

**WILTON PLANNING AND
ZONING COMMISSION****SITE DEVELOPMENT
PLAN****SDP# 3-24**

SITE DEVELOPMENT PLAN: Cite specific section(s) of the Zoning Regulations and provide a detailed description of the proposed development. Attach additional sheets as required.
Section 29 -

N & J Construction Services LLC

14 Folwell Rd, Norwalk CT 06851

APPLICANT'S NAME**ADDRESS**

John Wyman

1 Wilton Acres, Wilton CT 06897

OWNER'S NAME**ADDRESS**

1 Wilton Acres, Wilton CT 06897

PROPERTY LOCATION**ZONING DISTRICT**

470

2562

685

6

43

0.777

WLR**VOLUME****PAGE****TAX MAP #****LOT #****ACREAGE****THE FOLLOWING MATERIALS ARE REQUIRED:**

* Please see **SPECIAL INSTRUCTIONS FOR SUBMISSION DURING COVID** at:

[Application Forms / Materials | Wilton CT](#)

* All submitted plans and documents shall bear an **original signature, seal, and license number** of the professional responsible for preparing each item. Maps should be **folded, not rolled**.

☒ **VICINITY SKETCH** at a scale of 1"=100' or 1"=200'. Said map shall show all existing zone boundaries, existing buildings and parcels, labeled by their corresponding Tax Map and Lot Number, within 500' of the subject property.

☒ **CLASS A-2 SURVEY MAP** of the subject property.

☒ **SITE DEVELOPMENT PLAN** pursuant to Section 29-11 of the Zoning Regulations.

☐ **FORM B – ZONING DATA.**

☒ **LIST OF PROJECT PROFESSIONALS** including name, firm, address and telephone.

☒ **LETTER OF TITLE** certifying owner of record as of date of the application.

☒ **PROOF OF APPLICANT'S LEGAL INTEREST** in property.

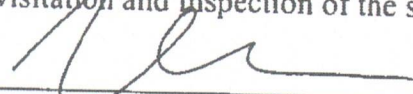
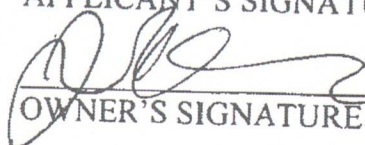
☒ **ANY OTHER PLAN OR DOCUMENT** as required by Zoning Regulations.

☒ **ELECTRONIC SUBMISSION** of all materials, **consolidated into 1 or 2 PDFs maximum**, emailed to michael.wrinn@wiltonct.org and daphne.white@wiltonct.org

☒ **\$360 FILING FEE + \$50/Unit or \$50/2000 sq. ft.** payable to: **Town of Wilton.**

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted and is responsible for the payment of all legal notices incurred.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

	3/19/24	nandjconstructionservices@gmail.com	
APPLICANT'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE
	3/19/24	john.wymann33@gmail.com	
OWNER'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE

For Planning and Zoning Department Use Only:

Mandatory Referrals - Jurisdiction/Agency		
	Yes	No
Village District Design Advisory Committee (VDDAC):	☐	☐
Architectural Review Board (ARB):	☐	☐
Western Connecticut Council of Governments (WestCOG):	☐	☐
South Norwalk Electric and Water Company (SNEW) Designated Public Watershed:	☐	☐
First Taxing District Water Department Designated Public Watershed:	☐	☐
State-Designated Aquifer Protection Area:	☐	☐
Adjoining Community Notification:	☐	☐



14 Folwell Road
Norwalk, CT 06851
HIC #: 0663042

Email: nandiconstructionservices@gmail.com

RE: 1 Wilton Acres, Wilton CT 06897

Site Development Plan (Proposed Development)

- Adjust grade where yard was filled with screen fill using 3-4 truck loads
- Top dress filled area with topsoil, seed, and hay
- We will install arborvitaes trees to back yard for a light screening
- On front side of house install a rail road tie wall to support embankment
- Install front walkway with flagstone in concrete where existing walk was located



