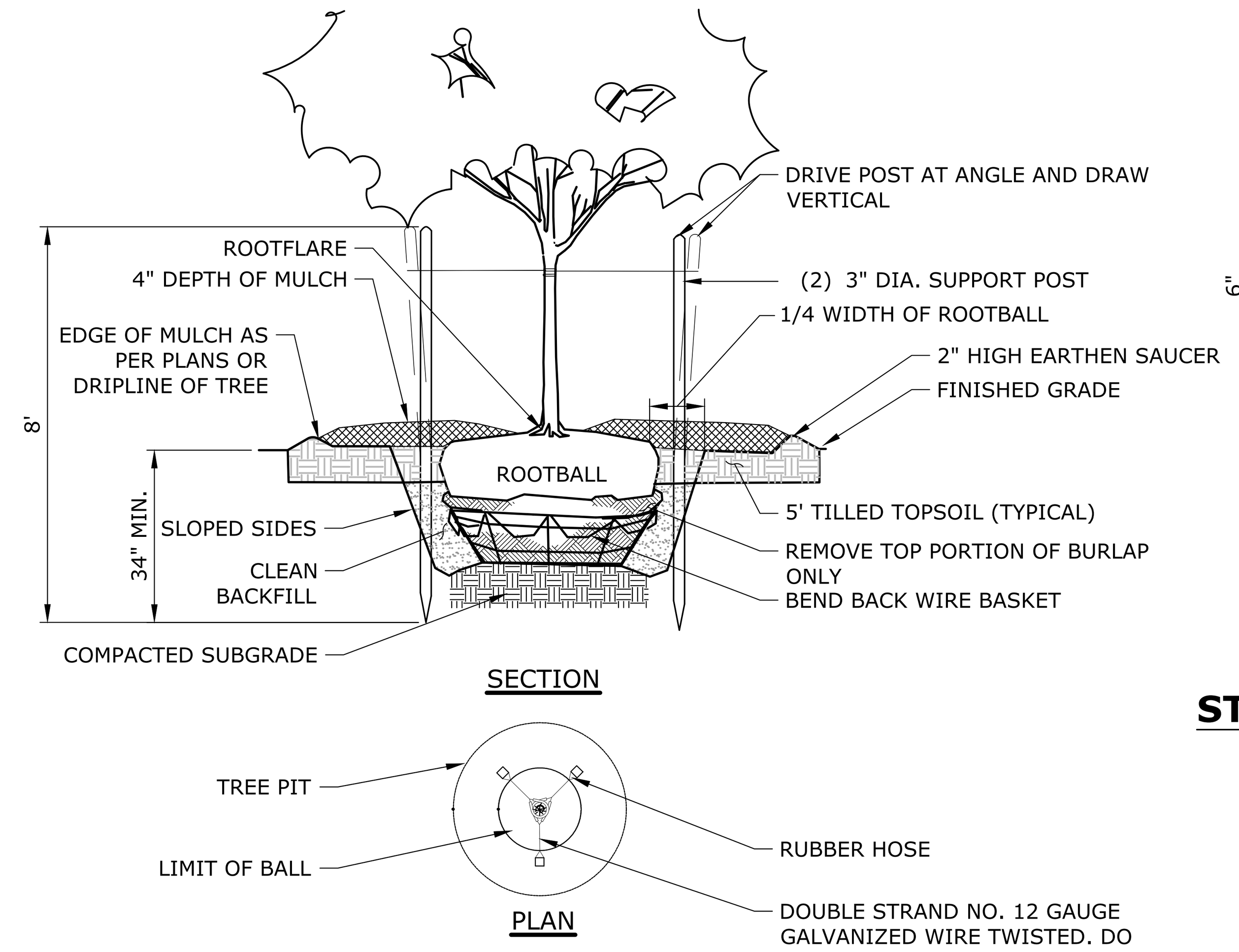
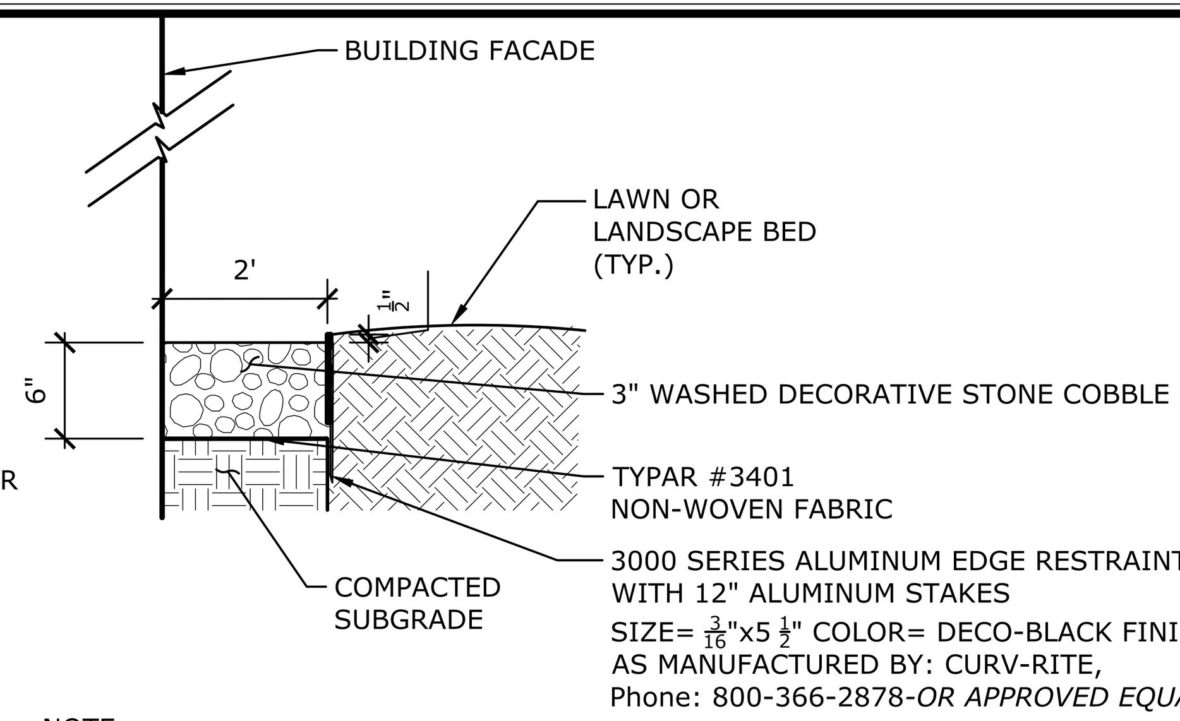


NOTE:

1. SUPPORT STAKES SHALL BE REMOVED BY THE CONTRACTOR ONE YEAR AFTER INSTALLATION.

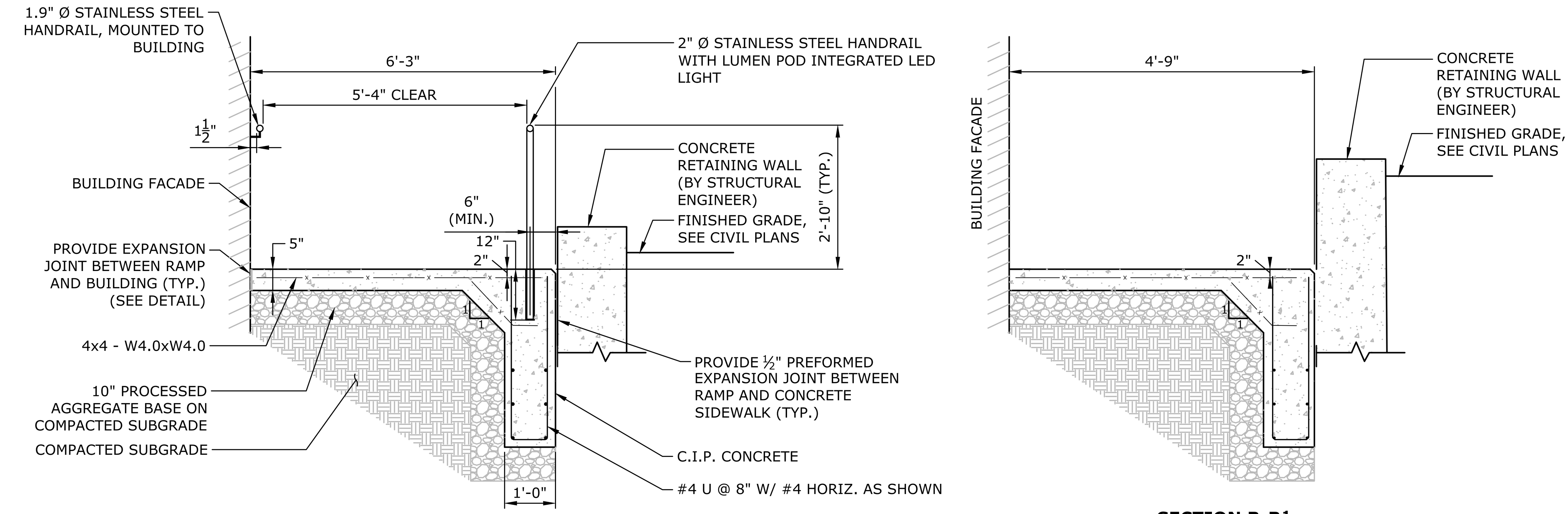
TREE PLANTING
NOT TO SCALE



NOTE:

