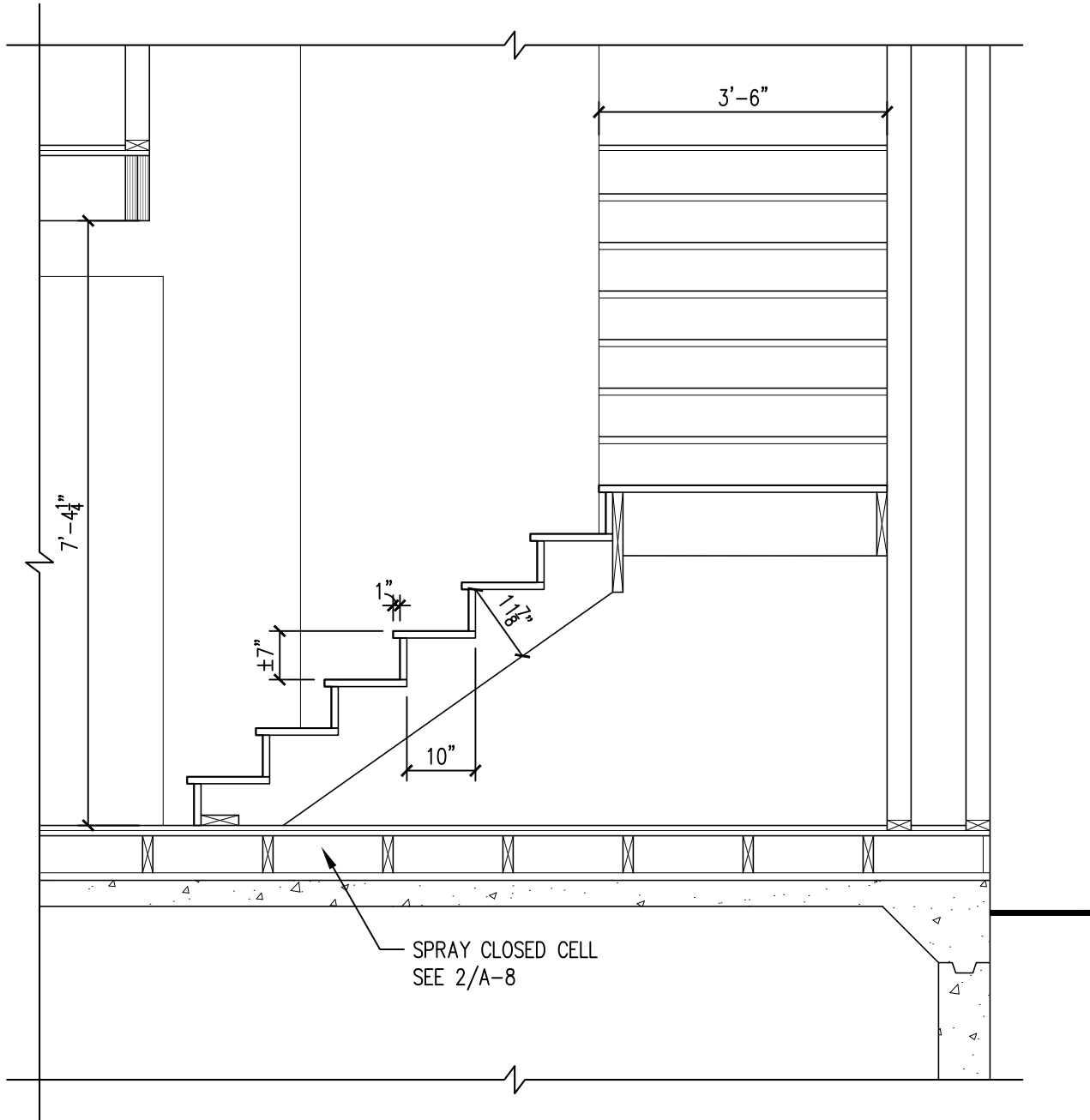
STAIR FABRICATOR
TO PROVIDE SHOP DRAWINGS



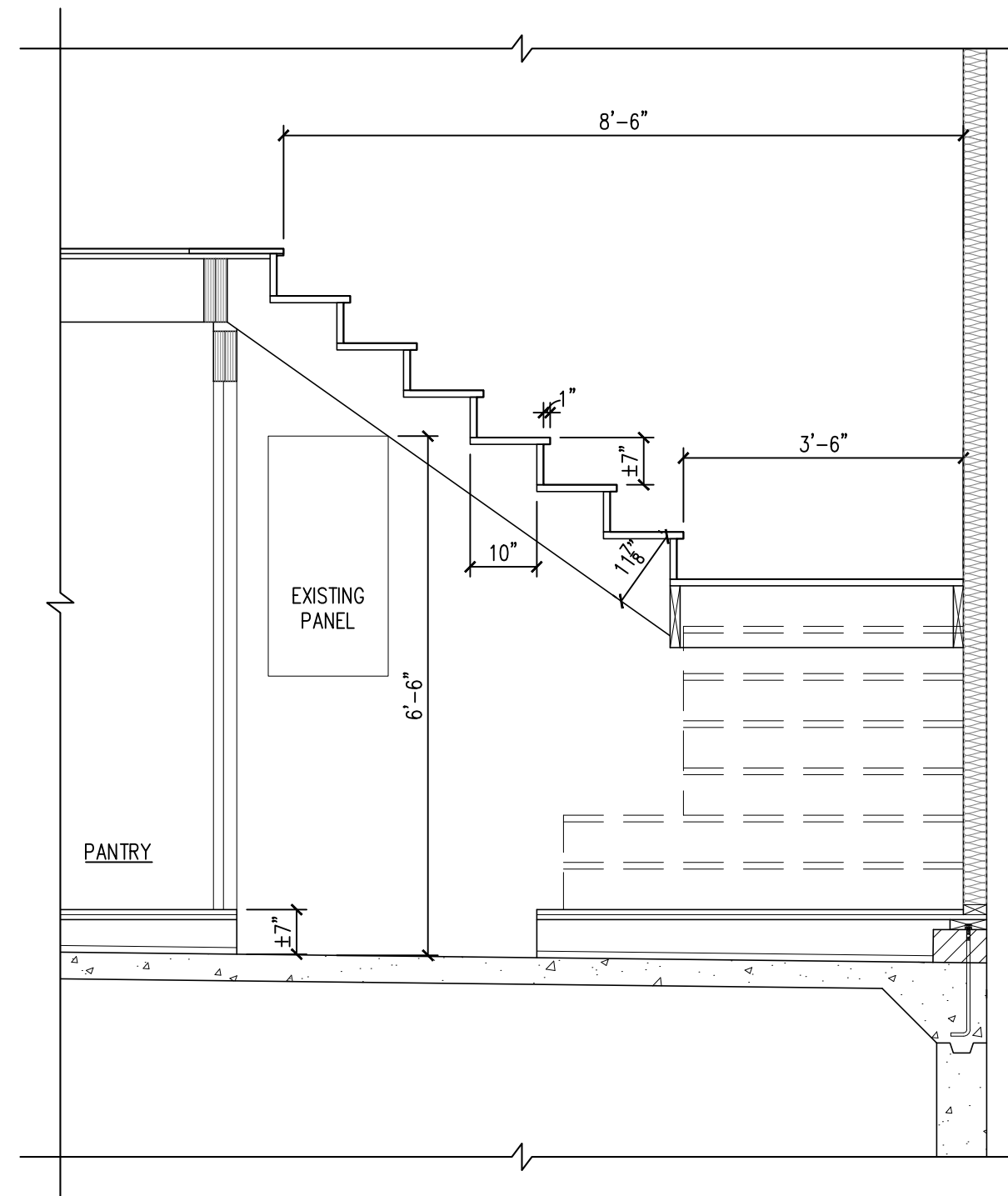
1A PROPOSED 1ST FLOOR STAIR PLAN (FRONT ENTRY)
SCALE 1/2" = 1'-0"



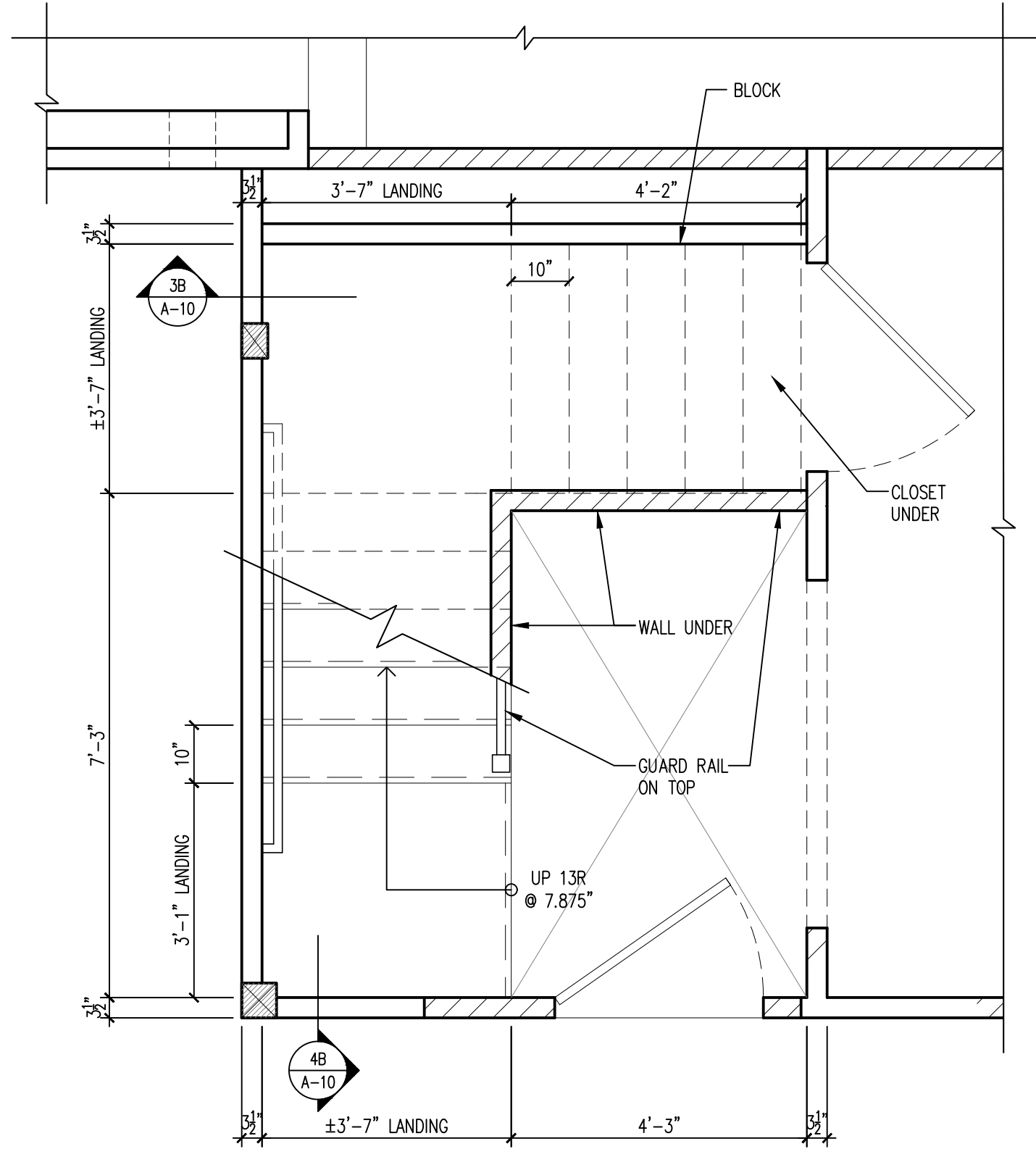
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SCALE 1/2" = 1'-0"



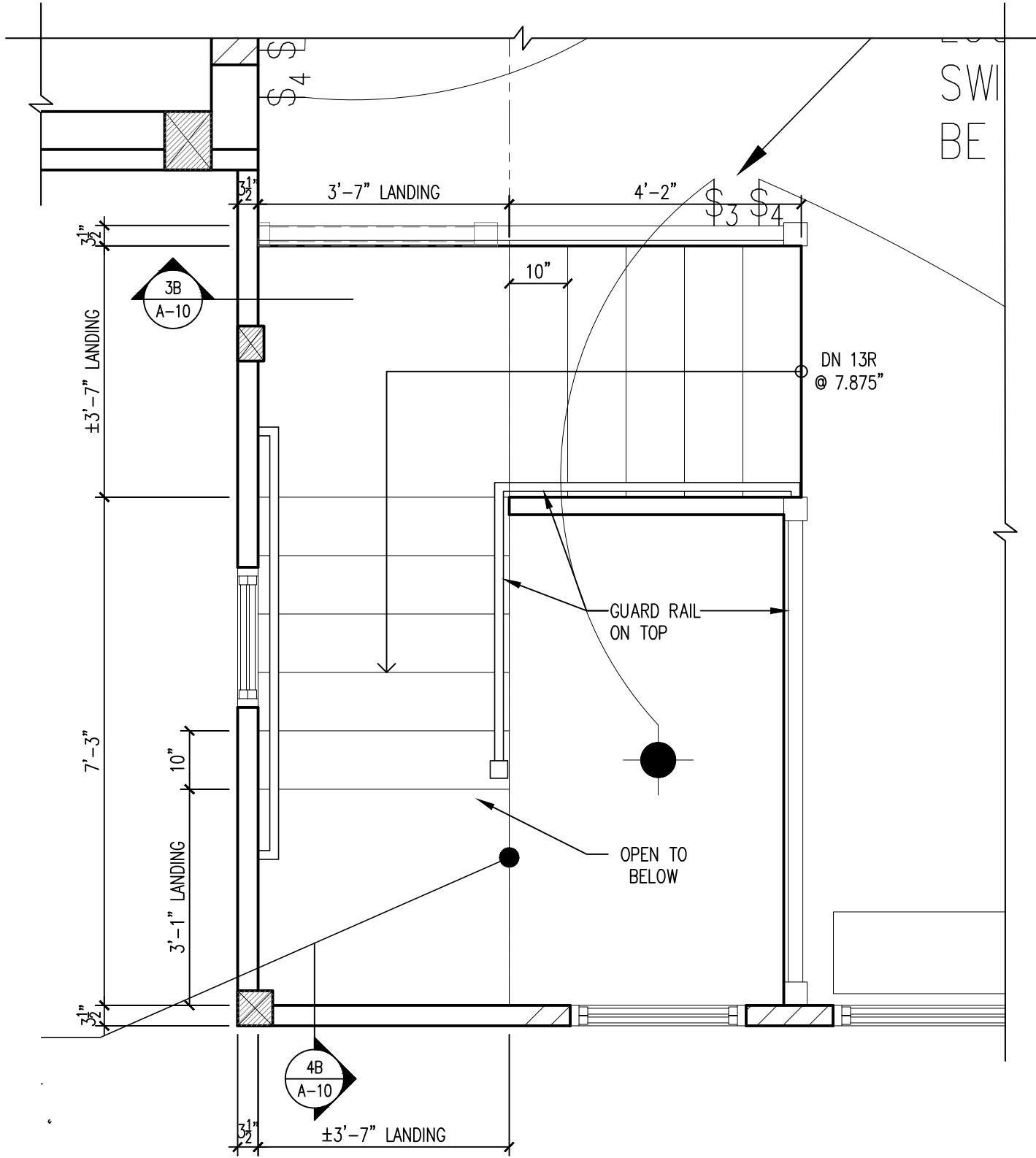
3A PROPOSED STAIR SECTION (FRONT ENTRY)
SCALE 1/2" = 1'-0"



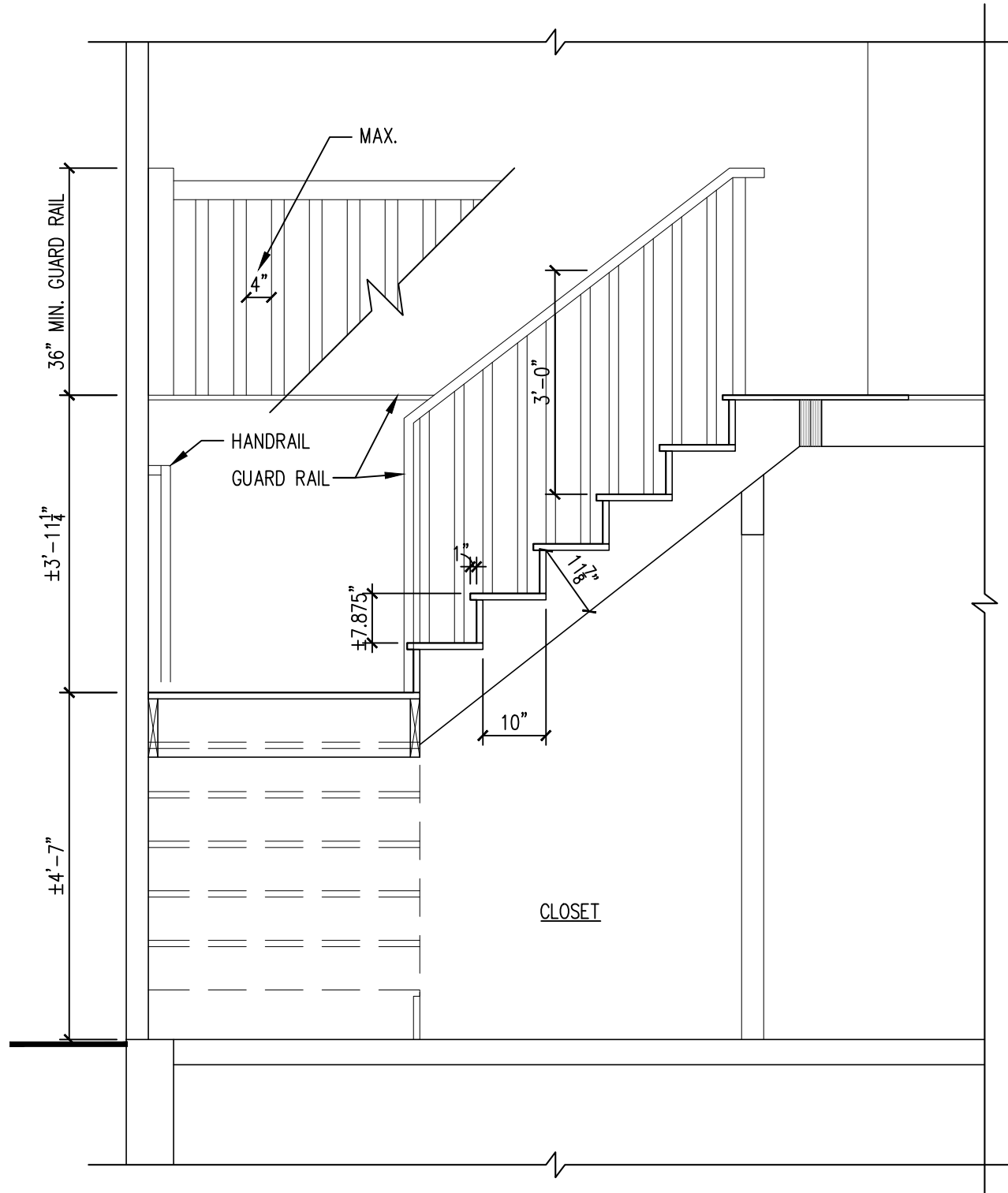
4A PROPOSED STAIR SECTION (FRONT ENTRY)
SCALE 1/2" = 1'-0"