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RE: 1 Wilton Acres, Wilton CT 06897

List of Project Professionals-

N & J Construction Services LLC

14 Folwell Rd

Norwalk CT 06851

917-238-4764

STATE OF CONNECTICUT
DEPARTMENT OF CONSUMER PROTECTION

HOME IMPROVEMENT CONTRACTOR
N & J CONSTRUCTION SERVICES LLC
14 FOLWELL RD
NORWALK, CT 06851-5331

Registration #
HIC.0663042

Effective
09/28/2023

Expiration
03/31/2024

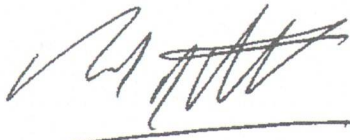
SIGNED

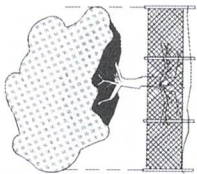
March 19, 2024

I Nick Chetta, President of N & J Construction Services LLC grant permission to Chris Gulyas to pull and sign permits on my behalf.

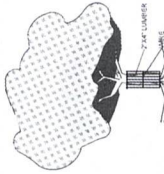
Sincerely,

Nick Chetta, President, N & J Construction Services LLC

 3/19/2024



NOTES:
1. FENCE SHALL BE 4' HIGH AND 4" WIDE.
2. FENCE SHALL BE MADE OF 2" X 4" SLATS.
3. FENCE SHALL BE SUPPORTED BY 4" X 4" CONCRETE POSTS.
4. FENCE SHALL BE SET BACK 12" FROM TRUNK.
5. FENCE SHALL BE SET BACK 12" FROM GRASS.
6. FENCE SHALL BE SET BACK 12" FROM CURB.
7. FENCE SHALL BE SET BACK 12" FROM SIDEWALK.
8. FENCE SHALL BE SET BACK 12" FROM DRIVEWAY.
9. FENCE SHALL BE SET BACK 12" FROM PORCH.
10. FENCE SHALL BE SET BACK 12" FROM PATIO.
11. FENCE SHALL BE SET BACK 12" FROM BALCONY.
12. FENCE SHALL BE SET BACK 12" FROM TERRACE.
13. FENCE SHALL BE SET BACK 12" FROM STAIRS.
14. FENCE SHALL BE SET BACK 12" FROM WALKWAYS.
15. FENCE SHALL BE SET BACK 12" FROM LANDSCAPE.
16. FENCE SHALL BE SET BACK 12" FROM PLANTINGS.
17. FENCE SHALL BE SET BACK 12" FROM TREES.
18. FENCE SHALL BE SET BACK 12" FROM SHRUBS.
19. FENCE SHALL BE SET BACK 12" FROM FLOWERS.
20. FENCE SHALL BE SET BACK 12" FROM VEGETATION.



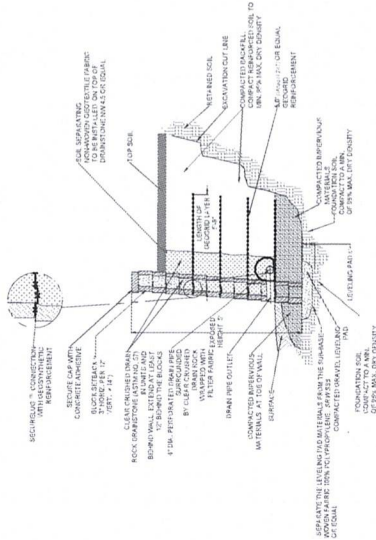
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TYP. TREE PROTECTION FENCING

N.T.S.

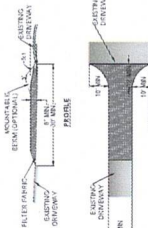
TYP. TREE BARK PROTECTION

N.T.S.