1. CONTRACTOR SHALL PROVIDE PRODUCT STONE AND EDGE SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT.

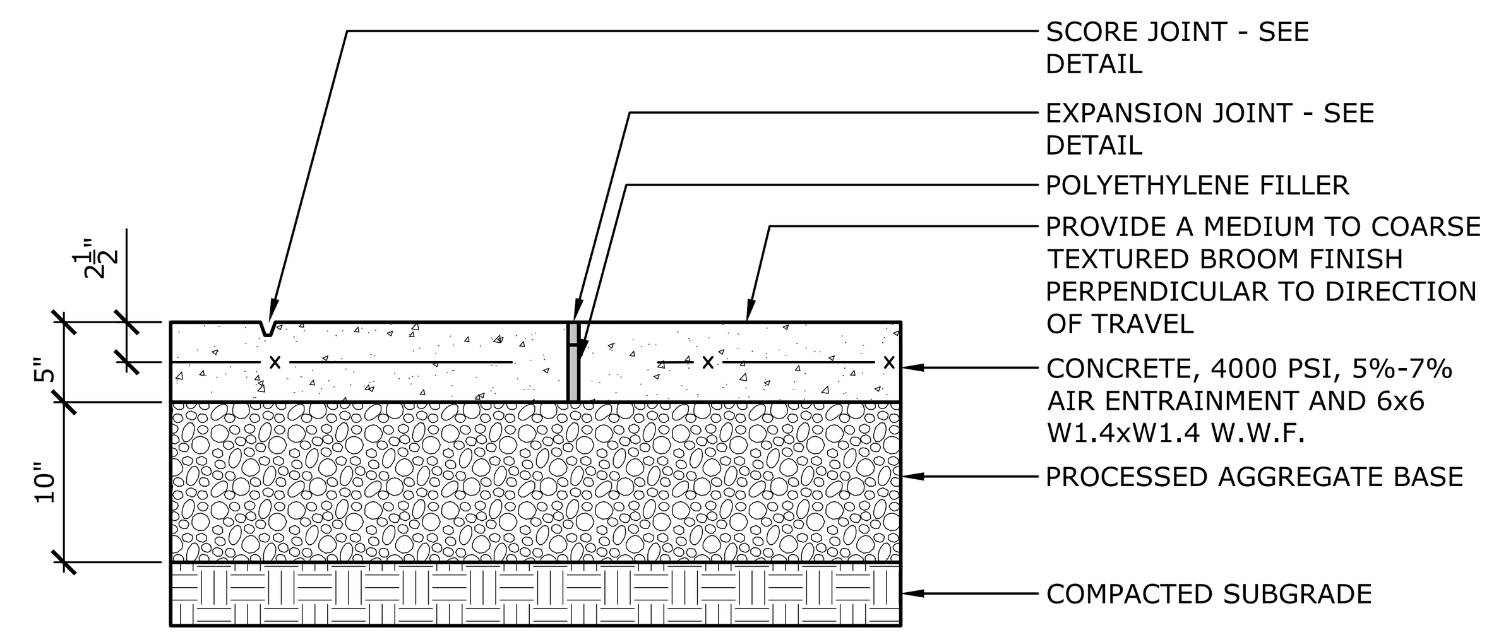
STONE MOW STRIP AT BUILDING FOUNDATION
NOT TO SCALE



NOTES:

1. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL RAILINGS PROPOSED IN PROJECT.

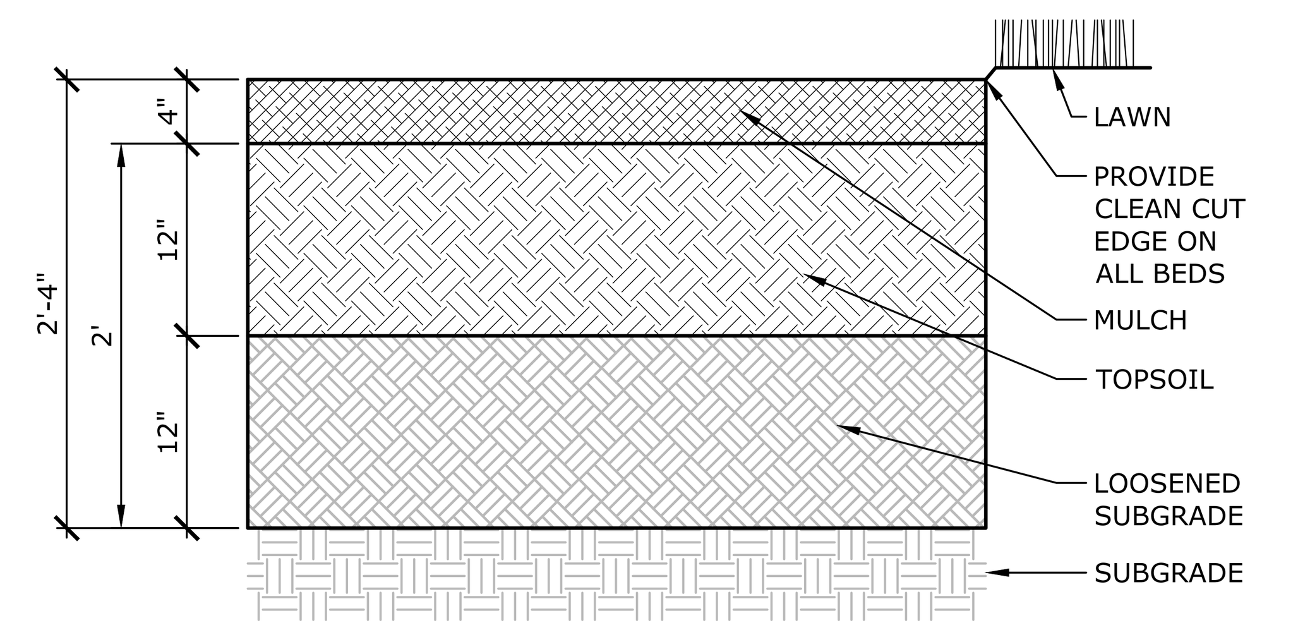
ACCESSIBLE RAMP SECTION
1/2" = 1'-0"



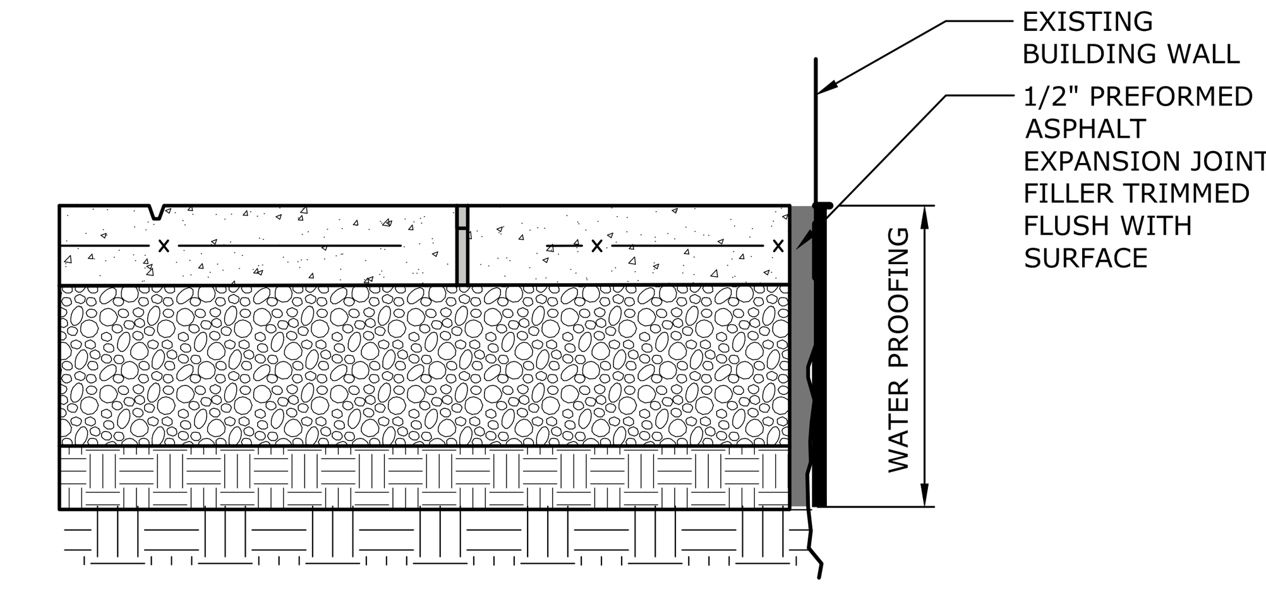
NOTES:

1. EXPANSION JOINTS 24' O.C. MAX. OR AS PER PLAN.
2. SCORE JOINTS 6' O.C. TYP (OR AS SHOWN ON PLANS).
3. PROVIDE PREFORMED EXPANSION JOINT AT ALL CONSTRUCTION JOINTS, WALLS, BUILDINGS, OR WHERE CONCRETE ABUTS EXISTING CONCRETE.
4. PROVIDE COLOR SAMPLES OF EXPANSION JOINT CAULKING TO LANDSCAPE ARCHITECT FOR APPROVAL
5. PROVIDE CLEAR-DRYING CONCRETE SEALER FOR SALT PROTECTION. CONTRACTOR TO SUBMIT PRODUCT INFORMATION FOR APPROVAL.

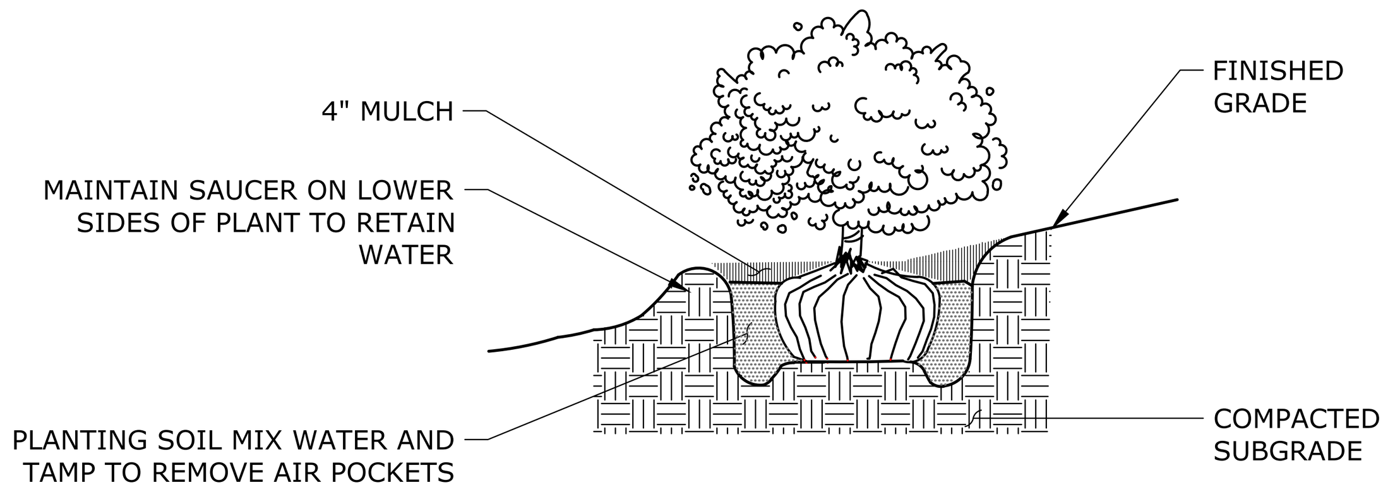
CONCRETE PAVEMENT - RAMP
N.T.S.