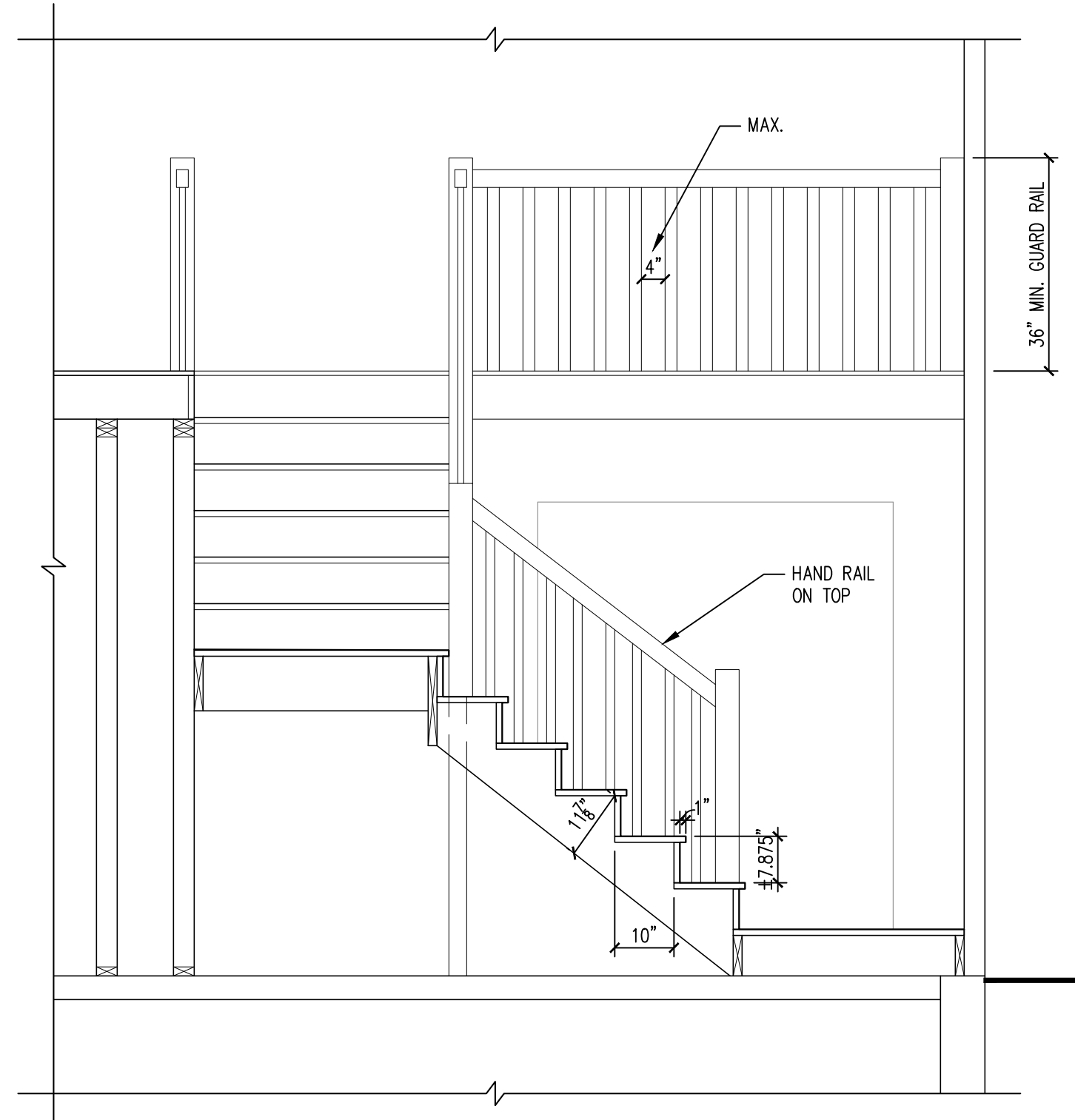
1B PROPOSED 1ST FLOOR STAIR PLAN (BACK ENTRY)
SCALE 1/2" = 1'-0"



2B PROPOSED 2ND FLOOR STAIR PLAN (BACK ENTRY)
SCALE 1/2" = 1'-0"



3B PROPOSED STAIR SECTION (BACK ENTRY)
SCALE 1/2" = 1'-0"



4B PROPOSED STAIR SECTION (BACK ENTRY)
SCALE 1/2" = 1'-0"

ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

PROPOSED
STAIR DETAILS

Job No. 21-01

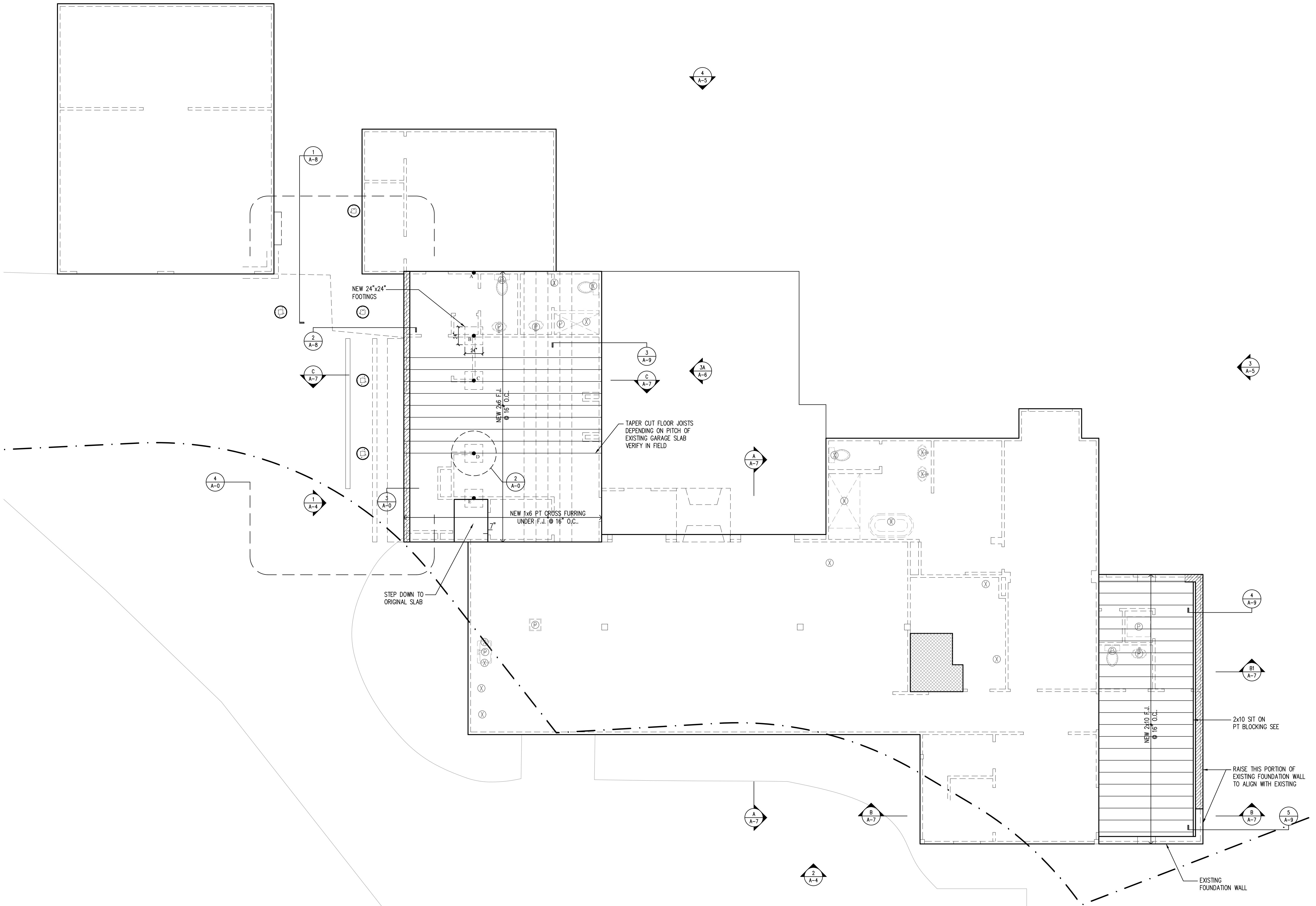
Date: Jan. 20, 2021

Scale: AS NOTED

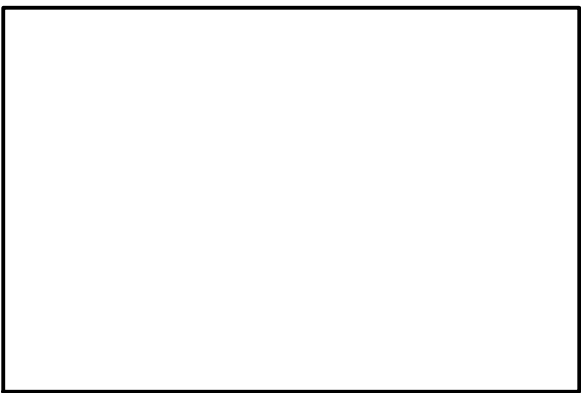
A-10

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- ⊗ EXISTING WATER FIXTURE LOCATION
- Ⓟ PROPOSED WATER FIXTURE LOCATION



ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title: _____

PROPOSED
FIRST FLOOR
FRAMING PLAN

Job No.: 21-01

Date: Jan. 20, 2021

Scale: AS NOTED

S-1

1
S-1
PROPOSED FIRST FLOOR FRAMING PLAN
SCALE 3/16" = 1'-0"

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BEAM SCHEDULE

- BEAM #1: (3) 1 $\frac{3}{4}$ "x9 $\frac{1}{2}$ " LVL FLUSH
- BEAM #2: (2) 1 $\frac{3}{4}$ "x5 $\frac{1}{2}$ " LVL
(1) ON EACH SIDE OF (1) 1 $\frac{3}{4}$ "x9 $\frac{1}{2}$ " LVL
- BEAM #3: (4) 1 $\frac{3}{4}$ "x5 $\frac{1}{2}$ " LVL
- BEAM #4: (1) 1 $\frac{3}{4}$ "x5 $\frac{1}{2}$ " LVL
+ (1) $\frac{3}{4}$ "x5" STL PL

TYPICAL FRAMING LUMBER: DOUGLAS FIR
TYPICAL HEADERS UNLESS OTHERWISE
NOTED: (2) 1 $\frac{1}{2}$ " x 7 $\frac{1}{2}$ " LVL OR (2) 2x8

NEW WALL
EXISTING WALL

ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

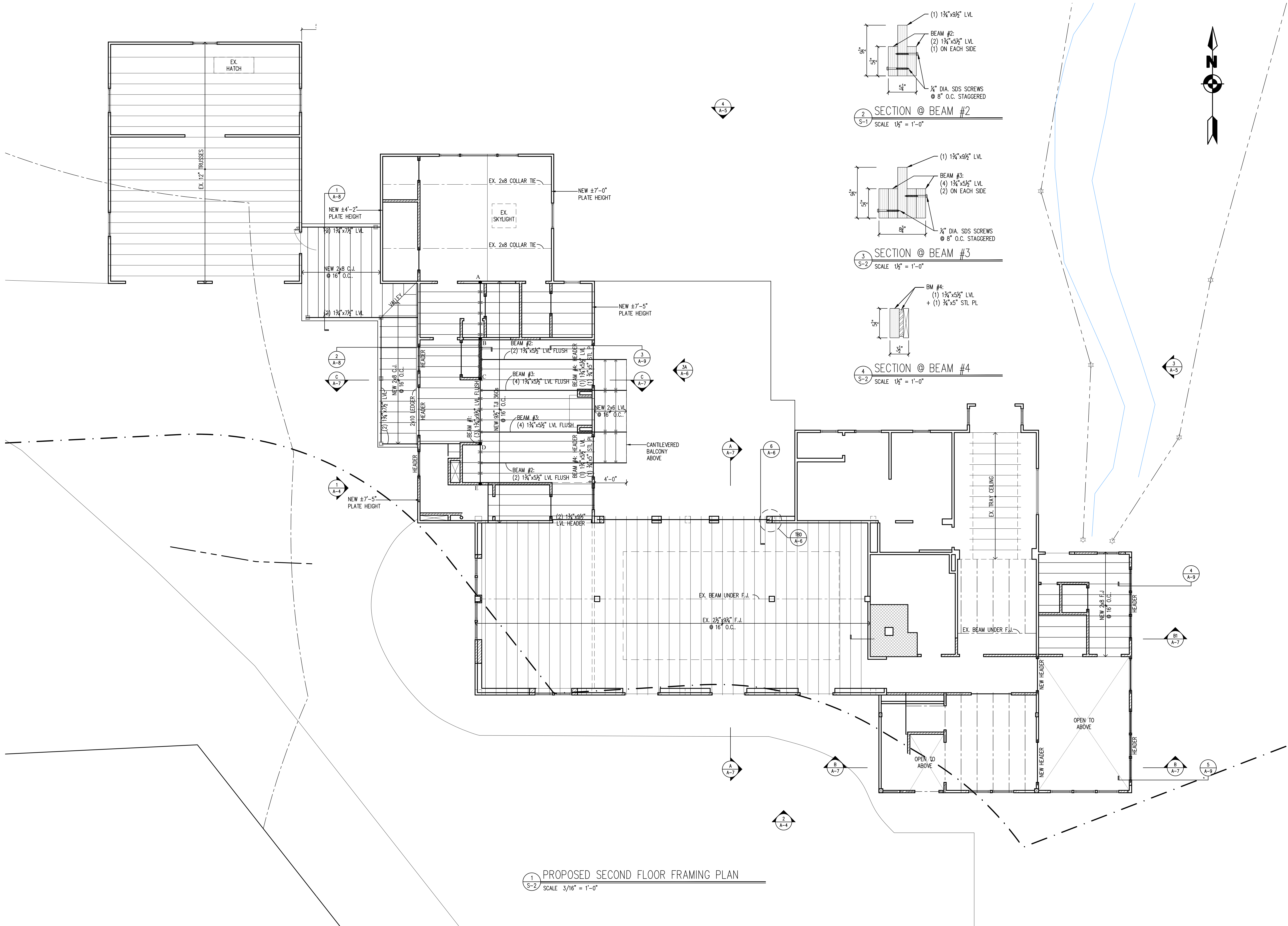
PROPOSED
SECOND FLOOR
FRAMING PLAN

Job No.: 21-01

Date: Jan. 20, 2021

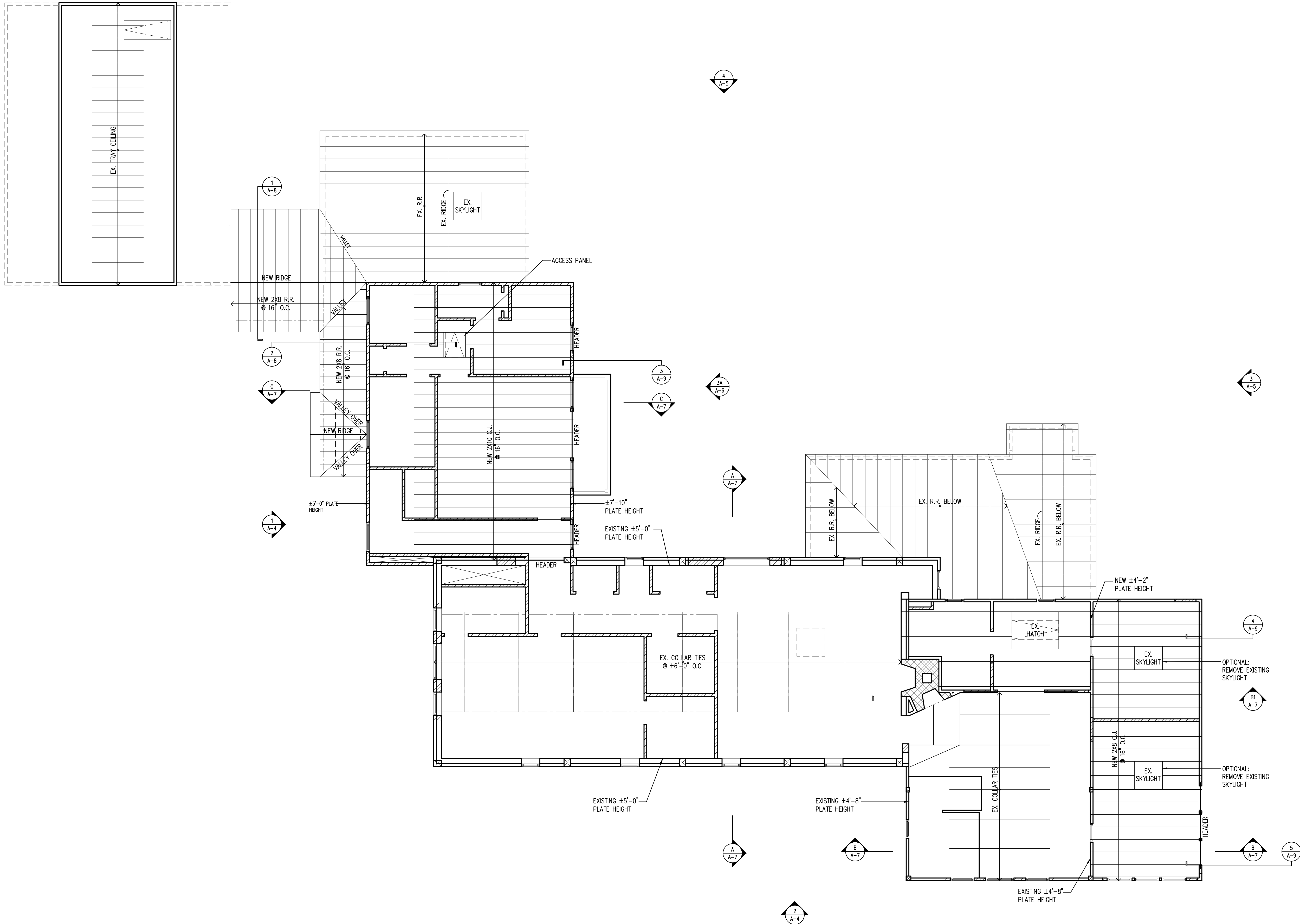
Scale: AS NOTED

S-2



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Permit Review	07/08/2021
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Permit & Const.	11/10/2021