GEOGRID REINFORCED WALL TYP. INSTALLATION

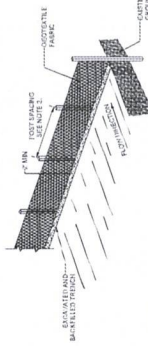
N.T.S.



NOTES:
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STABILIZED CONSTRUCTION ENTRANCE

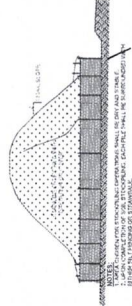
N.T.S.



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SILT FENCE

N.T.S.



MATERIAL STOCKPILE

N.T.S.

General Notes

No.	Revisions/Issues	Date

TJ
INCORPORATING
117 MANASSAS RD.
ROSELAND, CT 06877
TEL: 203-249-5753
FAX: 203-249-5754
TERESE ADARTE P.E.

Project Name and Address
RETAINING WALL CONSTRUCTION
#1 WILTON ACRES
WILTON, CT
Project No. 2023-001
Scale: 1" = 20'

Sheet
Date: 11/20/23
Page: 2 of 2
Scale: 1" = 20'



To: White, Daphne" <Daphne.White@wiltonct.org>

04.03.24

RE: Site Development Plan (SDP) application for 1 Wilton Acres
via email, dated 03.26.24.

Our itemized response, corresponding to your comments. Our responses are in "**bold**":

1. *An engineer's letter indicating the amount of total fill that was brought on to your property.*

Approximately 1,300 c.y. of fill was brought to the site.

2. *The submitted engineer's grading plan needs to be revised to reduce the height of the middle area of the proposed retaining wall which exceeds 6' in height, see Section 29-9.I.5.a. The submitted retaining wall plan includes a detail of the proposed retaining wall with a maximum height of 5', but the maximum height of the retaining wall shown on the proposed engineer's site plan is 7.5 feet in height.*

Revised to show maximum 5' wall.

3. *Any retaining wall greater than 5' needs to have a fence on top of it which is at least 4' in height, this needs to be noted on the site plan or detail sheet, see Section 29-9.I.5.c*

The retaining wall will be max 5 ft. Note was added, see note#5.

4. *An engineer's letter and/or slope plan indicating conformance with the Zoning Regulations which pertain to steep slopes and grading, specifically, Section 29-9.I.2., which limits the total disturbance of slopes greater than 15% and 35%.*

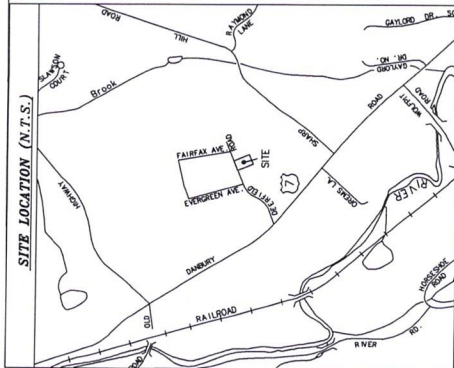
All max. slopes as designed are not more than 1:3 (or 33% slope), labels to that effect added. According to the Section 29-9.I.2, total disturbance of contiguous land in excess of 15% slope shall be no greater than 15,000 square feet. Total land disturbance in contiguous land in excess of 15% slope is 13,700 square feet.

5. *The engineer's letter and plans need to be signed and stamped by the engineer.*

Provided.