PLANTING BED
NOT TO SCALE



CONCRETE RAMP AT BUILDING FACE
N.T.S.



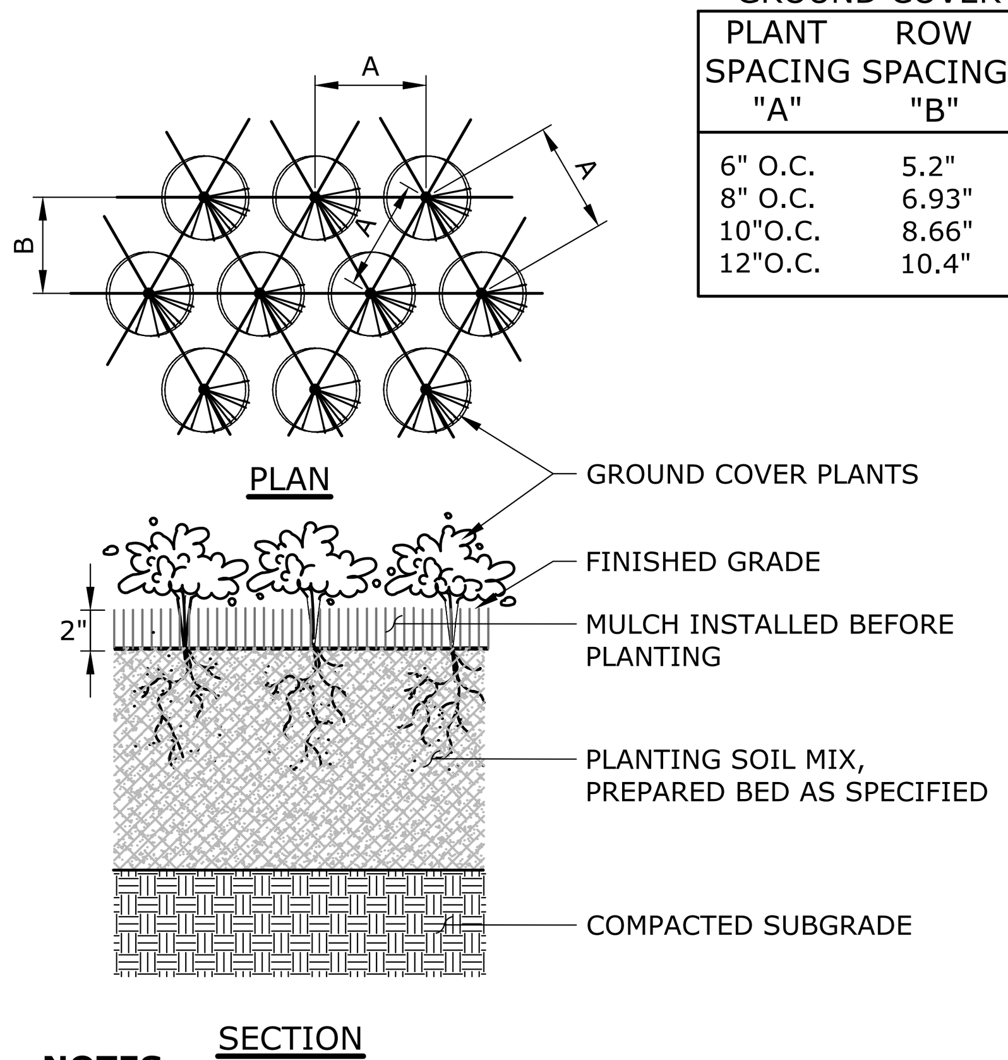
NOTES:

1. UNLESS OTHERWISE DIRECTED SHREDDED MULCH SHALL BE PLACED TO A LIMIT OF ONE FOOT BEYOND THE CENTER OF THE OUTERMOST SHRUBS IN SHRUB BED.

SHRUB PLANTING
NOT TO SCALE

GROUND COVER SPACING TABLE

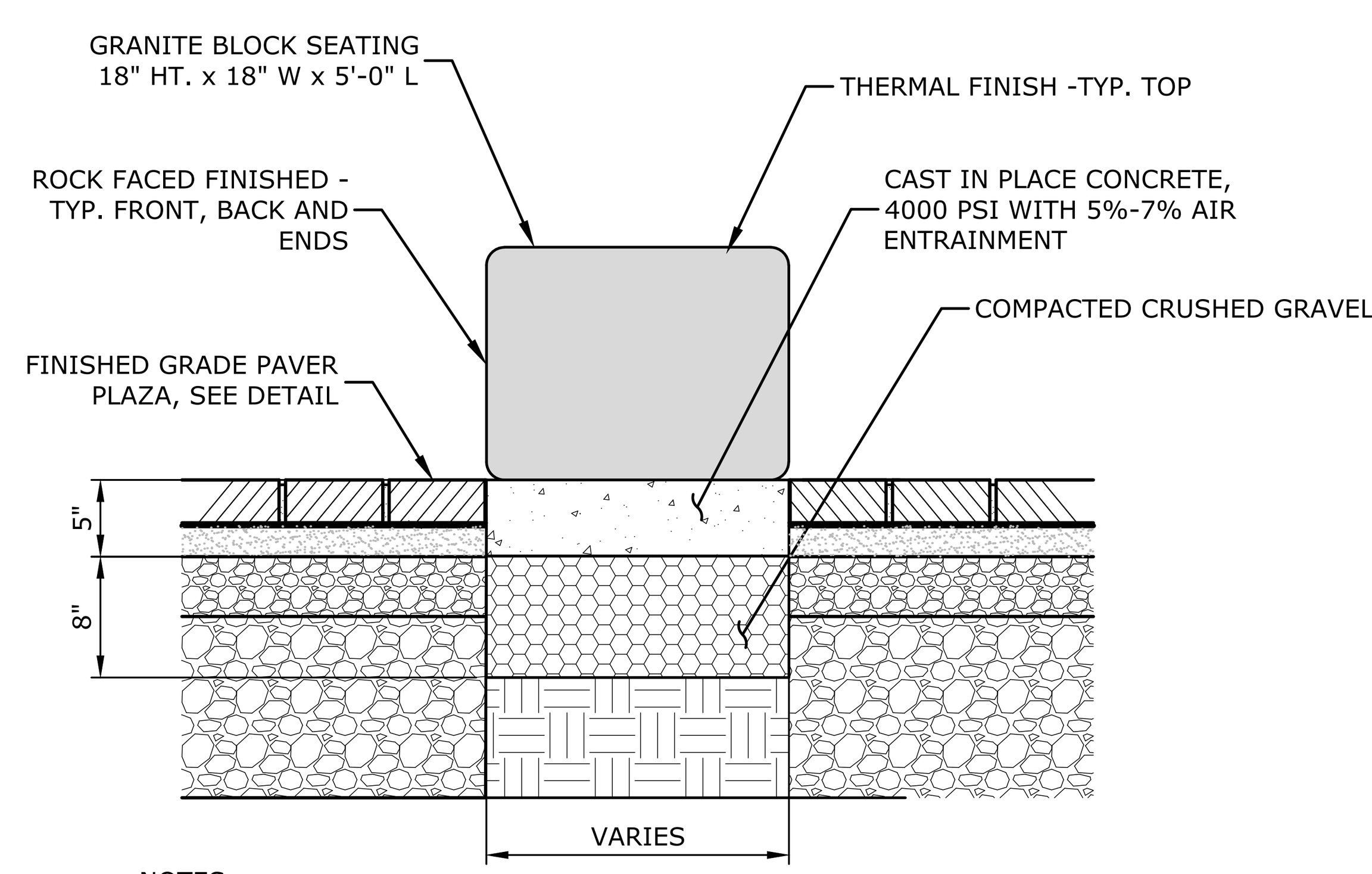
PLANT SPACING "A"	ROW SPACING "B"	NO. OF PLANTS	AREA UNIT
6" O.C.	5.2"	4.61	1 SQ. FT.
8" O.C.	6.93"	2.6	1 SQ. FT.
10"O.C.	8.66"	1.66	1 SQ. FT.
12"O.C.	10.4"	1.15	1 SQ. FT.