NEW WALL
EXISTING WALL

ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

PROPOSED
SECOND FLOOR CEILING
FRAMING PLAN

Job No. 21-01

Date: Jan. 20, 2021

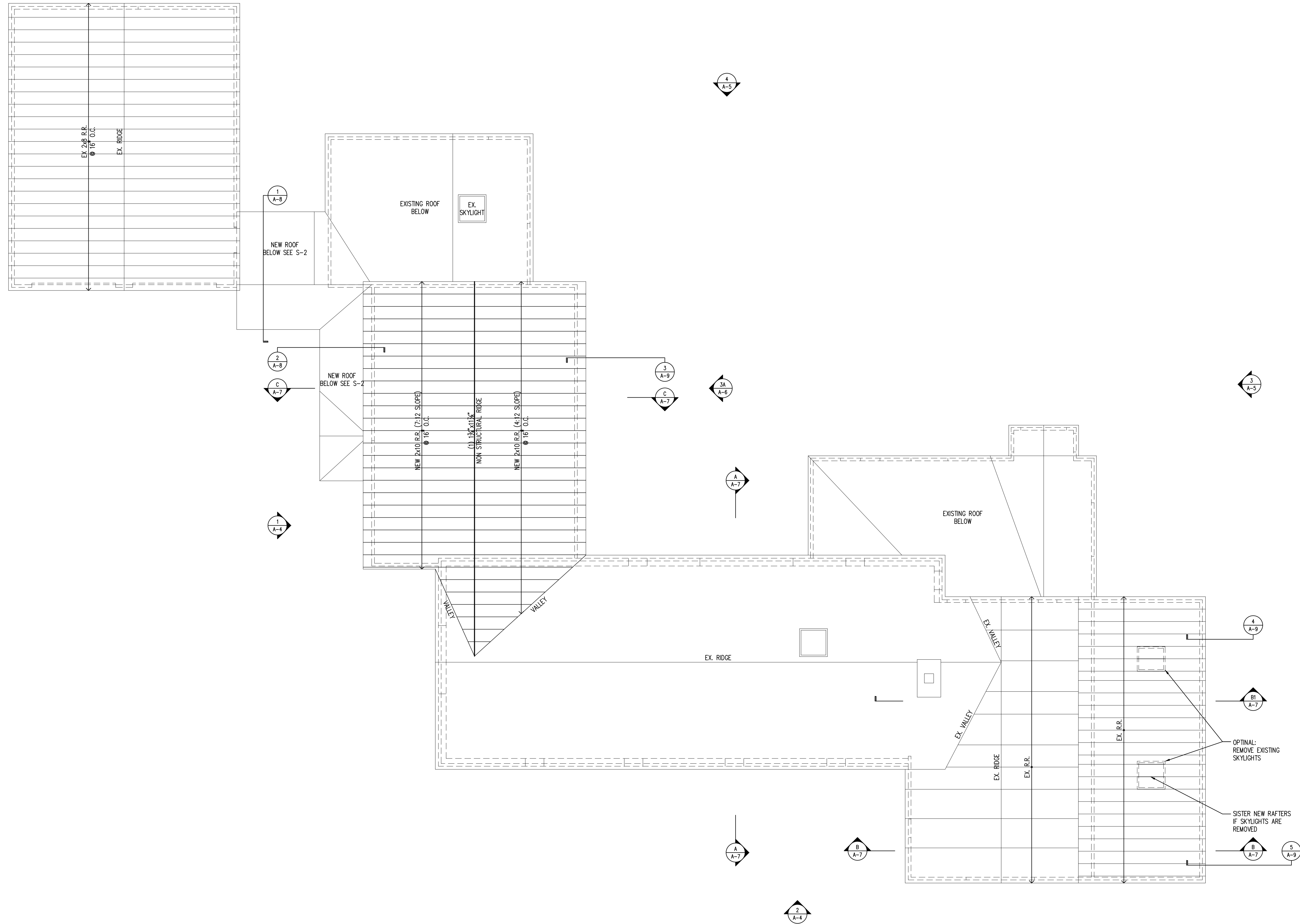
Scale: AS NOTED

S-3

PROPOSED SECOND FLOOR CEILING FRAMING PLAN
SCALE 3/16" = 1'-0"

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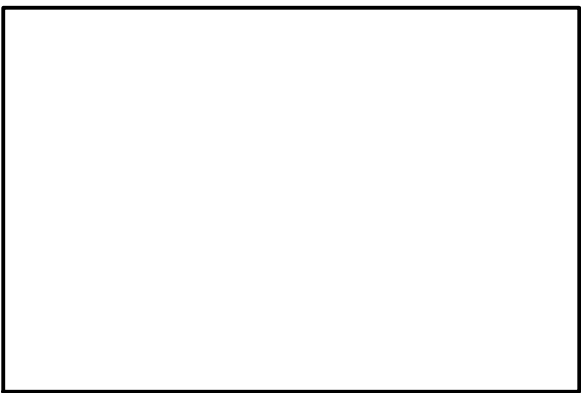
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1
S-4

PROPOSED ROOF FRAMING PLAN

SCALE 3/16" = 1'-0"



ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title: _____

PROPOSED ROOF
FRAMING PLAN

Job No.: 21-01

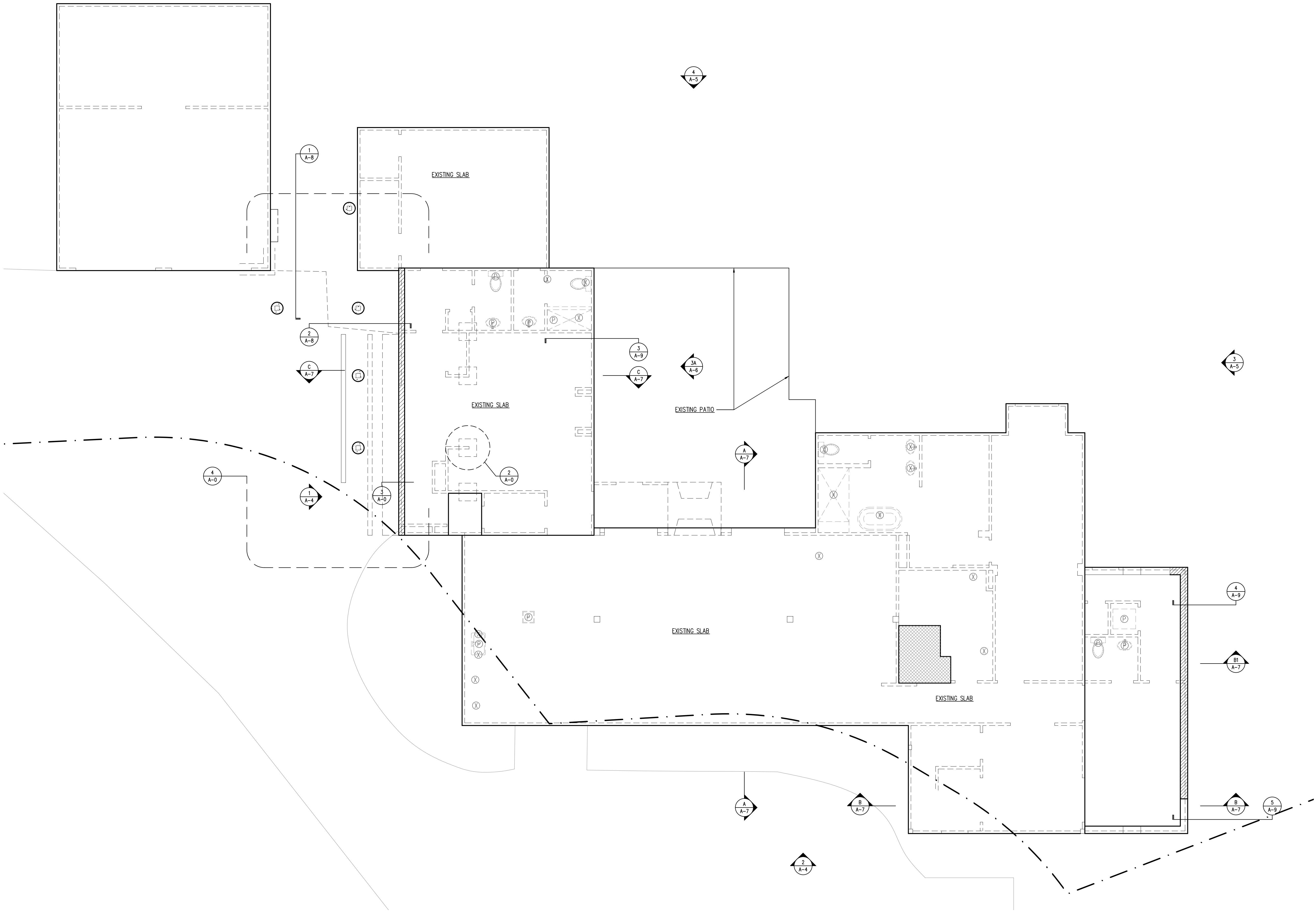
Date: Jan. 20, 2021

Scale: AS NOTED

S-4

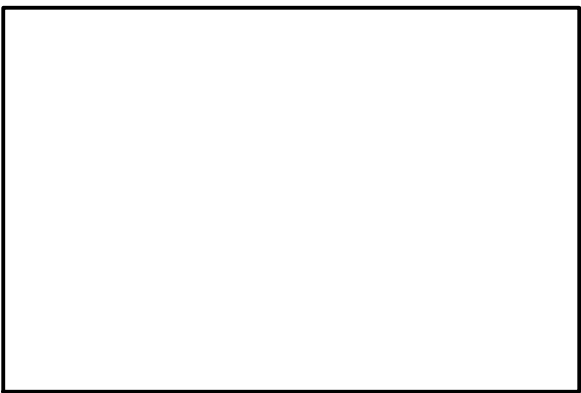
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- X EXISTING WATER FIXTURE LOCATION
- P PROPOSED WATER FIXTURE LOCATION

1 PROPOSED MECH. PLAN
ME-0 SCALE 3/16" = 1'-0"



ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title: _____

PROPOSED
MECH. PLAN

Job No.: 21-01

Date: Jan. 20, 2021

Scale: AS NOTED

ME-0

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MECHANICAL NOTES:

- I-Y HEAT PUMP
- A/E/H/J WALL UNIT OR INTERIOR WALL UNIT
- B/C/D/F/G CEILING CASSETTE
- SMOKE & CO DETECTORS

ELECTRICAL NOTES:

- LED RECESSED LIGHT
-ALL CLOSET LIGHTS TO BE COVERED
-ALL SHOWER LIGHTS TO BE WATER PROOF
- PENDANT LIGHT OR CEILING MOUNTED
- WALL SCONCE
- SWITCH LOCATION
- OUTLET

ARCHITECT, OWNER, GC AND ELECTRICIAN TO WALK THRU PRIOR TO INSTALLATION

ROBERT STORM ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

PROPOSED MECH./ ELEC. PLAN

Job No.: 21-01

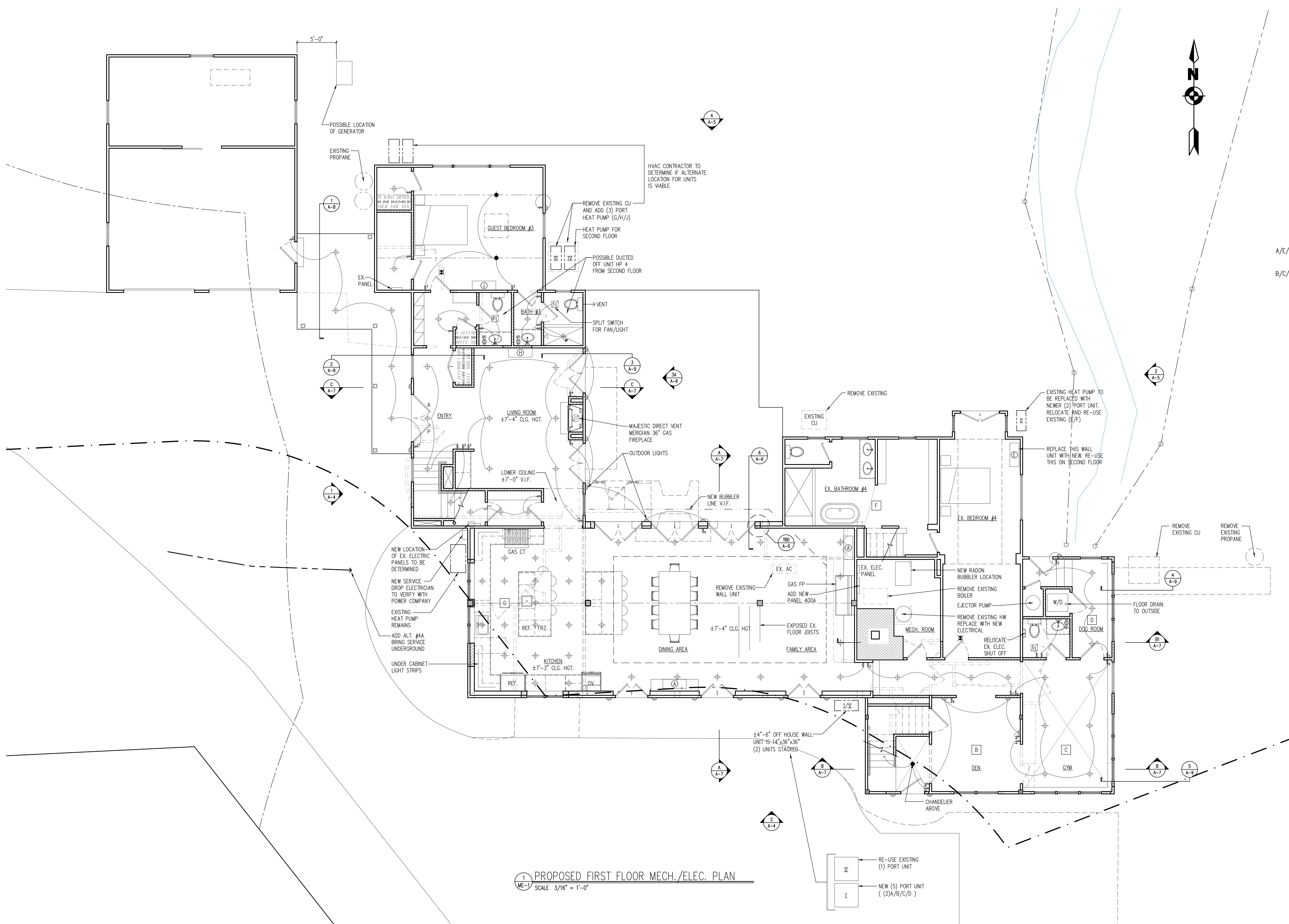
Date: Jan. 20, 2021

Scale: AS NOTED

ME-1

PROPOSED FIRST FLOOR MECH./ELEC. PLAN

SCALE 3/16" = 1'-0"



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MECHANICAL NOTES:

- I-V HEAT PUMP
- A/E/H/J WALL UNIT OR INTERIOR WALL UNIT
- B/C/D/F/G CEILING CASSETTE
- SMOKE & CO DETECTORS

ELECTRICAL NOTES:

- LED RECESSED LIGHT
-ALL CLOSET LIGHTS TO BE COVERED
-ALL SHOWER LIGHTS TO BE WATER PROOF
- PENDANT LIGHT OR CEILING MOUNTED
- WALL SCONCE
- SWITCH LOCATION
- OUTLET

ARCHITECT, OWNER, GC AND ELECTRICIAN TO WALK THRU PRIOR TO INSTALLATION

ROBERT STORM ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

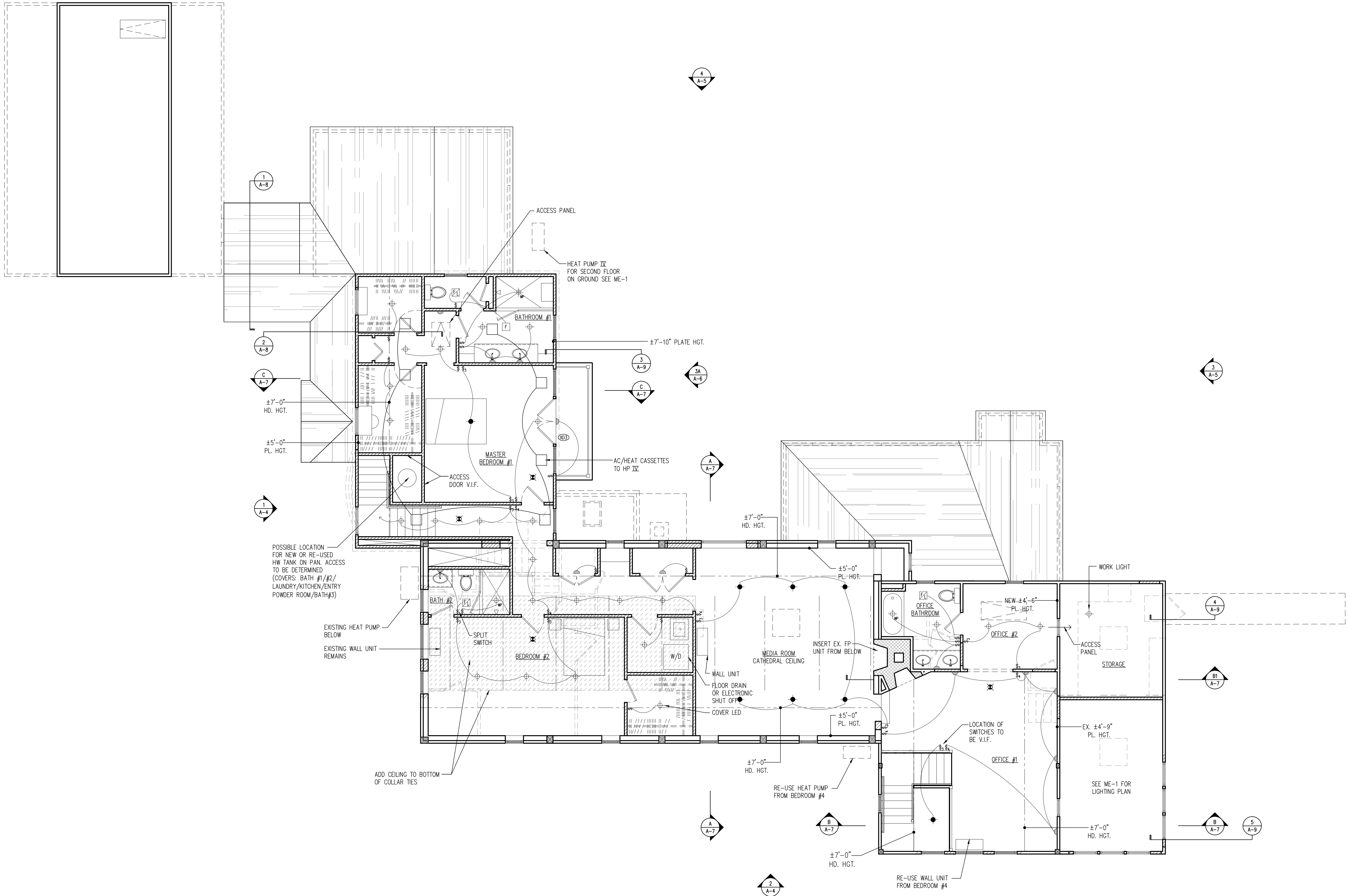
ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title: **PROPOSED SECOND FLOOR MECH./ELEC. FLOOR PLAN**

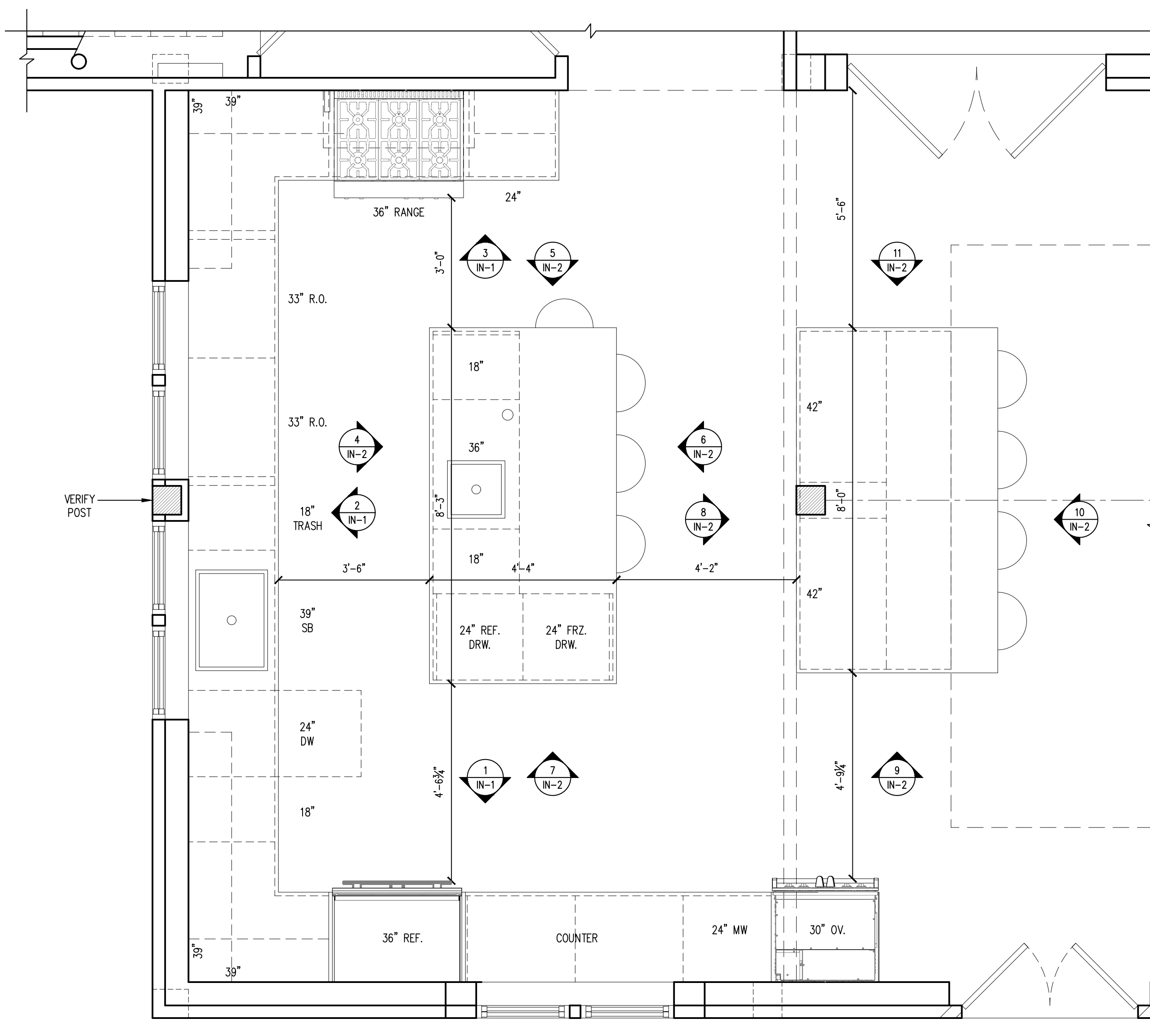
Job No.: 21-01

Date: Jan. 20, 2021 **ME-2**

Scale: AS NOTED



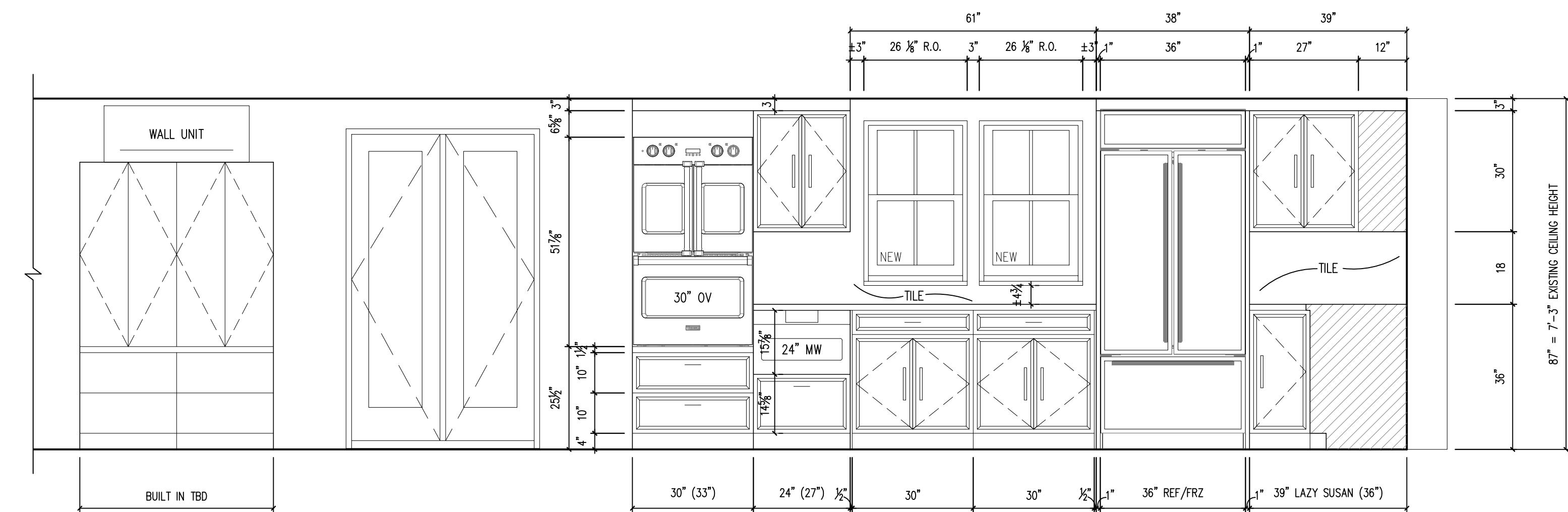
1 PROPOSED SECOND FLOOR MECH./ELEC. PLAN
ME-2 SCALE 3/16" = 1'-0"



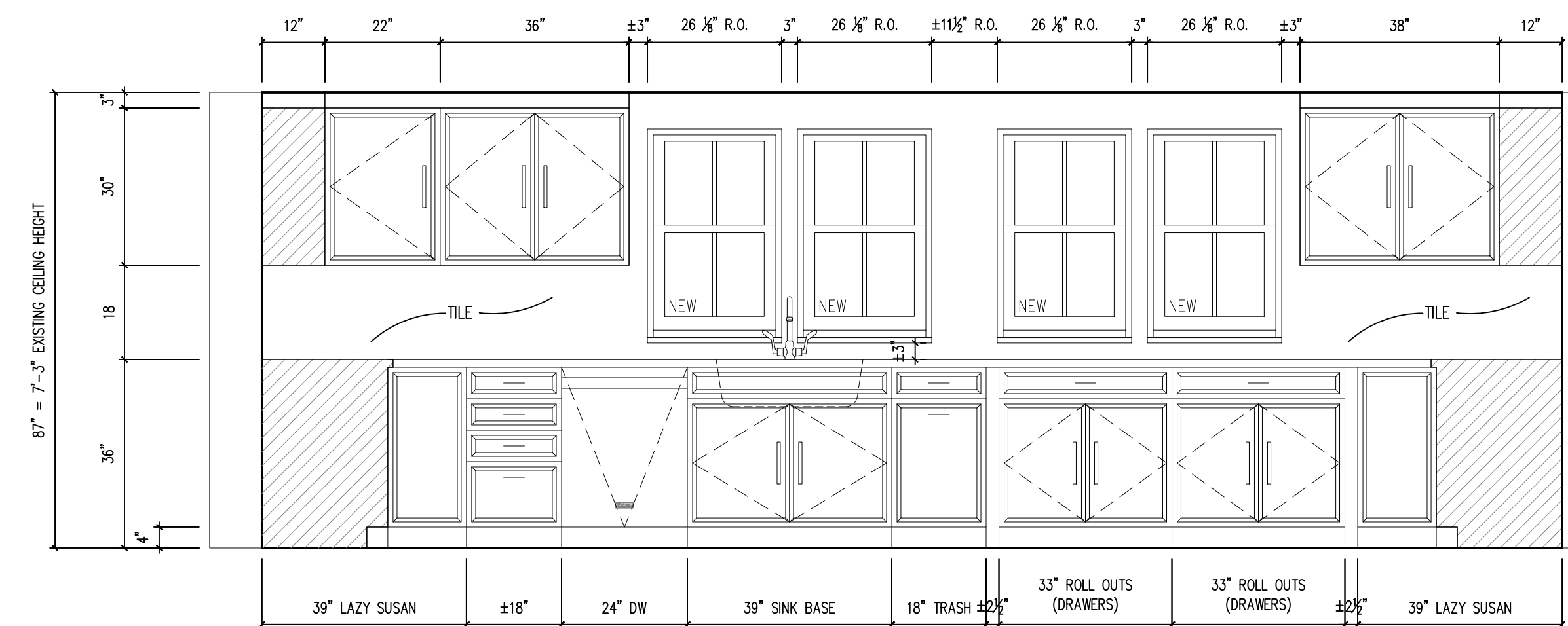
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IN-1

PROPOSED KITCHEN FLOOR PLAN

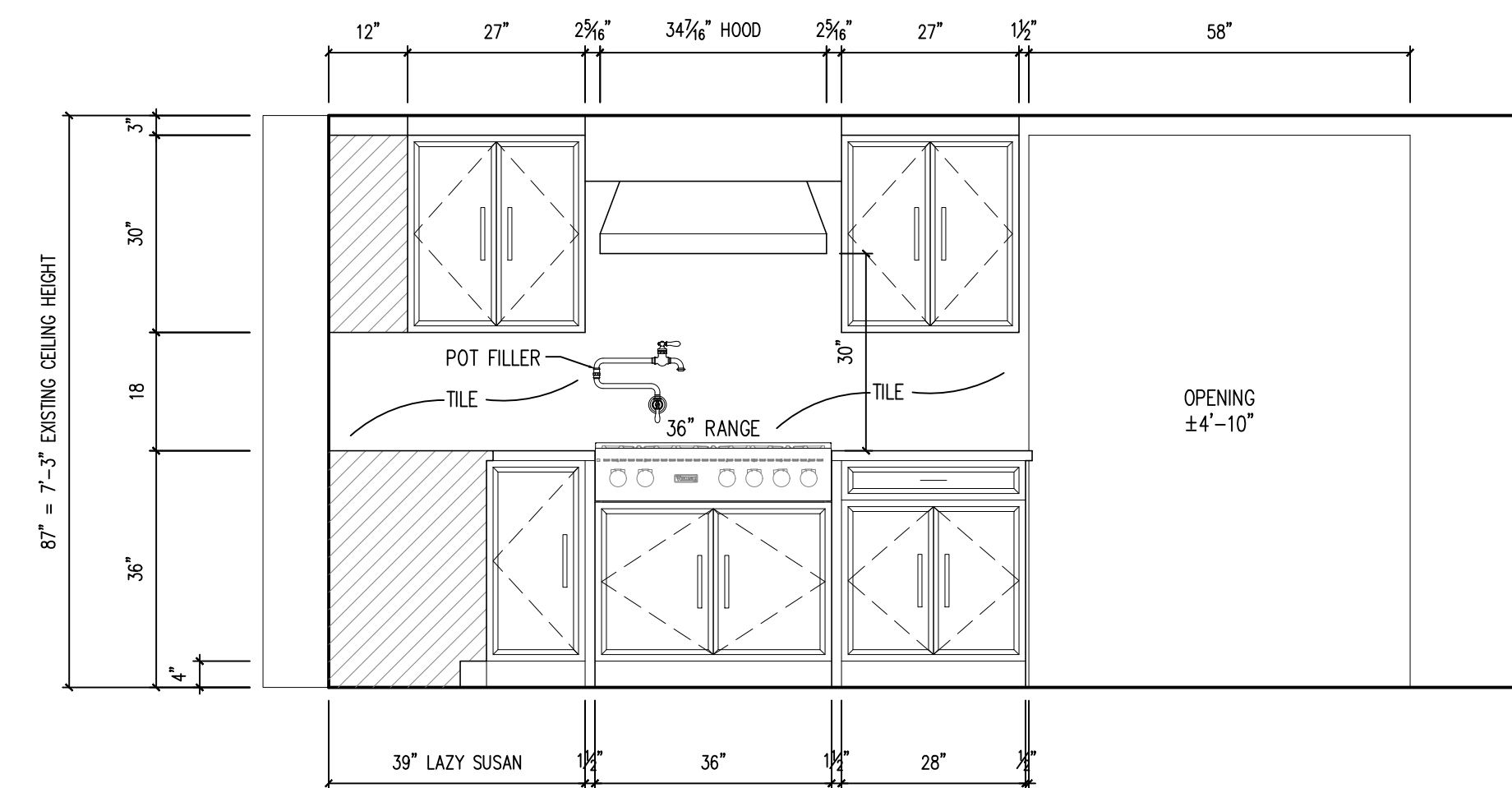
SCALE 1/2" = 1'-0"