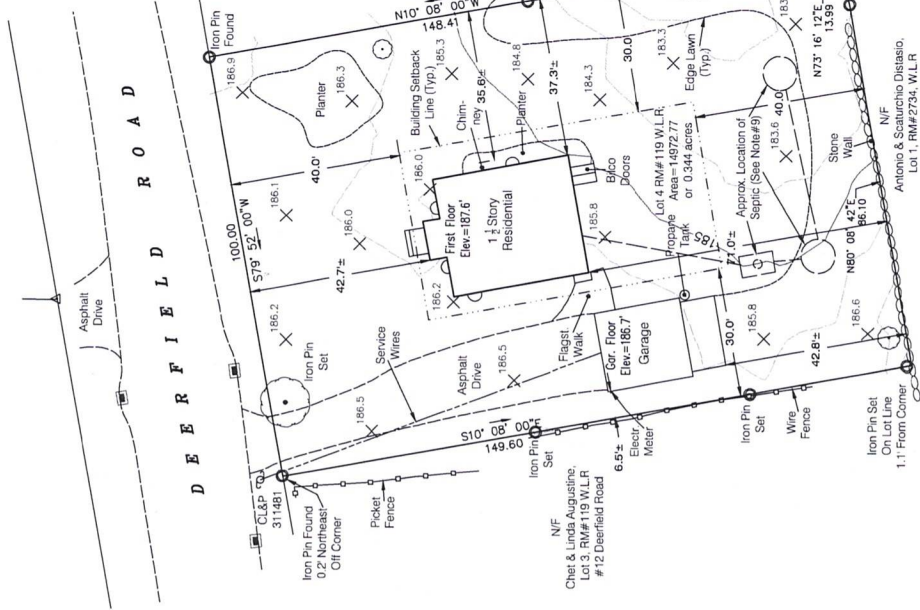
Respectfully,
Tessa Jucaite, P.E.

A handwritten signature in blue ink, appearing to read 'Tessa Jucaite', written over a light blue horizontal line.



"R-1A" RESIDENCE ZONE		MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS
FRONT SETBACK		40' (MIN)	42.7'±
REAR		40' (MIN)	71.0' ±*
SIDE		30' (MIN)	20.9' ±**
LOT AREA		43,560 SQ.FT	14,872.77
# STORES		2 1/2	1 1/2
RIGHT SIDEWALK LOT COVERAGE		35' (MAX)	89.4%
MAXIMUM SITE COVERAGE		155%	18.2%

* GARAGE (REAR) $-42.8 \pm^*$
** GARAGE (SIDE) $-6.5 \pm^*$



Legend	
	EDGE OF PAVEMENT
	BUILDING SETBACK LINE
	WIRE FENCE
	STONE/RETAINING WALL
	IRON PIN/PIPE FOUND
	UTILITY POLE
	EXISTING CONTOUR
	SPOT ELEVATIONS
	CATCH BASIN
	TREES (SIZE AND TYPE AS SHOWN)
	DECIDUOUS EVERGREEN



Graphic scale: 1 inch = 20 ft.

NOTES:

1. This survey and map has been prepared in accordance with the Sections 23-300b-1 through 23-300b-20 of the Regulations of Connecticut State Agencies. "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is in accordance with the Connecticut Department of Transportation Dependent Highway Surveying and Mapping Manual, 2008 Edition.
2. It is intended to depict the position of existing and proposed improvements with respect to applicable municipal setback requirements and zoning.
3. Elevations shown in North American Vertical Datum of 1988. Elevations were determined from GPS observations made in accordance with "Guidelines and Specifications for Global Navigation Satellite System Land Surveys in Connecticut" Adopted on June 26, 2008 by the Connecticut Association of Land Surveyors.
4. Reference is made to the following maps on file in the Wilton Town Clerk's Office:
 - a. Meadowood Property of E.C. Godfrey, Wilton, Conn., scale 1"=50', dated April 25, 1927, Record Map #119 W.L.R.,
 - b. 1927 Survey of the Property of #8 Ellingwood Avenue, Wilton, Connecticut, Scale 2"=100', DWG 70359, as shown on the record on file in Building Department of Wilton.
5. The parcel is subject to utility easements, if any, for overhead and/or underground services. The underground utilities shown here on, if any, have been located from visible field survey information. No attempt has been made to locate underground utilities shown here on, if any, concerning existing gas, electric, depth, condition, capacity, or location of any utilities or municipal service facilities. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. For information regarding these utilities or facilities, please contact the appropriate authority.
6. Location of septic shown here on was done by utilizing as-built test measurements provided by septic contractor and could be found on file in Health Department Town of Wilton.
7. Distances shown : from buildings to property lines are for reference purposes only and are not to be used to establish boundaries.
8. Property is located in a R-1A Residential Zone.
9. Zoning information shown on this map must be reviewed and confirmed by the appropriate Town of Wilton authorities prior to use.
10. Unauthorized alterations or additions to this survey, which bears the surveyors' embossed seal, renders any declaration shown hereon null and void.