NOTES:

1. ALL GROUND COVER TO BE PLANTED IN TRIANGULAR PATTERN. SEE DETAIL PLAN AND GROUND COVER SPACING TABLE.

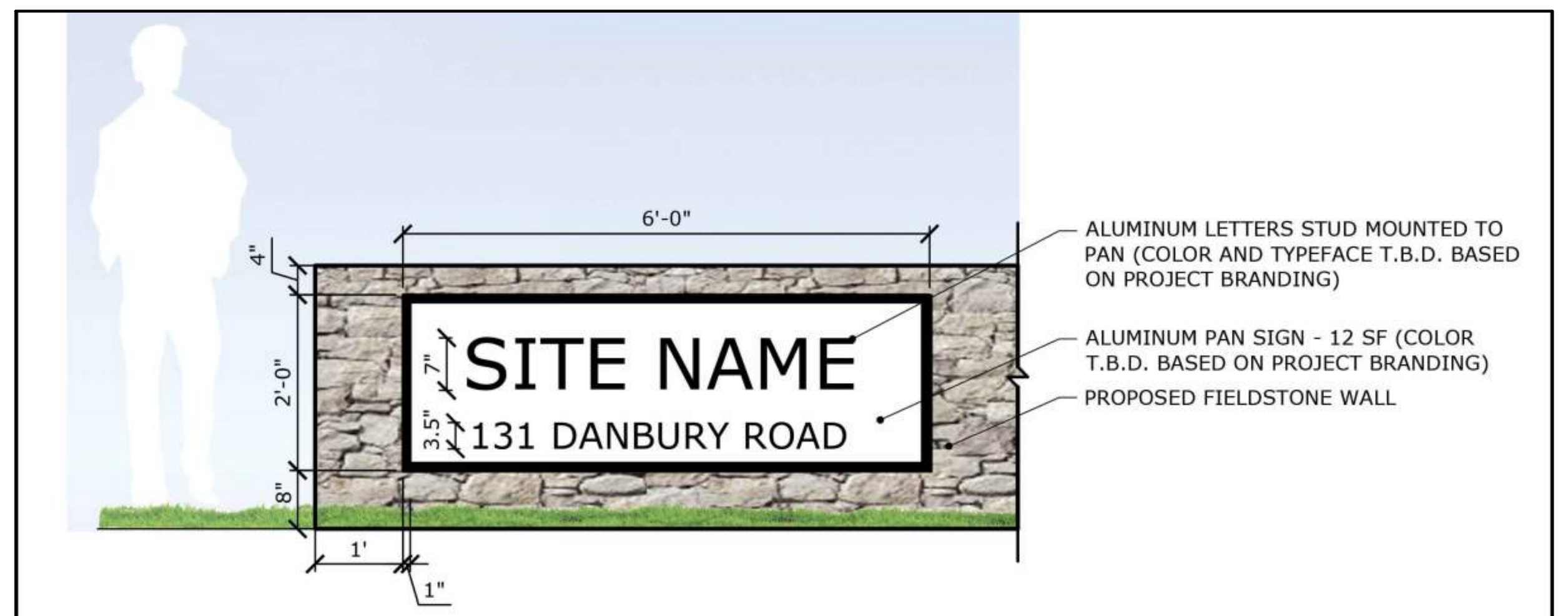
GROUND COVER/ PERENNIAL PLANTING
NOT TO SCALE



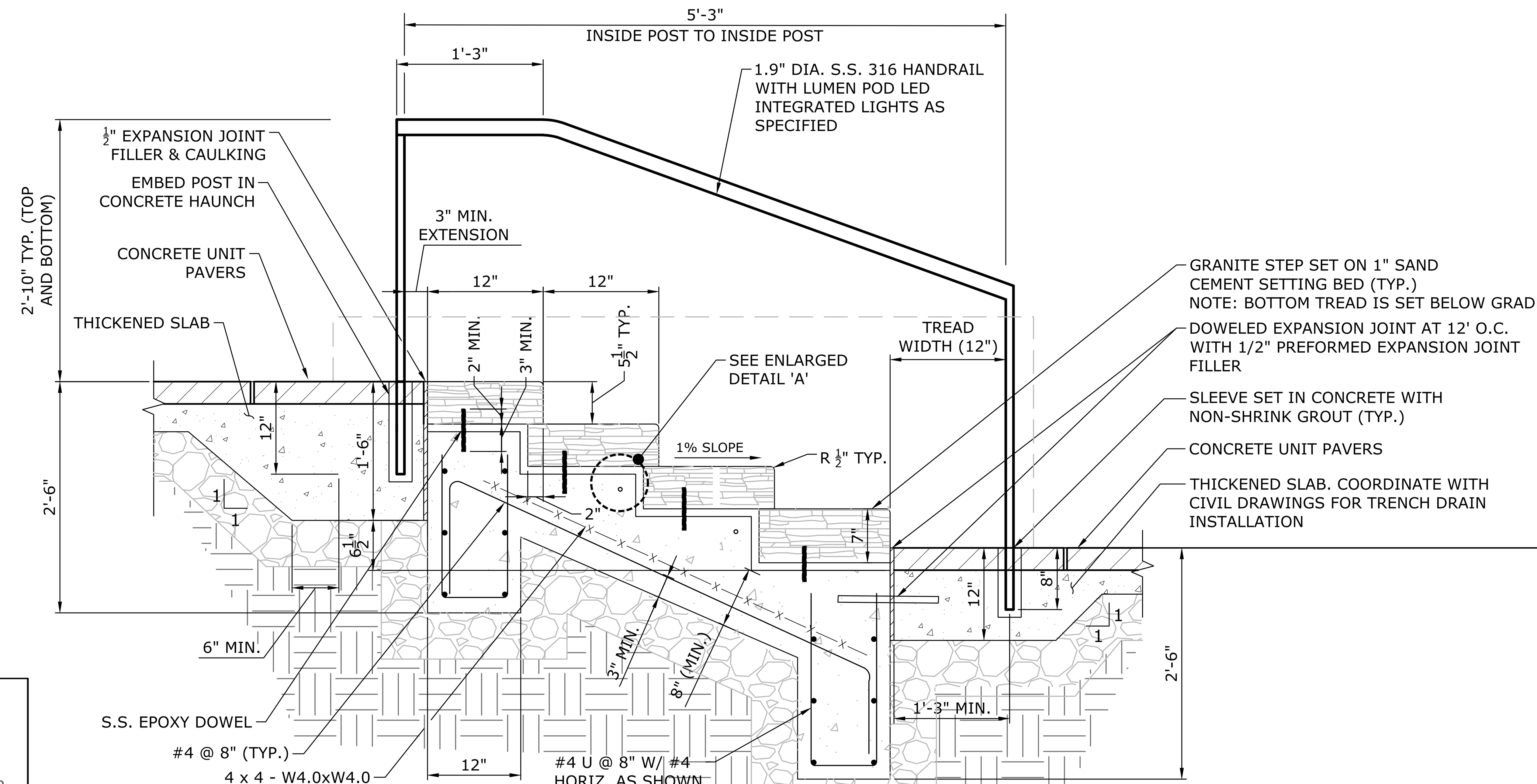
NOTES:

1. BLOCKS TO HAVE ROCK FACED FINISH ON THE FRONT, BACK AND ENDS. TOP OF BLOCK TO HAVE THERMAL FINISH ON THE TOP SEATING SURFACE.

GRANITE BLOCK BENCHES
NOT TO SCALE



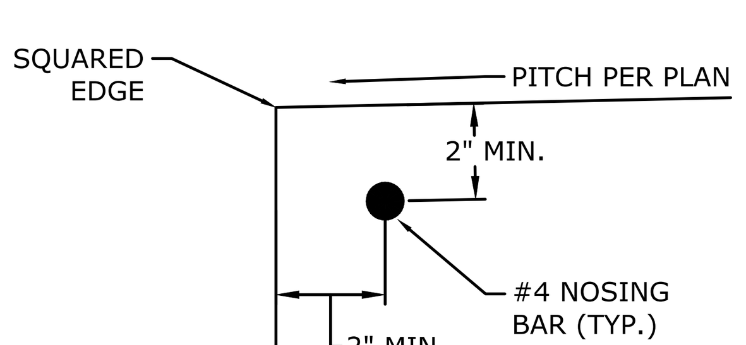
SITE SIGN ON STONE WALL (VIEW SOUTH)
NOT TO SCALE



NOTES:

1. 316 STAINLESS STEEL HANDRAIL SHALL BE AS MANUFACTURED BY WAGNER ARCHITECTURAL SYSTEMS, MILWAUKEE, WI, OR APPROVED EQUIVALENT.
2. HANDRAILS SHALL RECEIVE LUMEN POD 28 ASYMETRIC LED INTEGRATED LIGHTS AS SPECIFIED
3. COLOR TEMP: 2700° K
4. PROVIDE SHOP DRAWINGS FOR STAIR AND HANDRAIL FOR APPROVAL

CONCRETE STAIR WITH HANDRAIL AND GRANITE TREAD
SCALE 1" = 1'-0"



ENLARGED DETAIL "A"
NOT TO SCALE

SLR
99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY
PEER REVIEW COMMENTS	1/09/2024	AWG
PEER REVIEW COMMENTS	2/13/2024	AWG
PEER REVIEW COMMENTS	2/28/2024	AWG

SITE DETAILS

PROPOSED MULTI-FAMILY DEVELOPMENT

131 DANBURY ROAD
WILTON, CONNECTICUT

DESIGNED	DRAWN	CHECKED
AWG	AWG	TD

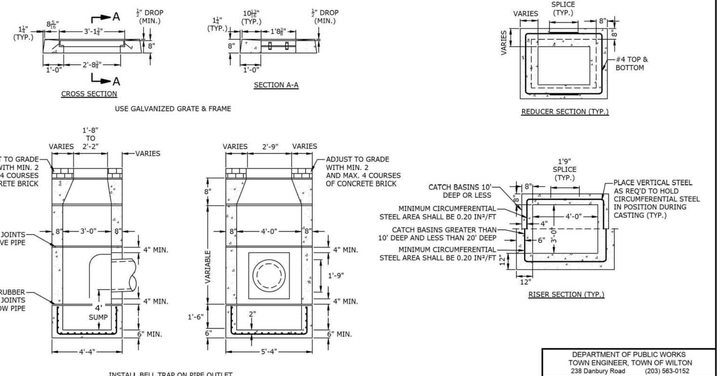
SCALE: AS NOTED

DATE: OCTOBER 23, 2023

PROJECT NO.: 21543.00001

SHEET NO.: 13 OF 25

SHEET NAME: SD-3



USE GALVANIZED GRATE & FRAME

INSTALL BELL TRAP ON PIPE OUTLET

CONNECTICUT DEPARTMENT OF TRANSPORTATION

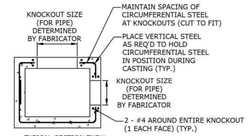
TYPE "C–L" CATCH BASIN

NO SCALE

DEPARTMENT OF PUBLIC WORKS TOWN ENGINEER, TOWN OF WILTON 238 Danbury Road (203) 563-0152	
TYPE "C-L" CATCH BASIN DETAIL WILTON, CONNECTICUT	
Scale: NTS	Date: 02/21/2019
Drawn by:	Grid:
Approved by: F. Smeriglio, PE	Sheet: SW-05A