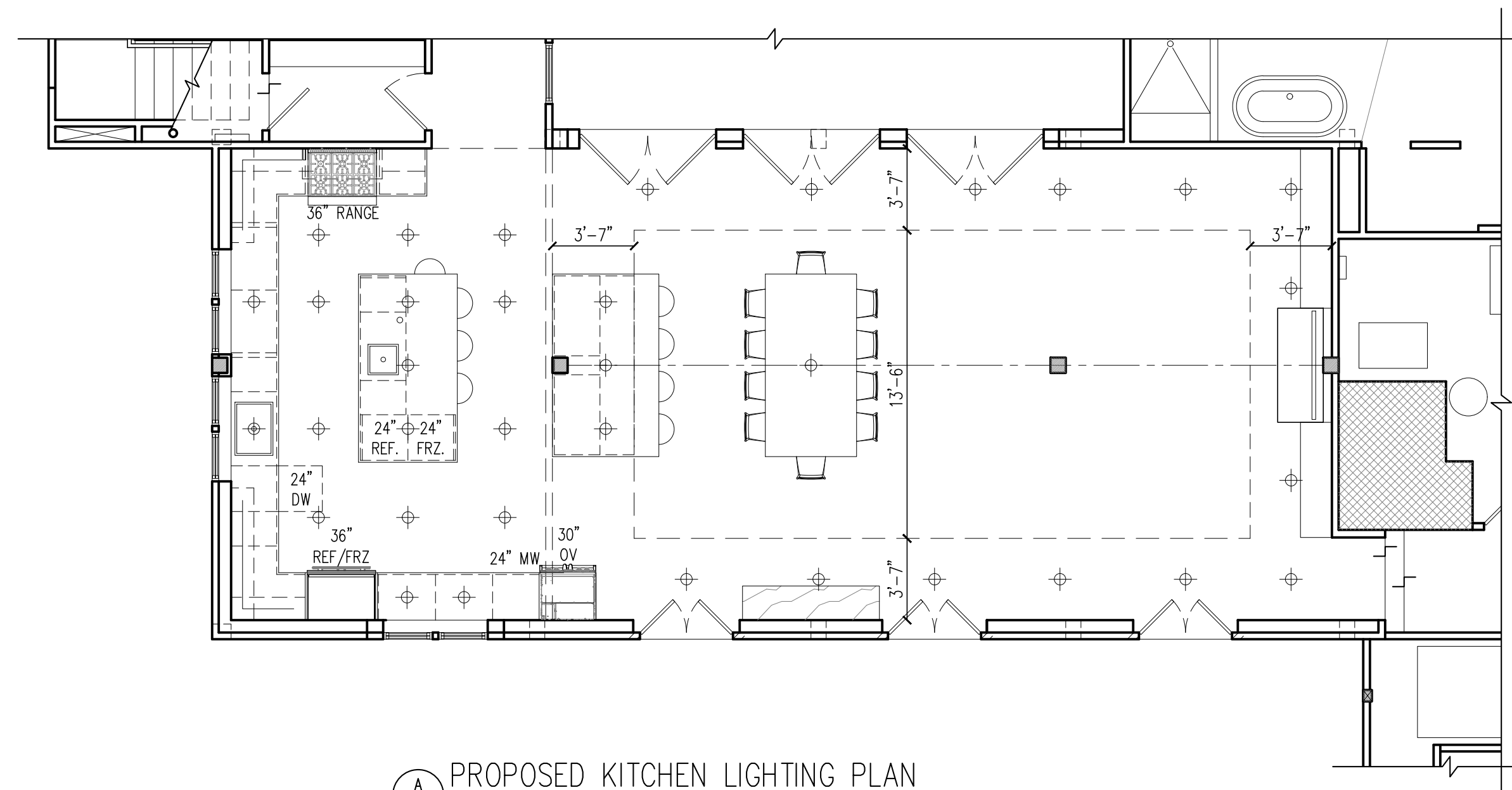
1 PROPOSED KITCHEN ELEVATION 1
IN-1 SCALE 1/2" = 1'-0"



2 PROPOSED KITCHEN ELEVATION 2
IN-1 SCALE 1/2" = 1'-0"



3 PROPOSED KITCHEN ELEVATION 3
IN-1 SCALE 1/2" = 1'-0"



PROPOSED KITCHEN LIGHTING PLAN
SCALE 3/16" = 1'-0"

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ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title: _____

PROPOSED KITCHEN PLAN AND ELEVATIONS

Job No.: 21-01

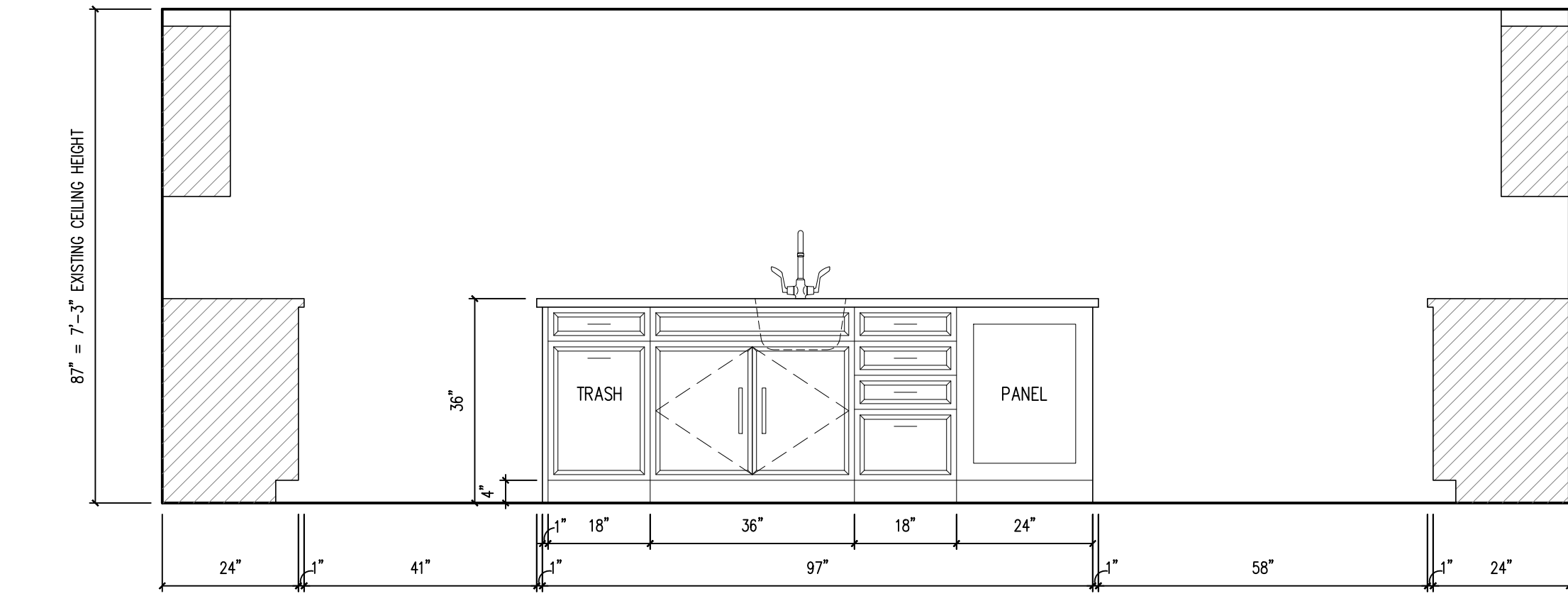
Date: Jan. 20, 2021

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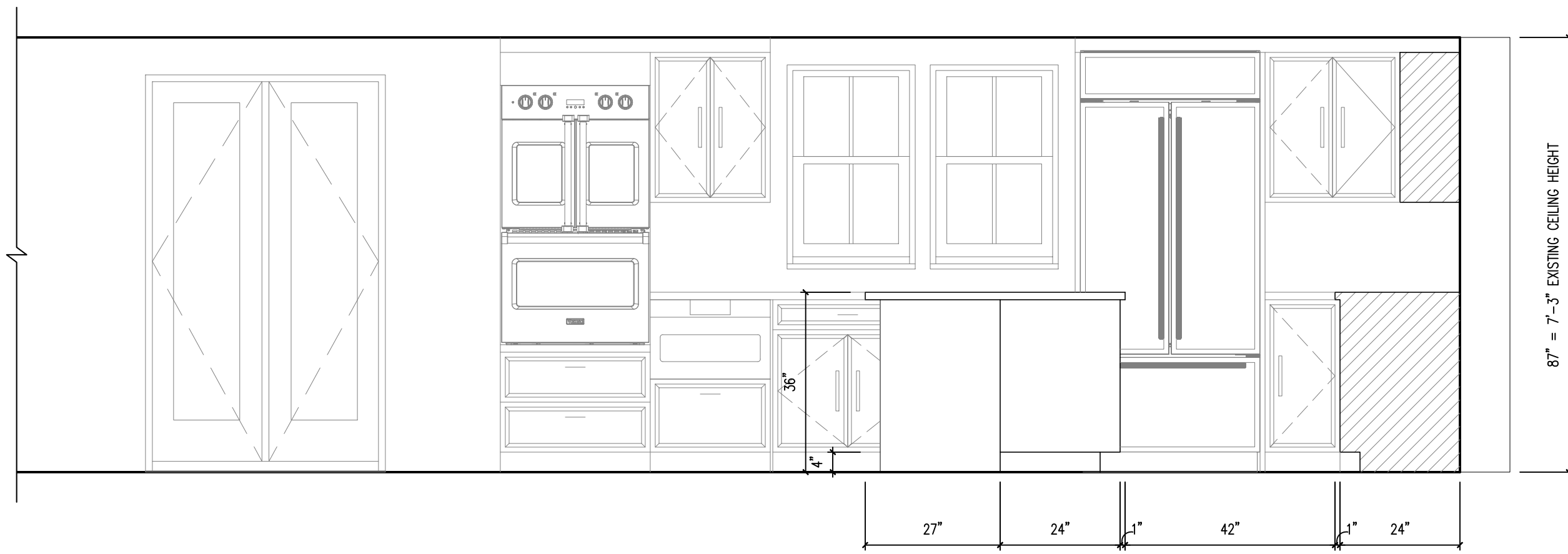
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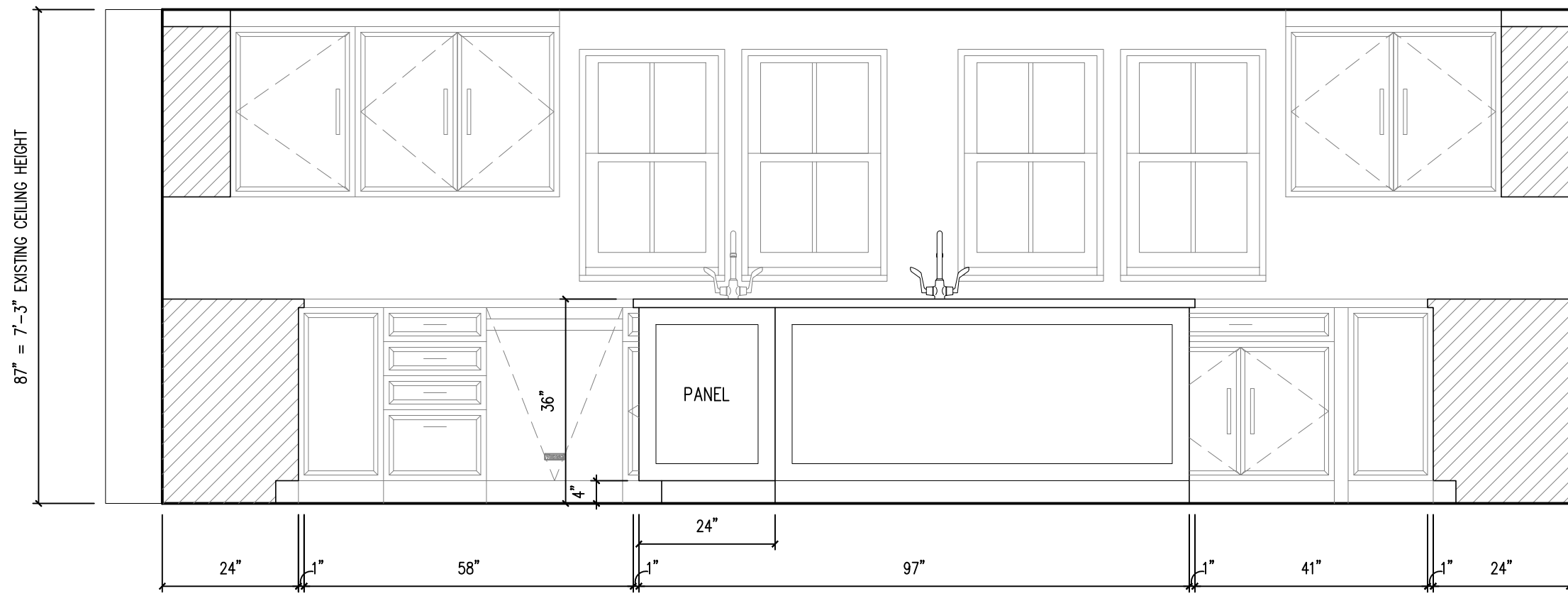
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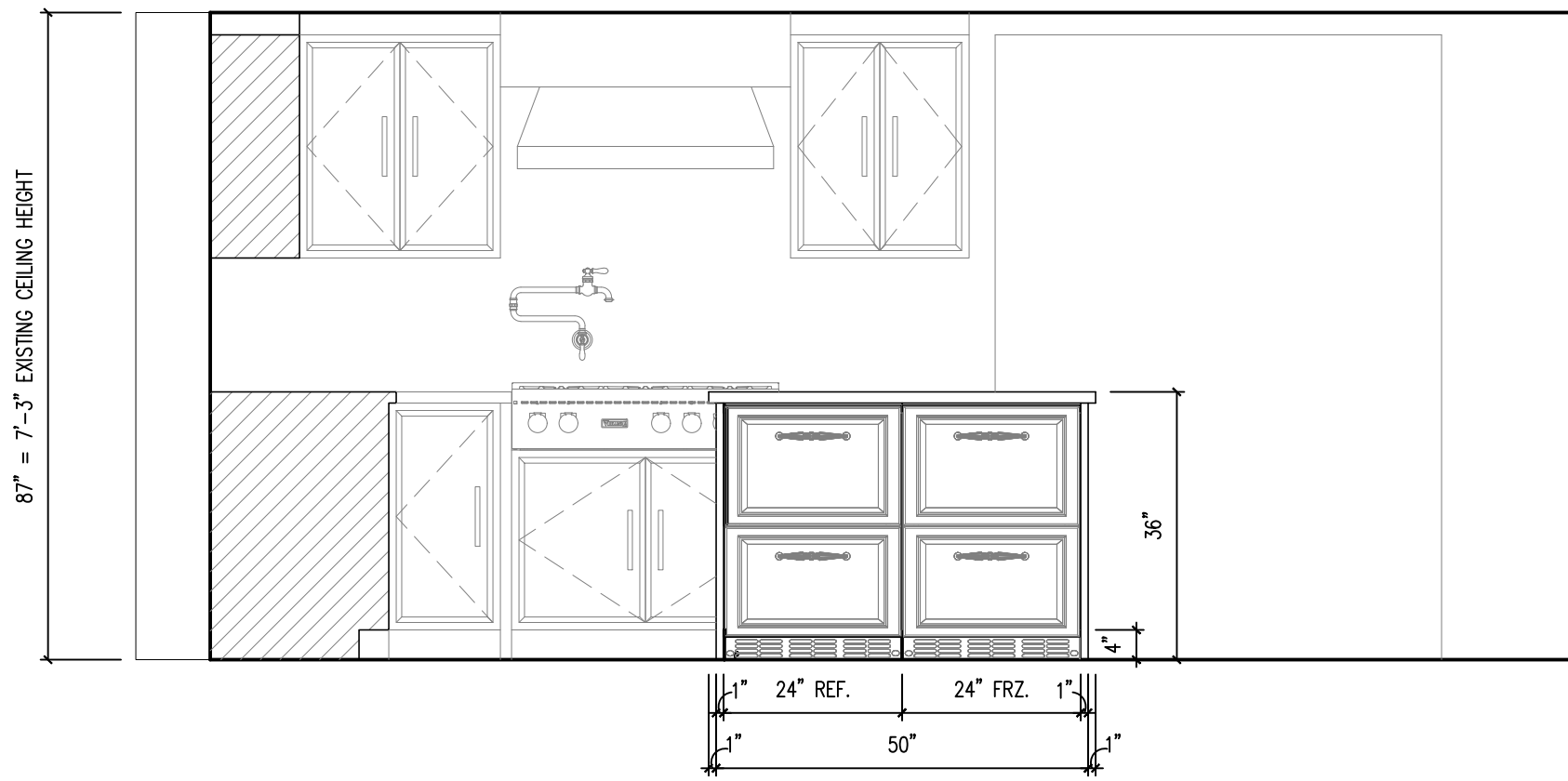
4 PROPOSED ISLAND ELEVATION
IN-2 SCALE 1/2" = 1'-0"