ASSESSORS MAP# 57; LOT#59
ZONE: R-1A
PROPOSAL: ZONING LOCATION S
DATE: 12-08-2022

ZONING LOCATION SURVEY
PREPARED FOR
PIOTR & BEATA KRUPA MALESZEWSKI
#14 DEERFIELD ROAD,
WILTON, CONNECTICUT

[illegible]

THIS MAP IS NOT VALID WITHOUT A LIVE
SIGNATURE & EMBOSSED SEAL.

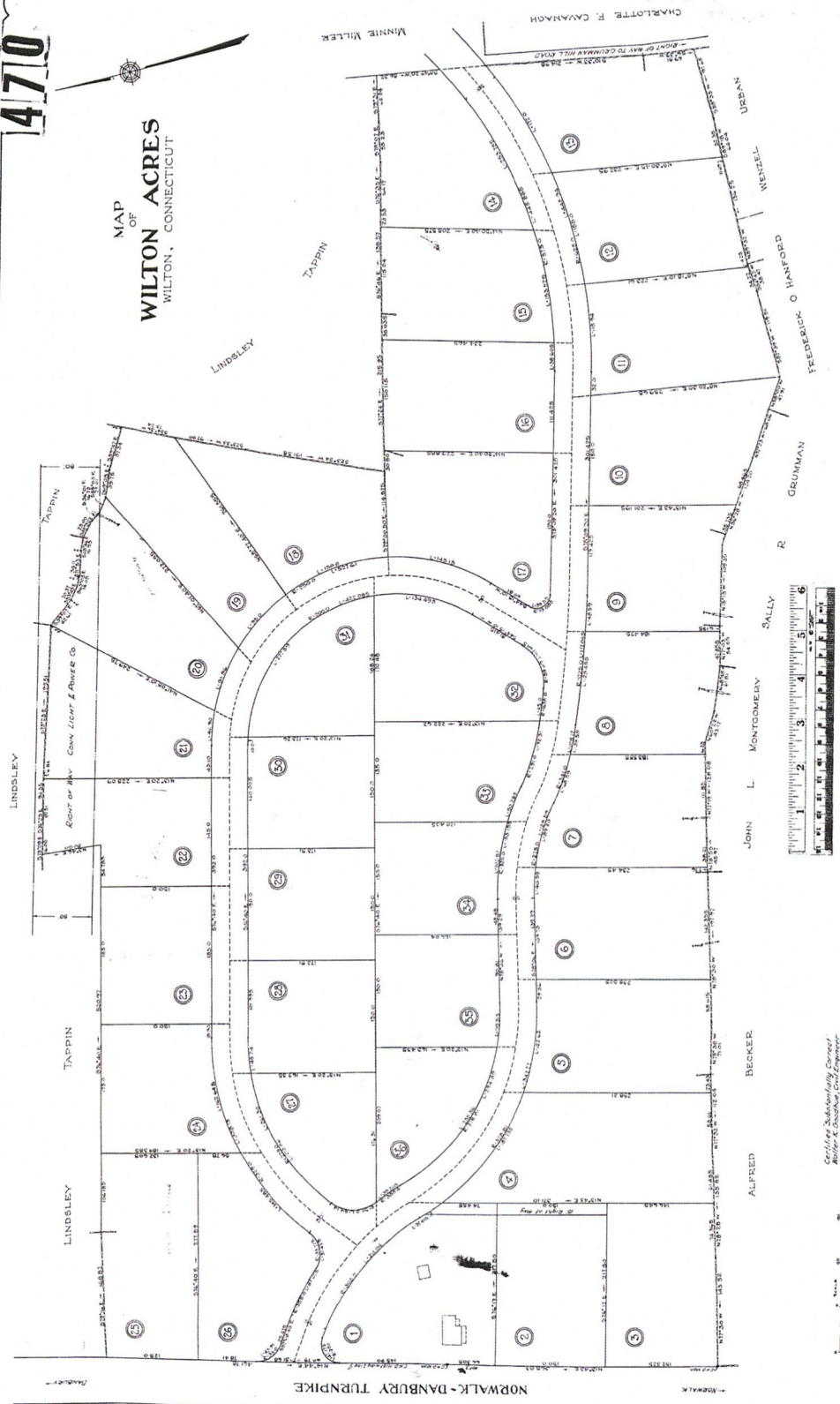
TO MY KNOWLEDGE AND BELIEF, THIS MAP
IS SUBSTANTIALLY CORRECT AS NOTED HEREON

GREGORY KOJAN, LAND SURVEYOR, CONN. LIC.#

GREGORY KOGAN, LAND SURVEYOR, CONN., LIC.#70112

4710

MAP OF
WILTON ACRES
WILTON, CONNECTICUT

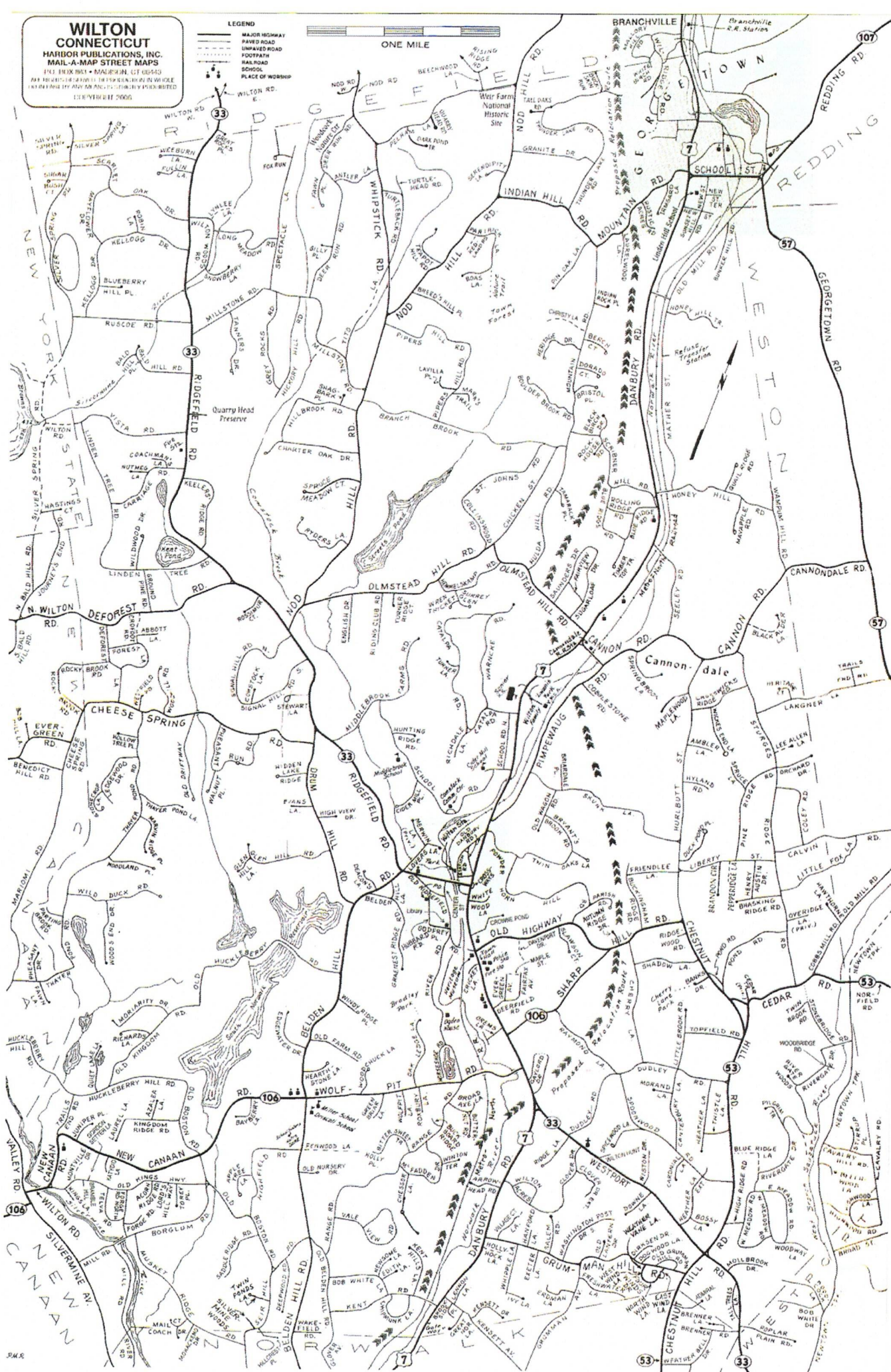


Carlisle & Associates, Inc.
Surveyors & Engineers
Wilton, Connecticut
Map No. 4710, 1940

**WILTON
CONNECTICUT**
MAIL-AMAP STREET MAPS
PUBLISHED BY MAIL-AMAP, INC.
1000 ROUTE 100, SUITE 100, WILTON, CT 06097
© 1997 MAIL-AMAP, INC.

LEGEND
MAJOR HIGHWAY
PAVED ROAD
UNPAVED ROAD
FOOTPATH
RAILROAD