NOTES:

1. REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60.
2. DETAILS ON THIS SHEET SHOW STANDARD REINFORCEMENT. WELDED WIRE FABRIC WITH AN AREA EQUAL TO OR GREATER THAN THE REINFORCING SHOWN MAY BE SUBSTITUTED.
3. ALL LAP SPLICES, DEVELOPMENT LENGTHS, BENDS FOR REINFORCEMENT, AND WELDED WIRE FABRIC SHALL CONFORM TO AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES.
4. ALL REINFORCEMENT SHALL HAVE A MINIMUM CLEAR COVER OF 2", EXCEPT FOR BENEATH BOTTOM REINFORCEMENT IN TOP SLABS, WHERE THE MINIMUM MAY BE 1½"
5. MINIMUM CONCRETE COMPRESSIVE STRENGTH FC'=4,000PSI SHALL BE OBTAINED BEFORE SHIPPING.
6. BASES AND RISERS AT A DEPTH OF 20' AND GREATER SHALL BE DESIGNED BY THE CONTRACTOR AND WORKING DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.
7. SEE STANDARD DRAWING 507-K FOR CATCH BASIN FRAMES AND GRATES.
8. FOR DOT MAINTENANCE PERSONNEL, RISERS MAY BE PREFABRICATED WITH PIPE OPENINGS IN ALL FOUR WALLS. ADEQUATE REINFORCING AROUND PIPE OPENINGS TO CONFORMING TO THESE PLANS SHALL BE PROVIDED. ANY RISERS USED WHERE A PIPE OPENING IS TO REMAIN IN PLACE MUST BE FORMED UP WITH BRICK AS DIRECTED BY THE ENGINEER.
9. RISERS SHALL NEVER HAVE CORNER PIPE ENTRIES. WHERE THE ALIGNMENT OF THE PIPE WITH RESPECT TO THE CORNER OF THE CATCH BASIN CANNOT BE CHANGED, A ROUND STRUCTURE CONFORMING TO ASTM C478 SHALL BE USED. REINFORCING FOR THE ROUND TOP SLAB WITH A RECTANGULAR OPENING SHALL CONFORM TO DETAILS SHOWN HERE.
10. ALL PIPE OPENINGS SHALL BE CLOSED USING MATERIALS WHICH CONFORM TO STATE OF CONNECTICUT STANDARD SPECIFICATIONS SECTION M.08.02. IF THE ENGINEER DETERMINES THAT THE CLOSURE OF ANY PIPE OPENING IS UNSATISFACTORY, THE CONTRACTOR SHALL RECLOSE SAID OPENING AT NO ADDITIONAL COST TO THE STATE. KNOCKOUTS FOR PIPE OPENINGS SHALL NOT RESULT IN A REDUCED WALL THICKNESS.
11. THE LATEST STATE OF CONNECTICUT STANDARD SPECIFICATIONS AND SUPPLEMENTALS SHALL GOVERN.
12. FOR ADDITIONAL DETAILS, SEE OTHER CATCH BASIN SHEETS.
13. WALL THICKNESS OF ALL CB'S OVER 10' DEEP SHALL BE INCREASED TO 12" THICK. INSIDE DIMENSION SHALL REMAIN THE SAME. (THE 12" THICKNESS SHALL START AFTER THE FIRST 10")
14. BUTYL RUBBER JOINT SEAL SHALL CONFORM TO AASHTO M-198 AND MORTAR SHALL CONFORM TO THE LATEST STATE OF CONNECTICUT STANDARD SPECIFICATIONS MATERIAL SECTION M11.04.
15. SHRINKAGE AND TEMPERATURE REINFORCEMENT SHALL BE PROVIDED IN THE TOPS OF SLABS. THE TOTAL AREA OF REINFORCEMENT PROVIDED SHALL BE AT LEAST 0.125 IN²/FT IN EACH DIRECTION. THE MAXIMUM SPACING OF THIS REINFORCEMENT SHALL NOT EXCEED 18 INCHES.
16. THE DETAILS SHOWN IN THE PLAN VIEW FOR THE PRECAST CONCRETE ROUND STRUCTURES SHALL ALSO BE USED FOR CONVERTING MANHOLES TO CATCH BASINS.



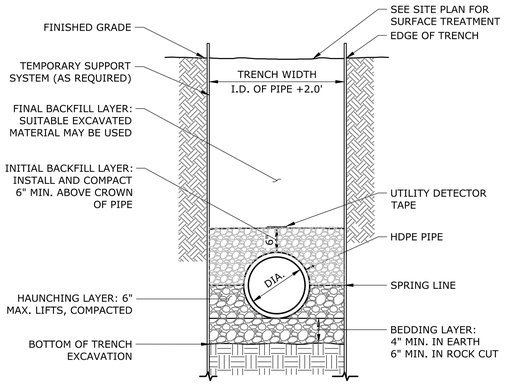
TYPICAL SECTION THRU RISER WITH KNOCKOUTS

CONNECTICUT DEPARTMENT OF TRANSPORTATION

TYPE "C–L" CATCH BASIN

NO SCALE

DEPARTMENT OF PUBLIC WORKS TOWN ENGINEER, TOWN OF WILTON 238 Danbury Road (203) 563-0152	
TYPE "C-L" CATCH BASIN DETAIL WILTON, CONNECTICUT	
Scale: NTS	Date: 02/21/2019
Drawn by:	Grid:
Approved by: F. Smeriglio, PE	Sheet: SW-05B

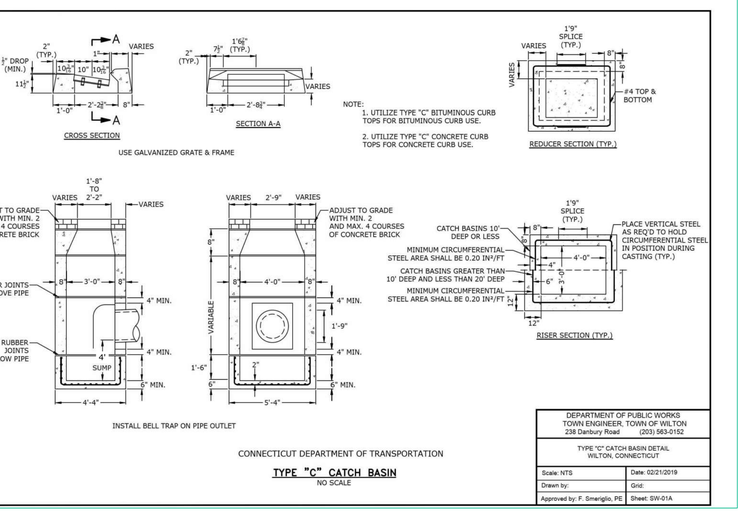


NOTES:

1. BACKFILL MATERIAL USED IN BEDDING, HAUNCHING, AND INITIAL BACKFILL LAYERS SHALL BE 3/4" CRUSHED STONE AND SHOULD BE APPROVED BY THE ENGINEER.
2. BACKFILL MATERIAL IF EXISTING MATERIAL IS DEEMED UNSUITABLE.
3. PAYMENT LIMIT FOR ROCK IN TRENCH TO BE PIPE DIAMETER + 3.0'

STORM DRAINAGE TRENCH

NOT TO SCALE



USE GALVANIZED GRATE & FRAME

NOTE:
1. UTILIZE TYPE "C" BITUMINOUS CURB TOPS FOR BITUMINOUS CURB USE.
2. UTILIZE TYPE "C" CONCRETE CURB TOPS FOR CONCRETE CURB USE.

INSTALL BELL TRAP ON PIPE OUTLET

CONNECTICUT DEPARTMENT OF TRANSPORTATION

TYPE "C" CATCH BASIN

NO SCALE

DEPARTMENT OF PUBLIC WORKS TOWN ENGINEER, TOWN OF WILTON 238 Danbury Road (203) 563-0152	
TYPE "C" CATCH BASIN DETAIL WILTON, CONNECTICUT	
Scale: NTS	Date: 02/21/2019
Drawn by:	Grid:
Approved by: F. Smeriglio, PE	Sheet: SW-01A

NOTES:

1. REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60.
2. DETAILS ON THIS SHEET SHOW STANDARD REINFORCEMENT. WELDED WIRE FABRIC WITH AN AREA EQUAL TO OR GREATER THAN THE REINFORCING SHOWN MAY BE SUBSTITUTED.
3. ALL LAP SPLICES, DEVELOPMENT LENGTHS, BENDS FOR REINFORCEMENT, AND WELDED WIRE FABRIC SHALL CONFORM TO AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES.
4. ALL REINFORCEMENT SHALL HAVE A MINIMUM CLEAR COVER OF 2", EXCEPT FOR BENEATH BOTTOM REINFORCEMENT IN TOP SLABS, WHERE THE MINIMUM MAY BE 1½"
5. MINIMUM CONCRETE COMPRESSIVE STRENGTH FC'=4,000PSI SHALL BE OBTAINED BEFORE SHIPPING.
6. BASES AND RISERS AT A DEPTH OF 20' AND GREATER SHALL BE DESIGNED BY THE CONTRACTOR AND WORKING DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.
7. SEE STANDARD CTDOT DRAWING 507-K FOR CATCH BASIN FRAMES AND GRATES.
8. FOR DOT MAINTENANCE PERSONNEL, RISERS MAY BE PREFABRICATED WITH PIPE OPENINGS IN ALL FOUR WALLS. ADEQUATE REINFORCING AROUND PIPE OPENINGS TO CONFORMING TO THESE PLANS SHALL BE PROVIDED. ANY RISERS USED WHERE A PIPE OPENING IS TO REMAIN IN PLACE MUST BE FORMED UP WITH BRICK AS DIRECTED BY THE ENGINEER.
9. RISERS SHALL NEVER HAVE CORNER PIPE ENTRIES. WHERE THE ALIGNMENT OF THE PIPE WITH RESPECT TO THE CORNER OF THE CATCH BASIN CANNOT BE CHANGED, A ROUND STRUCTURE CONFORMING TO ASTM C478 SHALL BE USED. REINFORCING FOR THE ROUND TOP SLAB WITH A RECTANGULAR OPENING SHALL CONFORM TO DETAILS SHOWN HERE.
10. ALL PIPE OPENINGS SHALL BE CLOSED USING MATERIALS WHICH CONFORM TO STATE OF CONNECTICUT STANDARD SPECIFICATIONS SECTION M.08.02. IF THE ENGINEER DETERMINES THAT THE CLOSURE OF ANY PIPE OPENING IS UNSATISFACTORY, THE CONTRACTOR SHALL RECLOSE SAID OPENING AT NO ADDITIONAL COST TO THE STATE. KNOCKOUTS FOR PIPE OPENINGS SHALL NOT RESULT IN A REDUCED WALL THICKNESS.
11. THE LATEST STATE OF CONNECTICUT STANDARD SPECIFICATIONS AND SUPPLEMENTAL SHALL GOVERN.
12. FOR ADDITIONAL DETAILS, SEE OTHER CATCH BASIN SHEETS.
13. WALL THICKNESS OF ALL CB'S OVER 10' DEEP SHALL BE INCREASED TO 12" THICK. INSIDE DIMENSION SHALL REMAIN THE SAME. (THE 12" THICKNESS SHALL START AFTER THE FIRST 10")
14. BUTYL RUBBER JOINT SEAL SHALL CONFORM TO AASHTO M-198 AND MORTAR SHALL CONFORM TO THE LATEST STATE OF CONNECTICUT STANDARD SPECIFICATIONS MATERIAL SECTION M11.04.
15. SHRINKAGE AND TEMPERATURE REINFORCEMENT SHALL BE PROVIDED IN THE TOPS OF SLABS. THE TOTAL AREA OF REINFORCEMENT PROVIDED SHALL BE AT LEAST 0.125 IN²/FT IN EACH DIRECTION. THE MAXIMUM SPACING OF THIS REINFORCEMENT SHALL NOT EXCEED 18 INCHES.
16. THE DETAILS SHOWN IN THE PLAN VIEW FOR THE PRECAST CONCRETE ROUND STRUCTURES SHALL ALSO BE USED FOR CONVERTING MANHOLES TO CATCH BASINS.
17. SET CATCH BASIN TOPS ON 6" MINIMUM BRICK OR BLOCK LEVELING COURSE.
18. AFFIX PLAQUE TO ALL CATCH BASINS STATING "DUMP NO WASTE - DRAINS TO LONG ISLAND SOUND". COST FOR PLAQUE SHALL BE INCLUDED IN THE CONTRACT UNIT COST FOR CATCH BASINS.

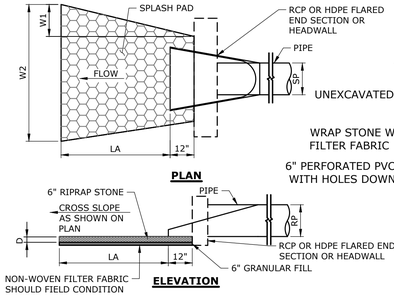
TYPICAL SECTION THRU RISER WITH KNOCKOUTS

CONNECTICUT DEPARTMENT OF TRANSPORTATION

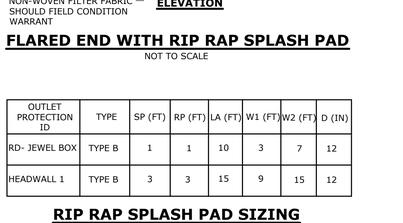
TYPE "C" CATCH BASIN

NO SCALE

DEPARTMENT OF PUBLIC WORKS TOWN ENGINEER, TOWN OF WILTON 238 Danbury Road (203) 563-0152	
TYPE "C" CATCH BASIN DETAIL WILTON, CONNECTICUT	
Scale: NTS	Date: 02/21/2019
Drawn by:	Grid:
Approved by: F. Smeriglio, PE	Sheet: SW-01B



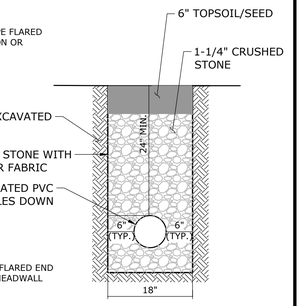
PLAN



ELEVATION

FLARED END WITH RIP RAP SPLASH PAD

NOT TO SCALE



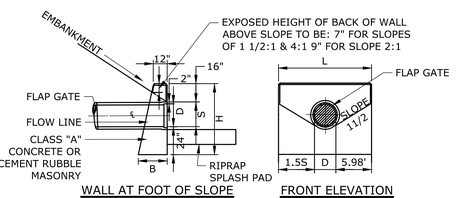
CURTAIN DRAIN

NOT TO SCALE

OUTLET PROTECTION ID	TYPE	SP (FT)	RP (FT)	LA (FT)	W1 (FT)	W2 (FT)	D (IN)
RD- JEWEL BOX	TYPE B	1	1	10	3	7	12
HEADWALL 1	TYPE B	3	3	15	9	15	12

RIP RAP SPLASH PAD SIZING

NOT TO SCALE



H = TOTAL HEIGHT OF ENDWALL
B = BASE
D = INSIDE DIAMETER OF PIPE
S = HEIGHT OF SLOPE ABOVE FLOW LINE AT FACE OF WALL-MINIMUM = D+2
L = LENGTH OF WALL= 3S+D

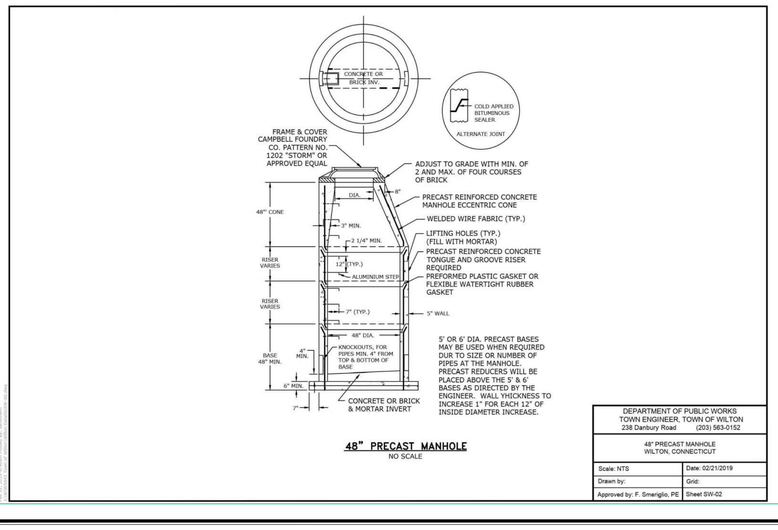
ALL EDGES OF EXPOSED SURFACES TO BE CHAMFERED APPROXIMATELY 1"

DIMENSIONS AND QUANTITIES FOR ONE ENDWALL BASED ON S = D+2						
D	S	H	L	BATTER	B	VOL.
INS.	FT. & IN.	FT. & IN.	FT. & IN.	IN.	FT. & IN.	C.Y.
12"	1' 2"	4' 6"	4' 6"	2 1/2"	1' 11 1/4"	1.10
15"	1' 5"	4' 9"	5' 6"	2 1/2"	1' 11 7/8"	1.45
18"	1' 8"	5'	6' 6"	2 1/2"	2' 1/2"	1.83
24"	2' 2"	5' 6"	8' 6"	2 1/2"	2' 1 3/4"	2.72
30"	2' 8"	6'	10' 6"	2 1/2"	2' 3"	3.79*
36"	3' 2"	6' 6"	12' 6"	3"	2' 7 1/2"	5.45*
42"	3' 8"	7'	14' 6"	3"	2' 9"	6.40
48"	4' 2"	7' 6"	16' 6"	3"	2' 10 1/2"	8.00

*VOLUME BASED ON "D" AND WALL THICKNESS AT ℄ OF PIPE HAS BEEN DEDUCTED

ENDWALL

NOT TO SCALE



48" PRECAST MANHOLE

NO SCALE

DEPARTMENT OF PUBLIC WORKS TOWN ENGINEER, TOWN OF WILTON 238 Danbury Road (203) 563-0152	
48" PRECAST MANHOLE WILTON, CONNECTICUT	
Scale: NTS	Date: 02/21/2019
Drawn by:	Grid:
Approved by: F. Smeriglio, PE	Sheet SW-02

PRODUCT	APPROX WEIGHT
4' BASE	4300 LBS.
4' RISER	2600 LBS.
4' RISER	1800 LBS.
1' RISER	900 LBS.
2' RISER	1700 LBS.
3' RISER	2600 LBS.
4' RISER	3400 LBS.
3' CONE W/ 24" OPENING	2500 LBS.
3' CONE W/ 30" OPENING	2800 LBS.
3' CONE W/ 36" OPENING	3700 LBS.
4' CONE W/ 24" OPENING	3200 LBS.
5' CONE W/ 24" OPENING	4200 LBS.
FLAT SLAB TOP W/ 24" OPENING	1800 LBS.
FLAT SLAB TOP W/ 30" OPENING	1750 LBS.
FLAT SLAB TOP W/ 36" OPENING	2150 LBS.