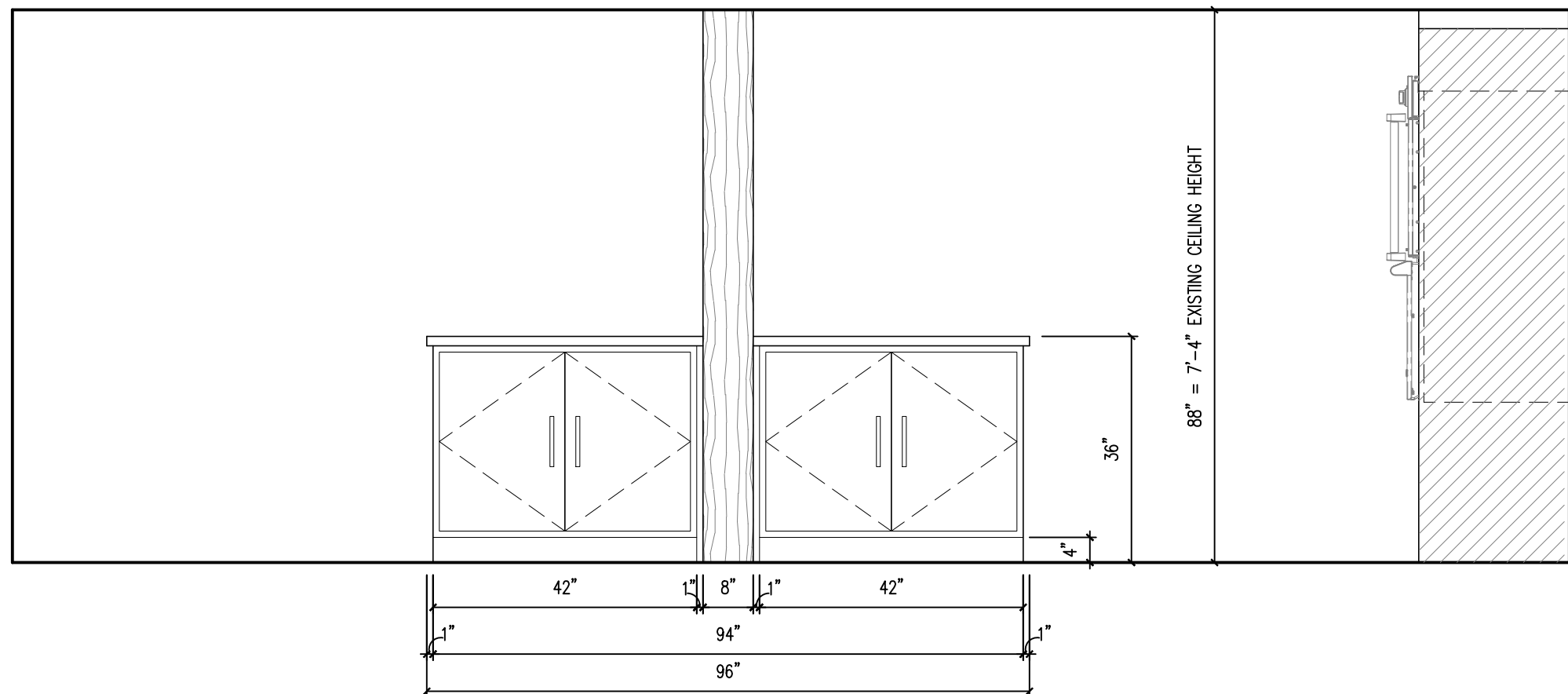
5 PROPOSED ISLAND ELEVATION
IN-2 SCALE 1/2" = 1'-0"



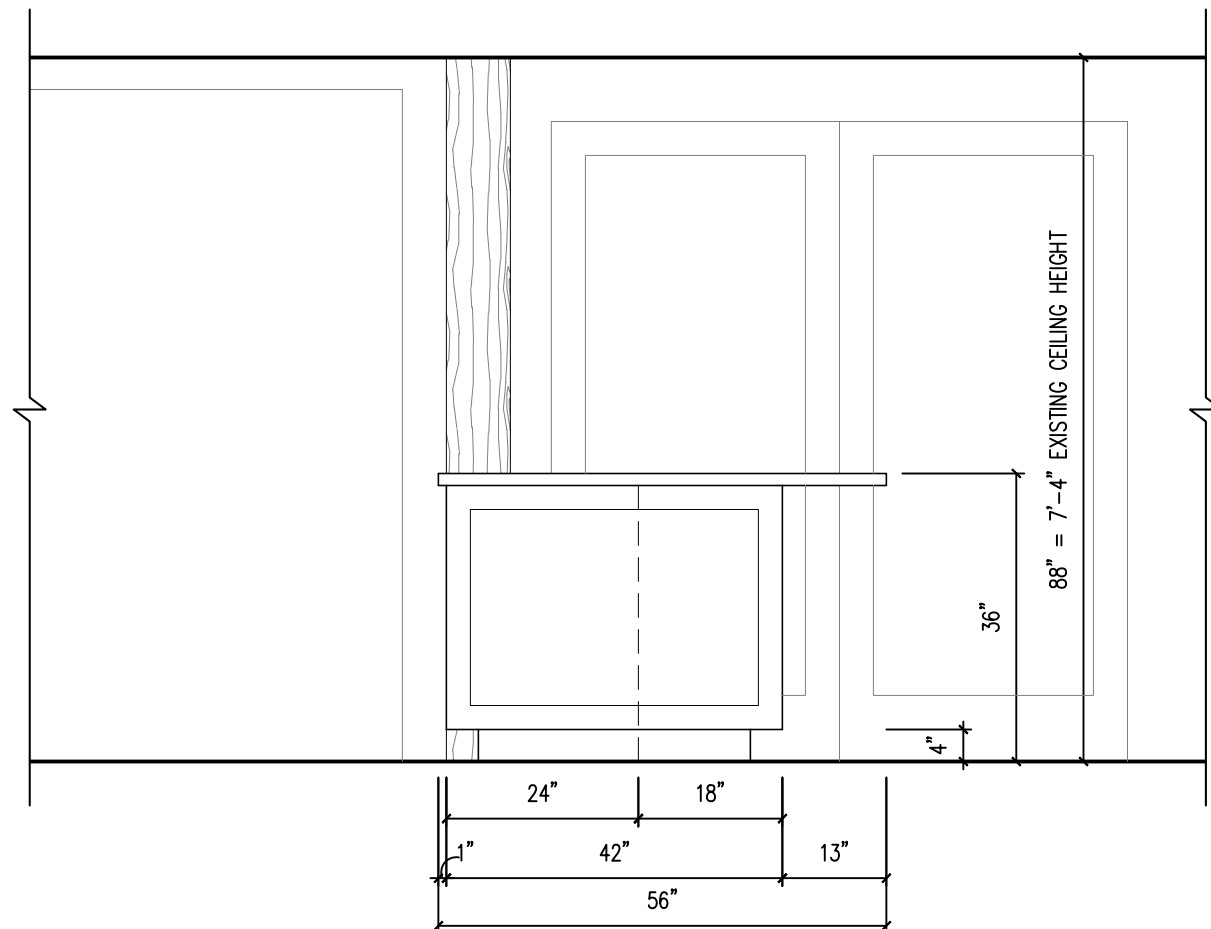
6 PROPOSED ISLAND ELEVATION
IN-2 SCALE 1/2" = 1'-0"



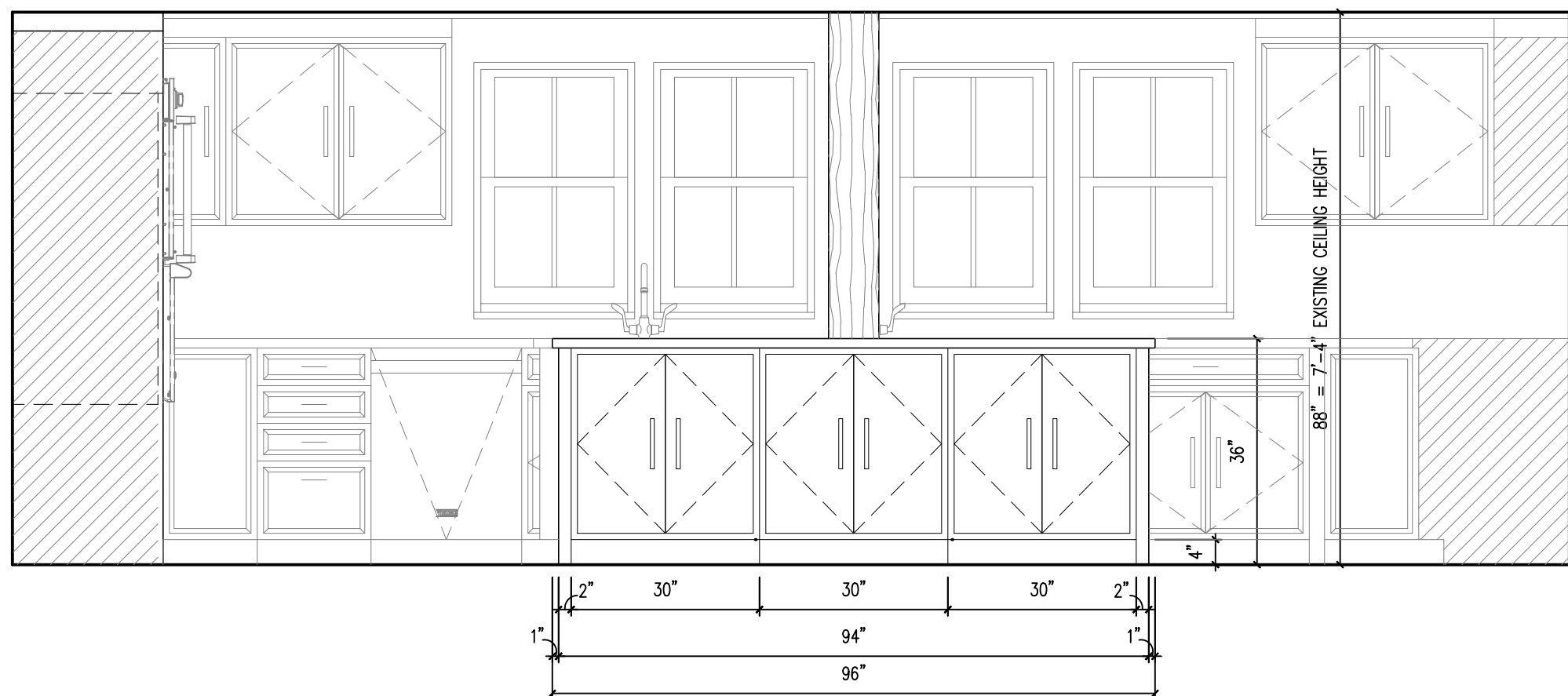
7 PROPOSED ISLAND ELEVATION
IN-2 SCALE 1/2" = 1'-0"



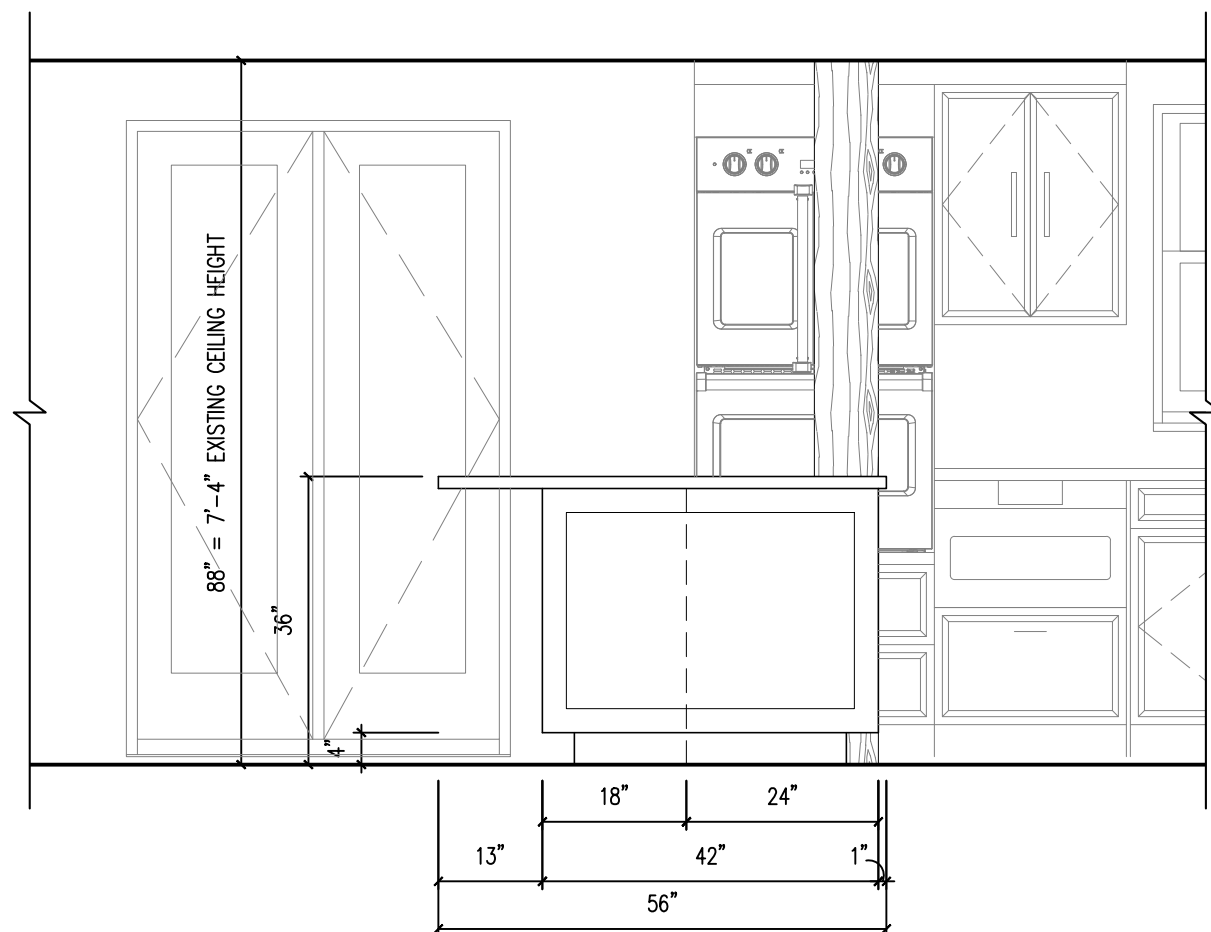
8 PROPOSED ISLAND ELEVATION
IN-2 SCALE 1/2" = 1'-0"



9 PROPOSED ISLAND ELEVATION
IN-2 SCALE 1/2" = 1'-0"



10 PROPOSED ISLAND ELEVATION
IN-2 SCALE 1/2" = 1'-0"



11 PROPOSED ISLAND ELEVATION
IN-2 SCALE 1/2" = 1'-0"

ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

PROPOSED
KITCHEN ISLAND
ELEVATIONS

Job No.: 21-01

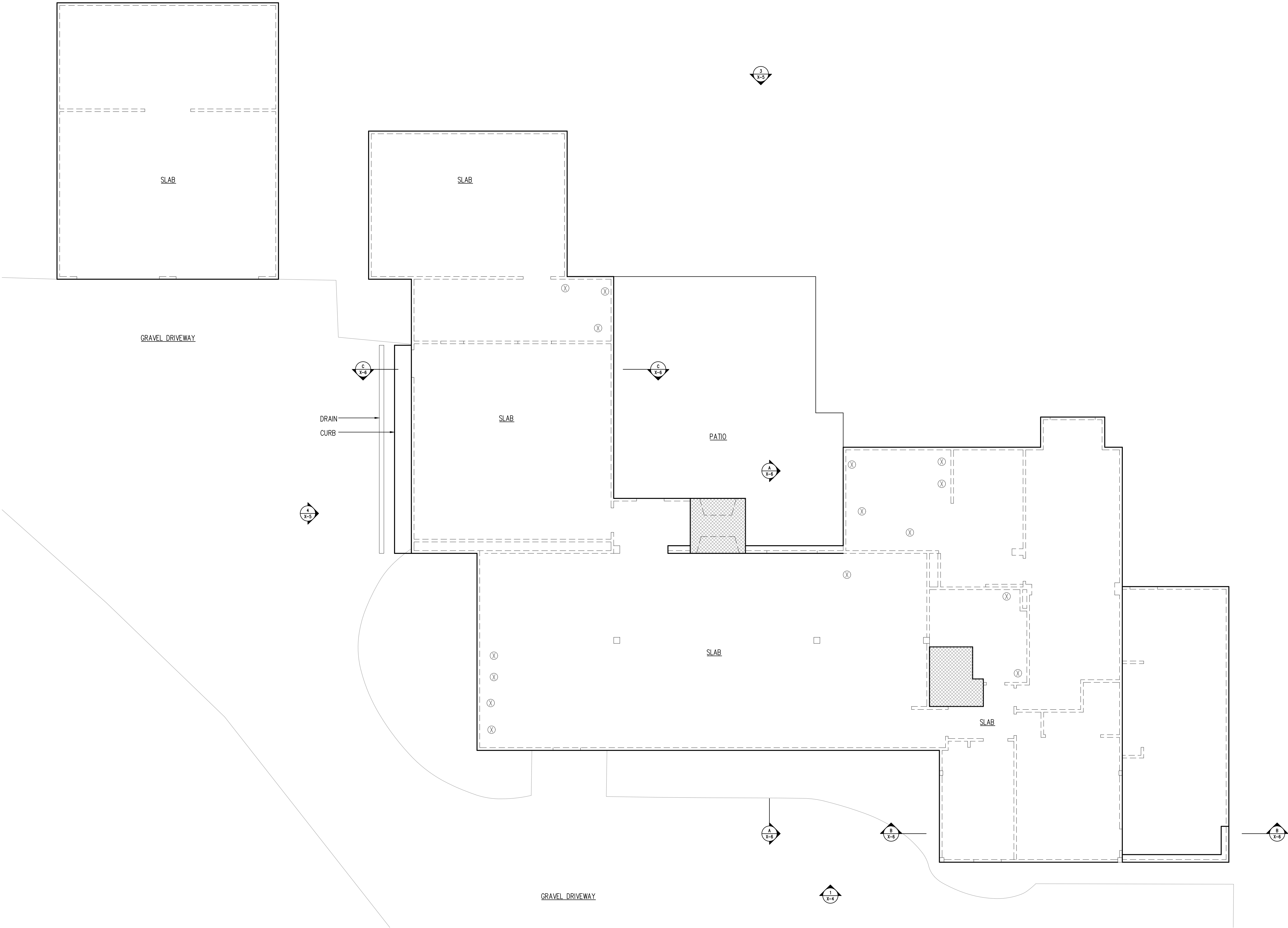
Date: Jan. 20, 2021

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IN-2

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X EXISTING WATER FIXTURE LOCATION

ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

EXISTING
FOUNDATION PLAN

Job No.: 21-01

Date: Jan. 20, 2021

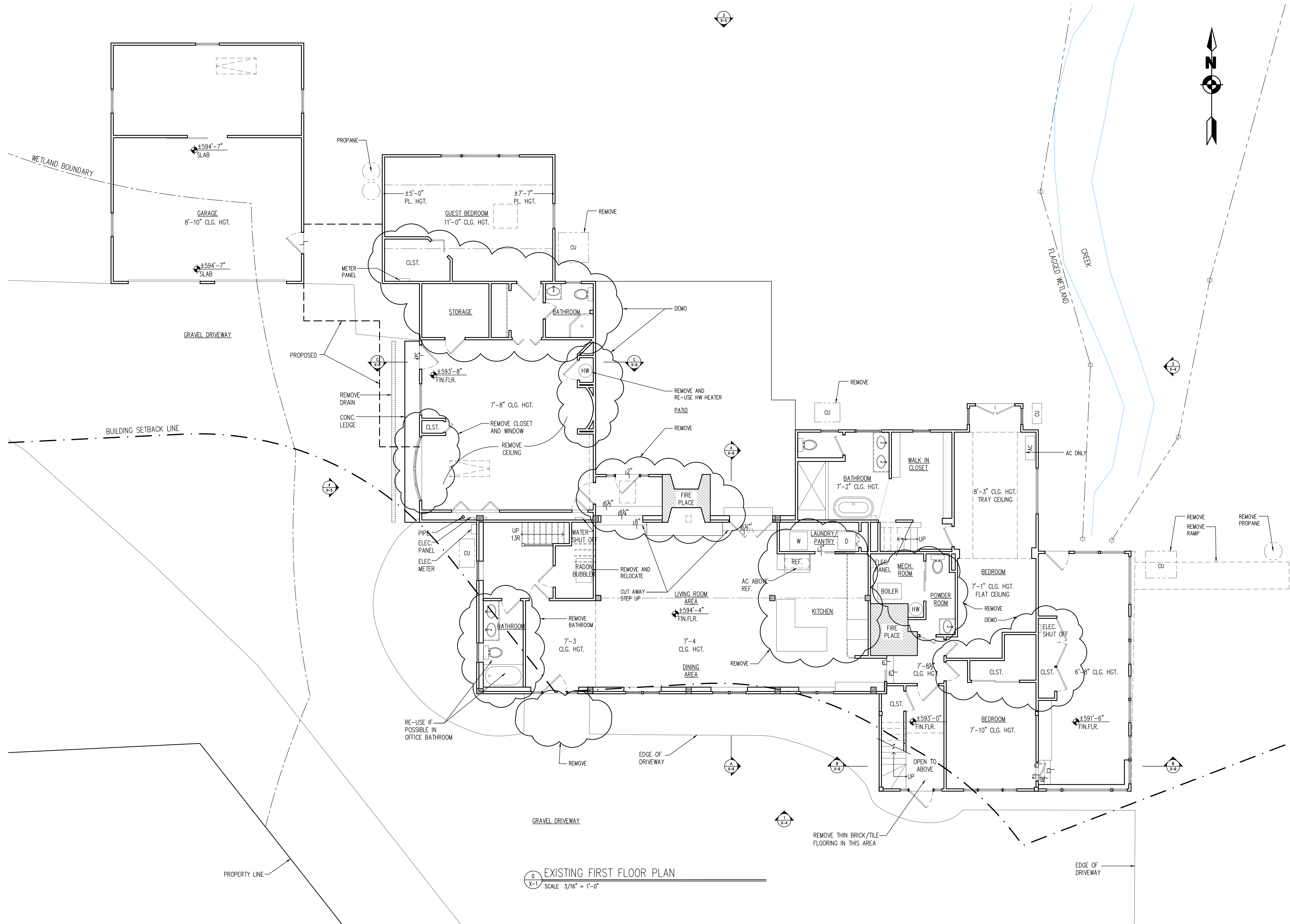
Scale: AS NOTED

X-0

EXISTING FOUNDATION PLAN
SCALE 3/16" = 1'-0"

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ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title:

EXISTING
FIRST FLOOR PLAN

Job No. 21-01

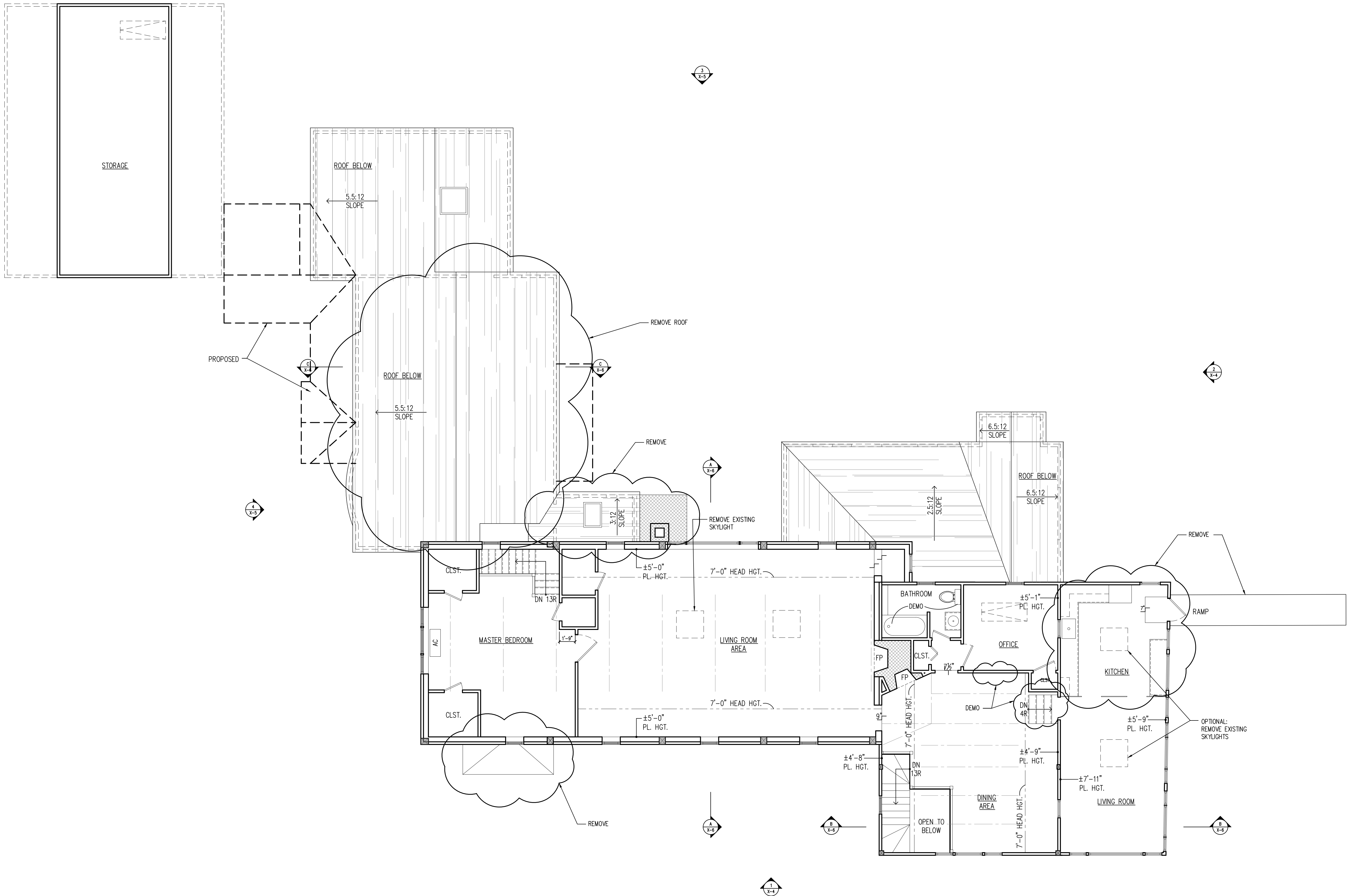
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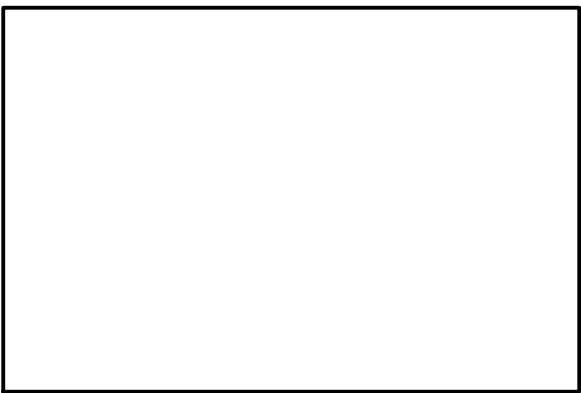
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0
X-2
EXISTING SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"



ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title: _____

EXISTING
SECOND FLOOR PLAN

Job No.: 21-01

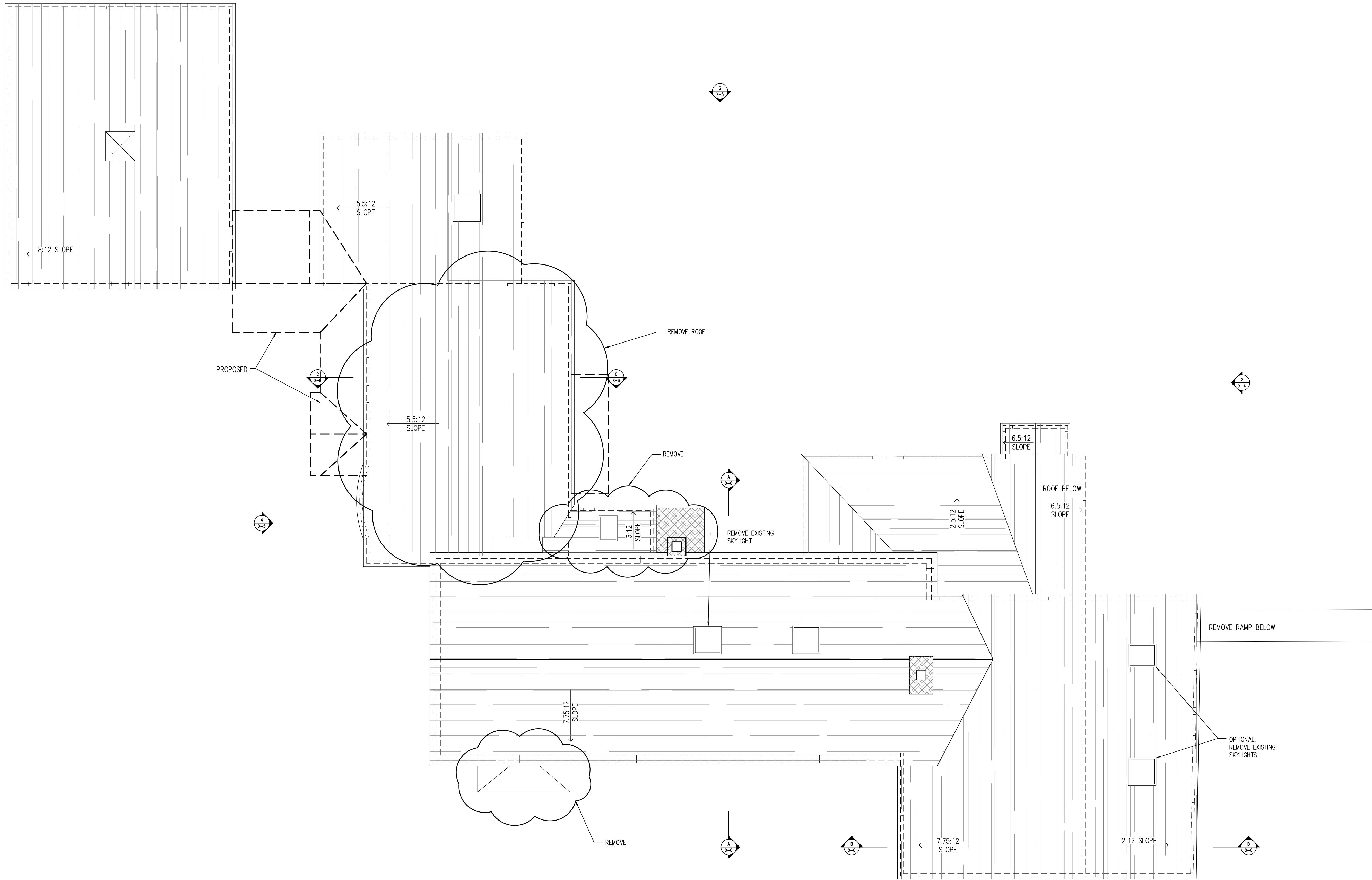
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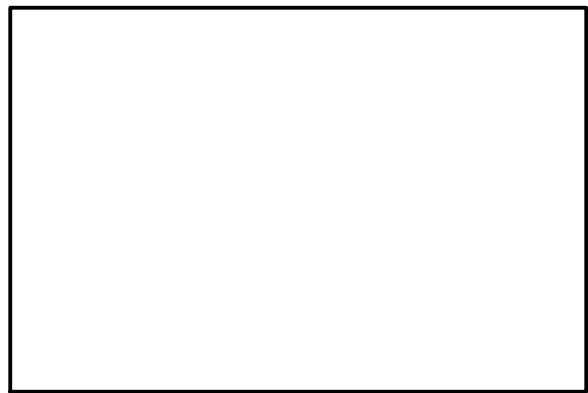
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0
X-3
EXISTING ROOF PLAN
SCALE 3/16" = 1'-0"



ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title: _____

EXISTING
ROOF PLAN

Job No.: 21-01

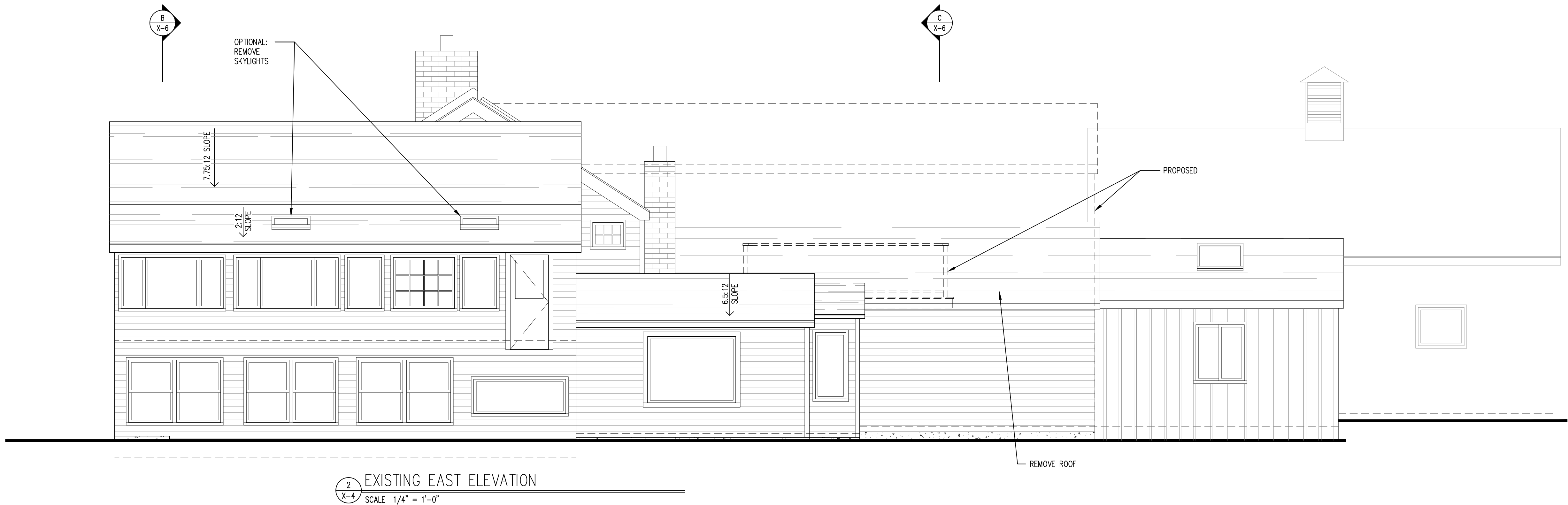
Date: Jan. 20, 2021

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X-3

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ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title: _____