SCHOOL
PLACE OF WORSHIP

ONE MILE



Record and Return to:
Morris Barocas, Esq.
71 Elm Street - Suite 306
New Canaan, CT 06840

Doc ID: 003061090003 Type: LAN
BK 2562 PG 685-687

EXECUTOR'S DEED

STATUTORY FORM - SURVIVORSHIP

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME, GREETING:

KNOW YE THAT, Shannon Capocci, of 33 Bobbys Court, Ridgefield, CT 06877, duly qualified and authorized Executrix of the Estate of Walter A. Kruthaupt and Executrix of the Estate of Kathleen B. Kruthaupt, both late of Wilton, Connecticut, by virtue of powers granted in the decedents' Last Wills and Testaments dated April 5, 2022, ("Grantor") for consideration of Seven Hundred Fifteen Thousand Dollars (\$715,000.00) paid, grants to John Austin Wyman and Patrizia Cavone of 32 Old Nursery Drive, Wilton, CT 06897 ("Grantees") as joint tenants with rights of survivorship, with EXECUTOR'S COVENANTS, the premises commonly known as 1 Wilton Acres, Wilton, Connecticut 06897 (the "Premises") and further described in the Schedule "A" attached hereto and made a part hereof.

The Premises are conveyed subject to:

1. Any restrictions, limitations or assessments now existing or hereafter imposed by any public or private authority pertaining to the premises, including but not limited to inland wetlands, building and planning and zoning.
2. Taxes on the 2022 Grand List and thereafter, municipal assessments and use charges, and water charges due subsequent to the date hereof that Buyer assumes and agrees to pay as part of the consideration for the deed.
3. All matters that appear on Schedule "A" attached hereto and made a part hereof.

IN WITNESS WHEREOF, the undersigned has hereunto set her hand and seal this
7th day of July, 2023.