STORM MANHOLE WITH FLATTOP (AS NEEDED FOR SHALLOWER INVERTS)

NOT TO SCALE

WALL MOUNTED FLAP GATE

NOT TO SCALE

SITE DETAILS

PROPOSED MULTI-FAMILY DEVELOPMENT

131 DANBURY ROAD
WILTON, CONNECTICUT

DESCRIPTION	DATE	BY
PEER REVIEW COMMENTS	10/8/2024	AWG
PEER REVIEW COMMENTS	2/13/2024	AWG
PEER REVIEW COMMENTS	2/26/2024	AWG

SLR
99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

AWG DESIGNED	AWG DRAWN	TD CHECKED

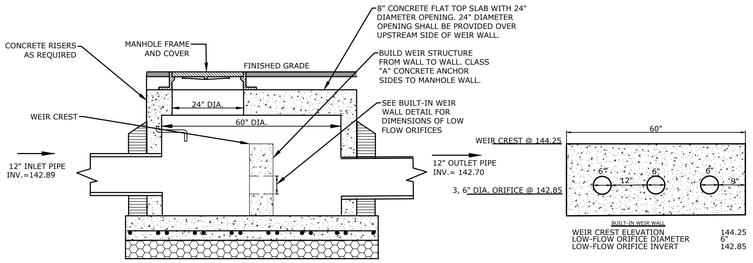
AS NOTED
SCALE

OCTOBER 23, 2023
DATE

21543.00001
PROJECT NO.

14 OF 25
SHEET NO.

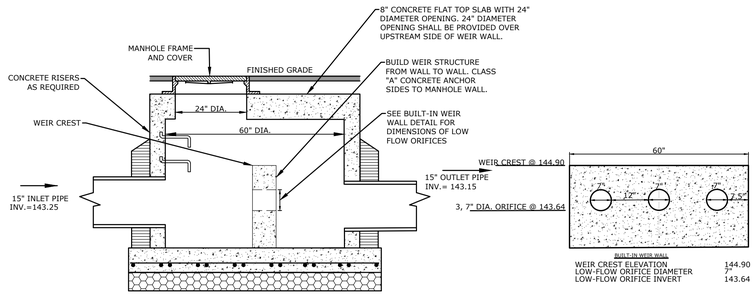
SD-4
SHEET NAME



NOTES:
THIS DETAIL REPRESENTS A MODIFICATION OF A STANDARD STORM MANHOLE FOR USE IN CONTROLLING THE DISCHARGE FROM THE DETENTION AREA. SEE THE MANHOLE DETAIL FOR STANDARD DIMENSIONS AND NOTES.

OUTLET CONTROL STRUCTURE FOR UNDERGROUND DETENTION SYSTEM 1 (MH 12)

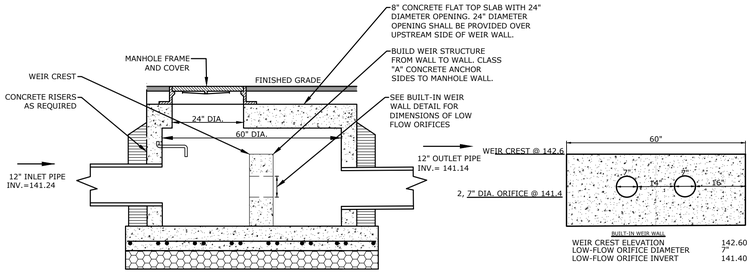
SCALE: ½"=1'



NOTES:
THIS DETAIL REPRESENTS A MODIFICATION OF A STANDARD STORM MANHOLE FOR USE IN CONTROLLING THE DISCHARGE FROM THE DETENTION AREA. SEE THE MANHOLE DETAIL FOR STANDARD DIMENSIONS AND NOTES.

OUTLET CONTROL STRUCTURE FOR UNDERGROUND DETENTION SYSTEM 2 (MH 15)

SCALE: ½"=1'

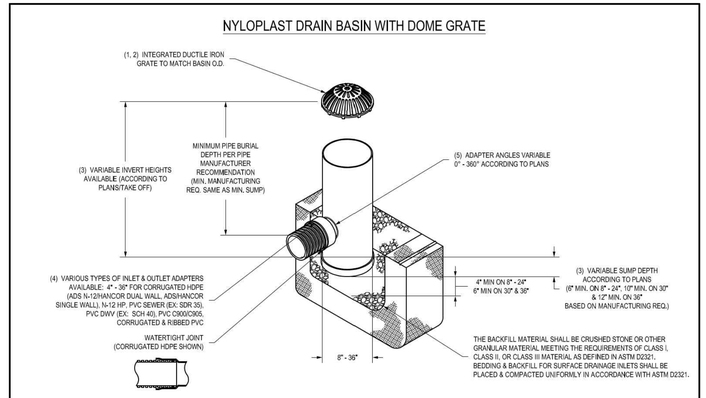


NOTES:
THIS DETAIL REPRESENTS A MODIFICATION OF A STANDARD STORM MANHOLE FOR USE IN CONTROLLING THE DISCHARGE FROM THE DETENTION AREA. SEE THE MANHOLE DETAIL FOR STANDARD DIMENSIONS AND NOTES.

OUTLET CONTROL STRUCTURE FOR UNDERGROUND DETENTION SYSTEM 3 (MH 4)

SCALE: ½"=1'

NYLOPLAST DRAIN BASIN WITH DOME GRATE



1 - 8" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - 8" & 10" DOME GRATES FIT ONTO THE DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-045.
3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 30").
5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-115-012.
6 - 8" - 30" DOME GRATES HAVE NO LOAD RATING.

DRAWN BY	EBC	MATERIAL	
DATE	03-25-10		
REVISED BY	MWH	PROJECT NO./NAME	
DATE	06-12-19		
DWG SIZE	A	SCALE 1:40	SHEET 1 OF 1

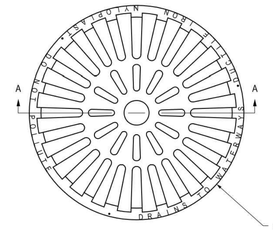
ADS Nyloplast
3126 VERONA AVE
BUFORD, GA 30518
PHN (770) 932-2440
FAX (770) 932-2490
www.nyloplast-us.com

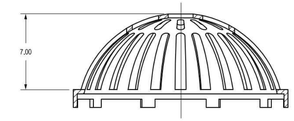
TITLE: DRAIN BASIN WITH DOME GRATE
QUICK SPEC INSTALLATION DETAIL

DWG NO. 7001-110-397 REV E

1899CGD

APPROX. DRAIN AREA = 175.59 SQ IN
APPROX. WEIGHT = 32.00 LBS





SECTION A-A

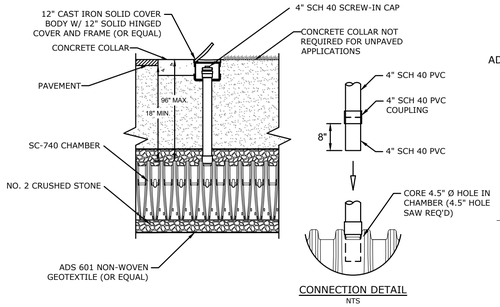
DIMENSIONS ARE FOR REFERENCE ONLY
ACTUAL DIMENSIONS MAY VARY
DIMENSIONS ARE IN INCHES
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT
LOCKING DEVICE AVAILABLE UPON REQUEST

DRAWN BY	EBC	MATERIAL	DUCTILE IRON
DATE	03-08-06		
REVISED BY	CCA	PROJECT NO./NAME	
DATE	08-30-13		
DWG SIZE	A	SCALE 1:6	SHEET 1 OF 1

ADS Nyloplast
3126 VERONA AVE
BUFORD, GA 30518
PHN (770) 932-2440
FAX (770) 932-2490
www.nyloplast-us.com

TITLE: 18 IN DOME GRATE

DWG NO. 7001-110-215 REV E

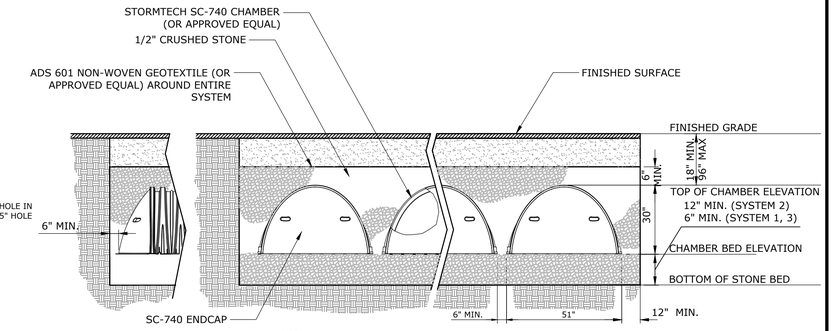


CONNECTION DETAIL
NTS

NOTES:
1. INSPECTION PORTS SHALL HAVE H-20 TRAFFIC BEARING FRAMES AND COVERS
2. INSPECTION PORT MUST BE CONNECTED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.
3. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

STORMTECH SC-740 TYPICAL INSPECTION PORT DETAIL

NOT TO SCALE



NOTE:
THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.