EXISTING
FRONT & RIGHT SIDE
ELEVATIONS

Job No.: 21-01

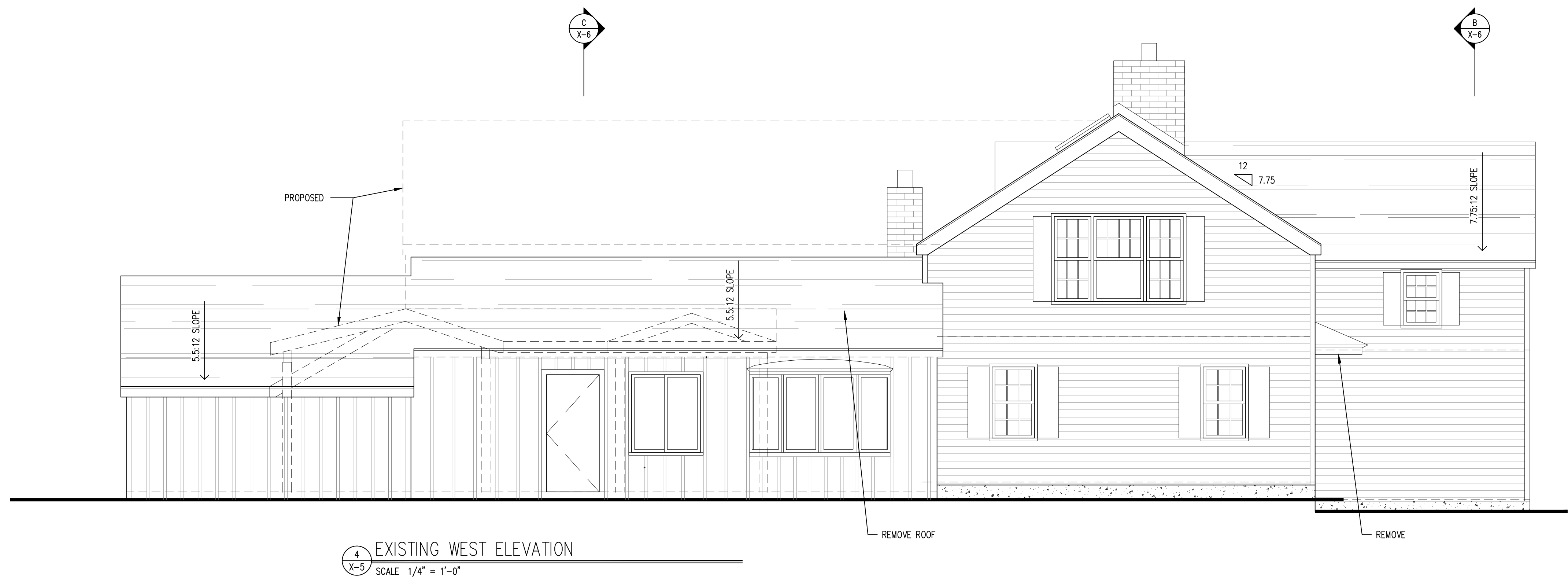
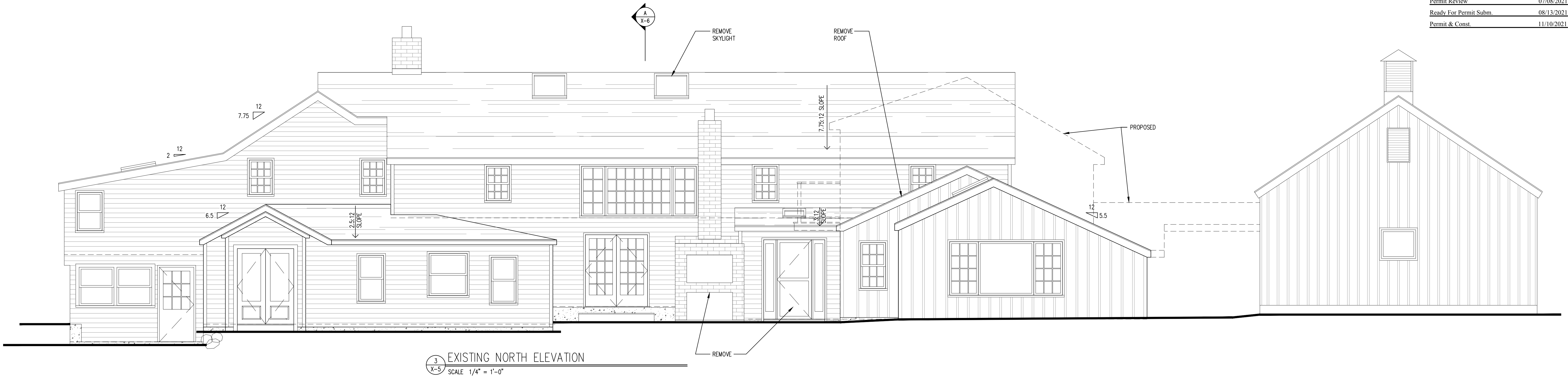
Date: Jan. 20, 2021

Scale: AS NOTED

X-4

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ROBERT STORM
ARCHITECTS

PHONE 203-222-9055
315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title: _____

EXISTING
REAR & LEFT SIDE
ELEVATIONS

Job No.: 21-01

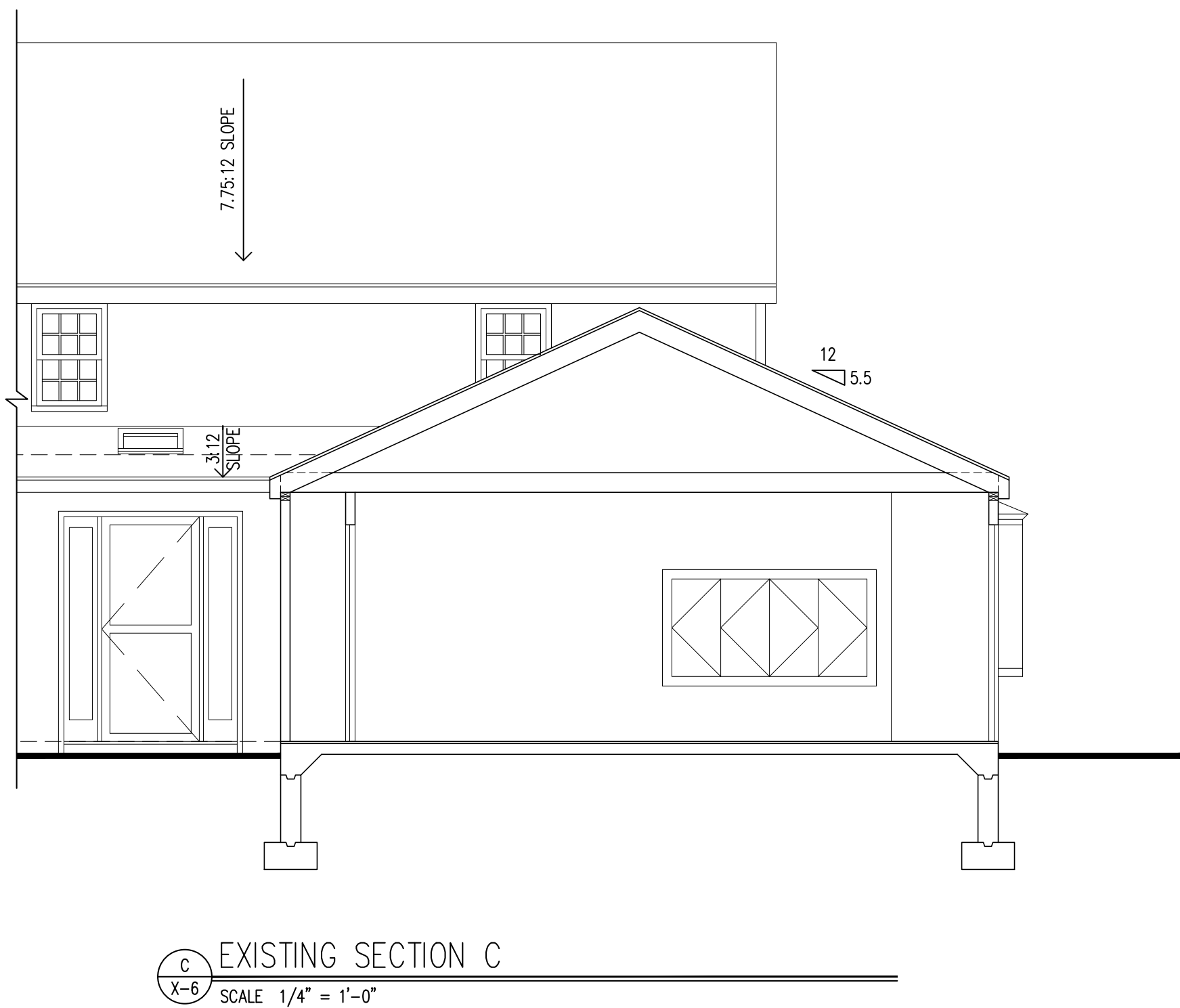
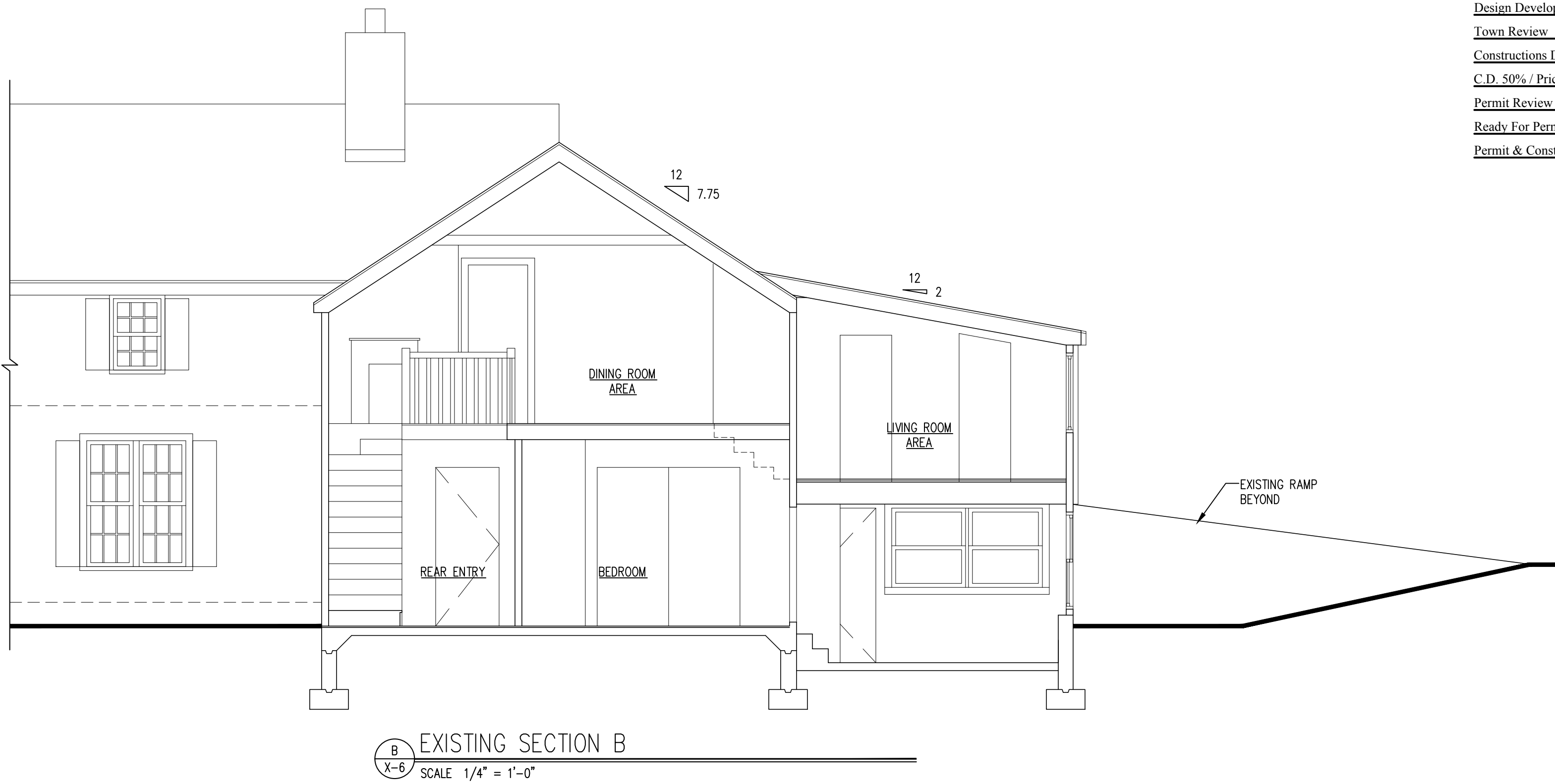
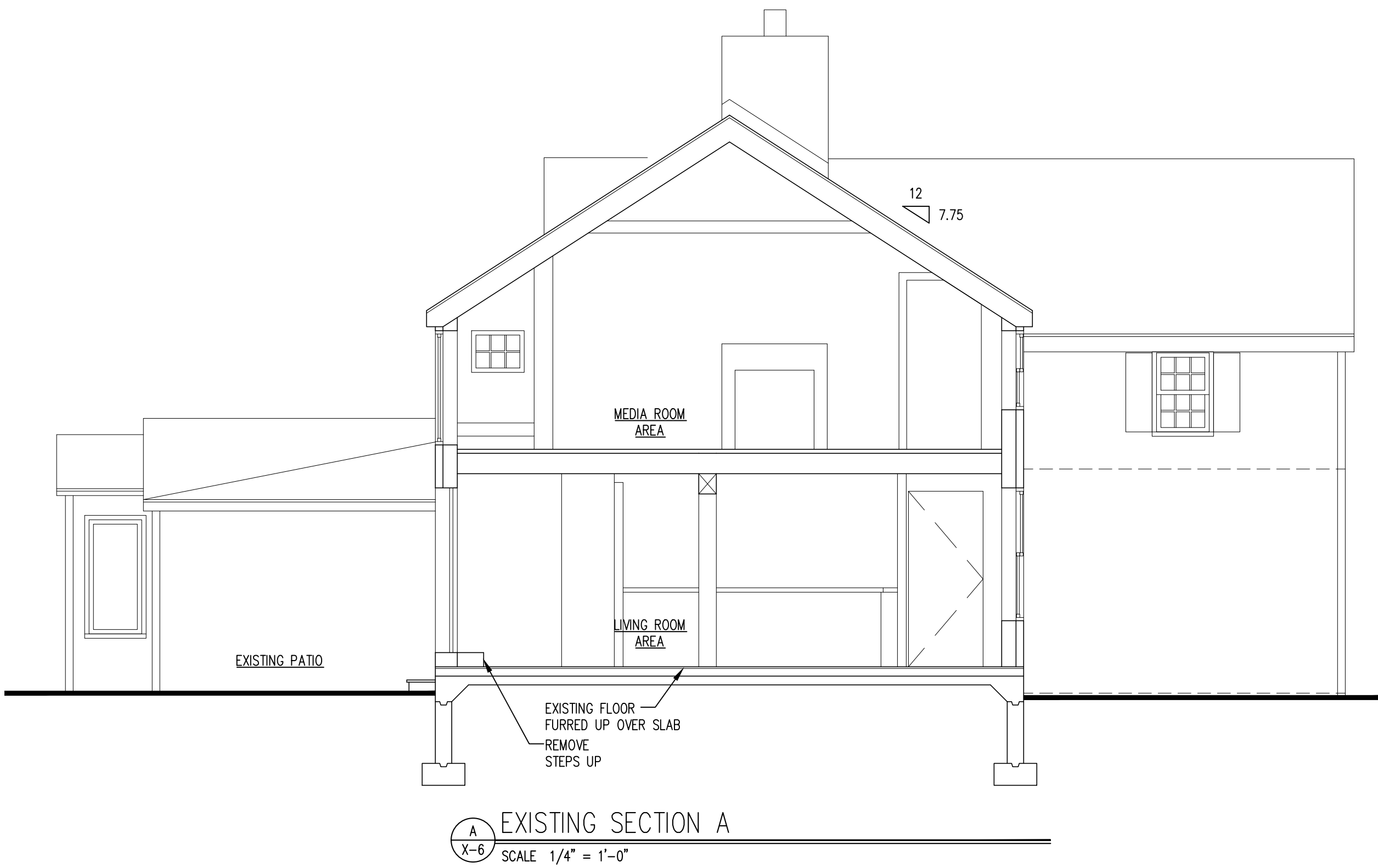
Date: Jan. 20, 2021

Scale: AS NOTED

X-5

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Issued For	Date
Base Drawings	01/20/2021
Design	02/10/2021
Design Development I	02/22/2021
Design Development II	03/02/2021
Design Development III	03/10/2021
Town Review	03/15/2021
Constructions Documents 10%	04/22/2021
C.D. 50% / Pricing Set	05/26/2021
Permit Review	07/08/2021
Ready For Permit Subm.	08/13/2021
Permit & Const.	11/10/2021



ROBERT STORM
ARCHITECTS

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315 MAIN STREET WESTPORT, CT 06880

ROTH RESIDENCE
1030 RIDGEFIELD ROAD
WILTON, CT

Title: _____

EXISTING
SECTIONS

Job No.: 21-01

Date: Jan. 20, 2021

Scale: AS NOTED

X-6