Signed, Sealed and Delivered
In the Presence of:

Witness:

Melanie P. O'Brien
Print Name: Melanie P. O'Brien

Jeremy Capocci
Print Name: Jeremy Capocci

Shannon Capocci Executrix
Shannon Capocci, Executrix of the Estate of
Walter A. Kruthaupt

Shannon Capocci Executrix
Shannon Capocci, Executrix of the Estate of
Kathleen B. Kruthaupt

CONVEYANCE TAX RECEIVED
TOWN: \$1,787.50 STATE: \$5,362.50

Olivia A. Solovick
WILTON, CT TOWN CLERK

STATE OF CONNECTICUT)
COUNTY OF FAIRFIELD) ss: Bethel

July 7, 2023

On this the 7th day of July, 2023, before me the undersigned officer, personally
appeared **Shannon Capocci**, Executrix of the Estate of Walter A. Kruthaupt and
Executrix of the Estate of Kathleen B. Kruthaupt, whose name is subscribed to the within
instrument and acknowledged that she executed the same for the purposes therein.

Melanie P. O'Brien
Melanie P. O'Brien
Commissioner of the Superior Court

SCHEDULE A

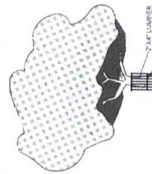
Property Description: 1 Wilton Acres, Wilton, CT 06897

ALL THAT CERTAIN piece or parcel of land, together with the buildings and improvements thereto, situated in the Town of Wilton, County of Fairfield and State of Connecticut and designated as Lot No. 16 on a certain map of "Wilton Acres" on file in the Office of the Wilton Town Clerk as Map No. 470, reference thereto being had. Said Lot No. 26 on said map is bounded and described as follows:

NORTHERLY: 277.89 feet by Lot No. 25 on said map;
EASTERLY: 56.78 feet by Lot No. 24 on said map;
SOUTHEASTERLY: 145.485 feet by the roadway shown on said map;
SOUTHERLY: on an arc 51.425 feet, by the roadway shown on said map;
SOUTHWESTERLY: 130.975 feet by the roadway shown on said map; and
WESTERLY: 78.41 feet by the Norwalk-Danbury Road, so-called.

Subject to:

1. Easement in favor of the Connecticut Light and Power Company dated September 20, 1923 and recorded in Volume 35 at Page 248 of the Wilton Land Records.
2. Easement in favor of The Connecticut Light and Power Company dated August 17, 1940 and recorded in Volume 49 at Page 136 of the Wilton Land Records.
3. Restrictions and covenants set forth in a deed dated February 8, 1941 and recorded in Volume 49 at Page 290 of the Wilton Land Records.
4. Grant in favor of The Connecticut Light and Power Company dated August 1, 1968 and recorded in Volume 135 at Page 79 of the Wilton Land Records.
5. Notice of Decision by the Town of Wilton, Zoning Board of Appeals dated September 29, 1987 and recorded in Volume 620 at Page 128 of the Wilton Land Records.



NOTES:
IN STAIN FROM WHERE A PROTECTED TREE REMAINS IN THE BANGKOK AREA
BUT NOT CONTAINING THE TREE AND IN THE DANGER OF BEING
DAMAGED BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE
CONTRACTOR SHALL PROTECT THE TREE WITH 2" X 4" LAMBOUR SECURED IN
AREA ON OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE BENTEN IS TO
PROTECT THE TRUNK OF THE TREE AGAINST PHYSICAL CONTACT BY LARGE
CONSTRUCTION EQUIPMENT.

TYP. TREE BARK PROTECTION
N.T.S.



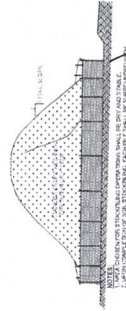
511



N.T.S.



N.T.S.



512

Project	Sheet	
Date	2 of 2	
Scale	1" = 20'	