STORMTECH SC-740 TYPICAL CROSS SECTION DETAIL

NOT TO SCALE

INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
  - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
  - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
  - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
  - A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
  - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
  - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
  - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
    - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
    - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
  - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

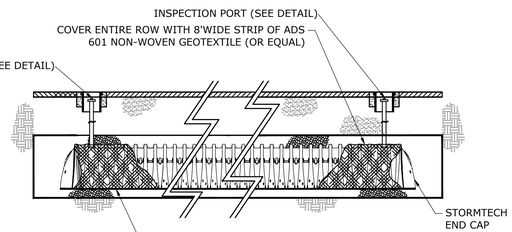
STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



STORMTECH SC-740 ISOLATOR ROW DETAIL

NOT TO SCALE

SLR
99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY
PEER REVIEW COMMENTS	1/09/2024	AWG
PEER REVIEW COMMENTS	2/13/2024	AWG
PEER REVIEW COMMENTS	2/26/2024	AWG

SITE DETAILS
PROPOSED MULTI-FAMILY DEVELOPMENT
131 DANBURY ROAD
WILTON, CONNECTICUT

AWG	AWG	TD
DESIGNED	DRAWN	CHECKED

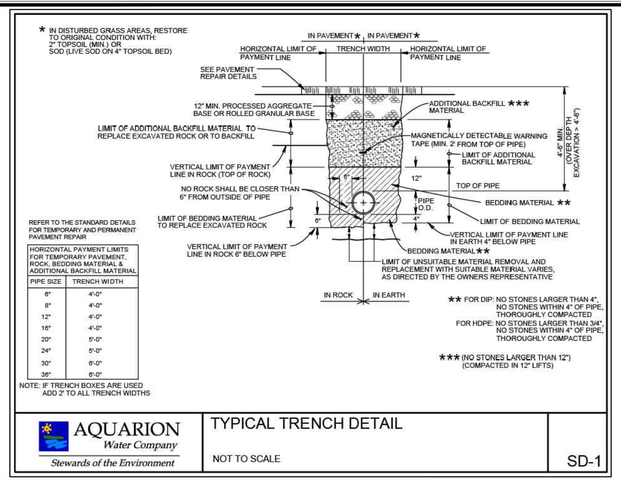
AS NOTED
SCALE

OCTOBER 23, 2023
DATE

21543.00001
PROJECT NO.

15 OF 25
SHEET NO.

SD-5
SHEET NAME

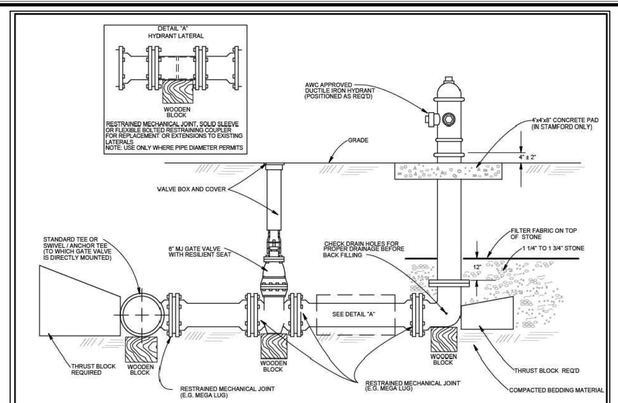


AQUARION Water Company
Stewards of the Environment

TYPICAL TRENCH DETAIL

NOT TO SCALE

SD-1

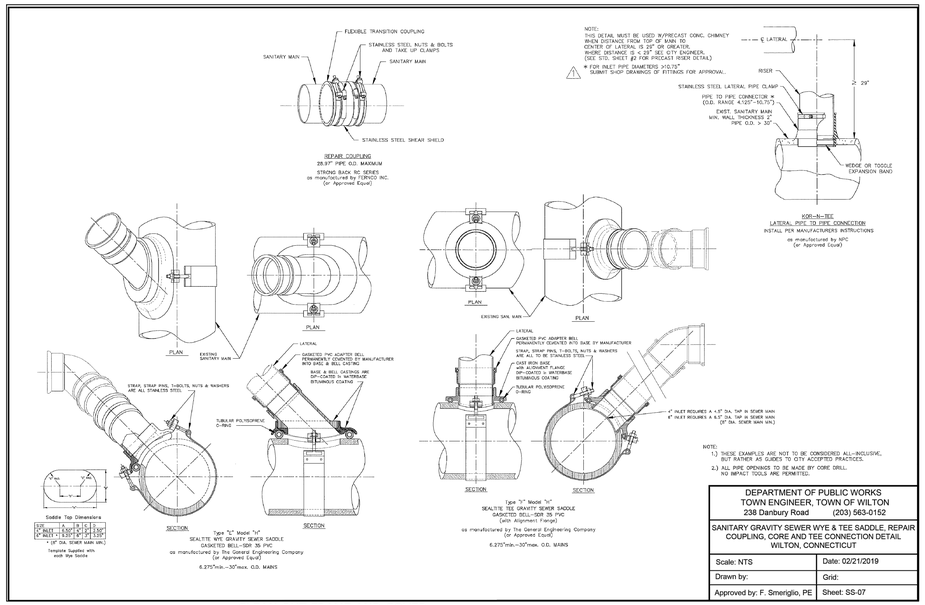


AQUARION Water Company
Stewards of the Environment

HYDRANT ASSEMBLY (DIP)

NOT TO SCALE

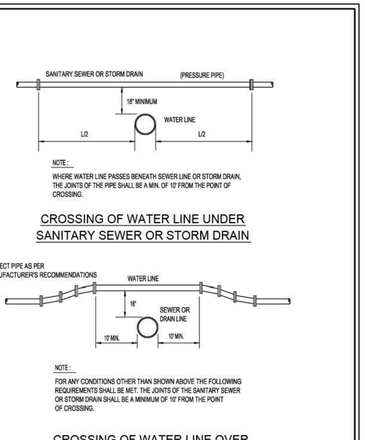
SD-8



DEPARTMENT OF PUBLIC WORKS
TOWN ENGINEER, TOWN OF WILTON
238 Danbury Road (203) 563-0152

SANITARY GRAVITY SEWER WYE & TEE SADDLE, REPAIR COUPLING, CORE AND TEE CONNECTION DETAIL
WILTON, CONNECTICUT

Scale: NTS | Date: 02/21/2019
Drawn by: | Grid:
Approved by: F. Smeriglio, PE | Sheet: SS-07

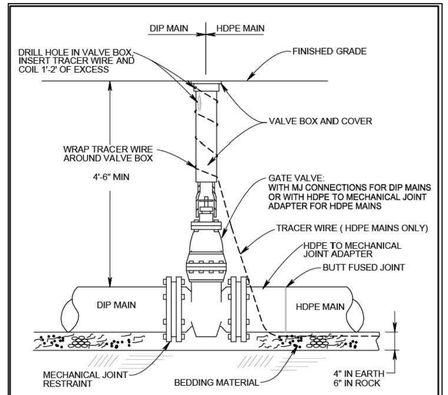


AQUARION Water Company
Stewards of the Environment

PIPE INSTALLATION
CROSSING SANITARY/STORM SEWER

NOT TO SCALE

SD-18

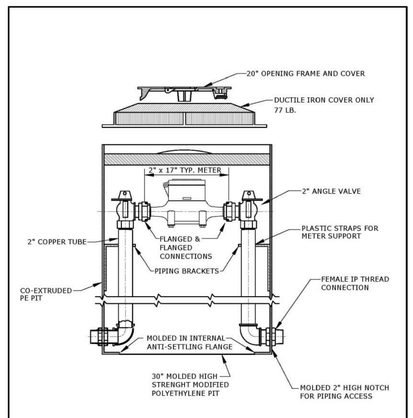


AQUARION Water Company
Stewards of the Environment

GATE VALVE

NOT TO SCALE

SD-2

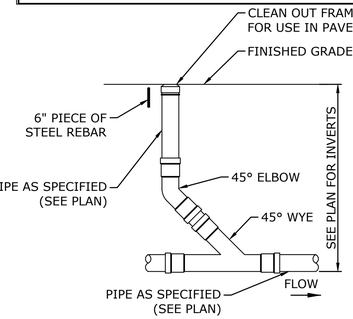


AQUARION Water Company
Stewards of the Environment

STANDARD 2" METER PIT

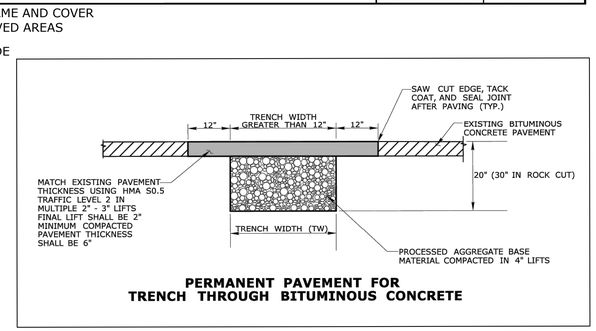
NOT TO SCALE

SD-22



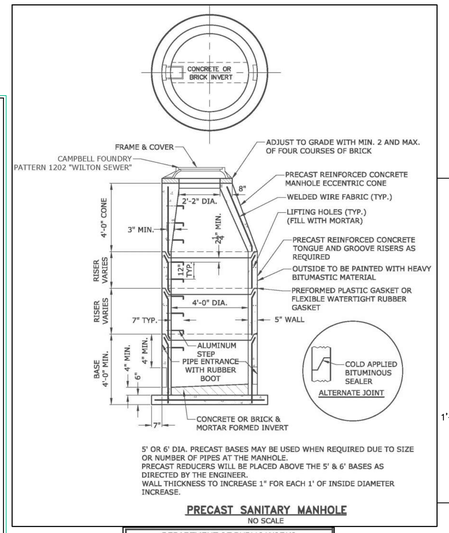
SANITARY CLEANOUT DETAIL

NOT TO SCALE



CTDOT TRENCH REPAIR DETAIL

NOT TO SCALE



5' OR 6' DIA. PRECAST BASES MAY BE USED WHEN REQUIRED DUE TO SIZE OR NUMBER OF PIPES AT THE MANHOLE. PRECAST REDUCERS WILL BE PLACED ABOVE THE 5' & 6' BASES AS DIRECTED BY THE ENGINEER. WALL THICKNESS TO INCREASE 1" FOR EACH 1' OF INSIDE DIAMETER INCREASE.

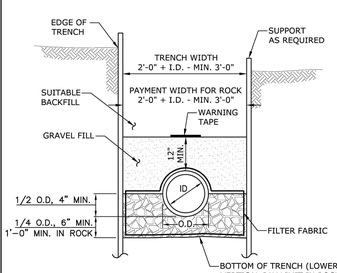
PRECAST SANITARY MANHOLE

NO SCALE

DEPARTMENT OF PUBLIC WORKS
TOWN ENGINEER, TOWN OF WILTON
238 Danbury Road (203) 563-0152

PRECAST SANITARY MANHOLE DETAIL
WILTON, CONNECTICUT

Scale: NTS | Date: 02/21/2019
Drawn by: | Grid:
Approved by: F. Smeriglio, PE | Sheet: SS-05



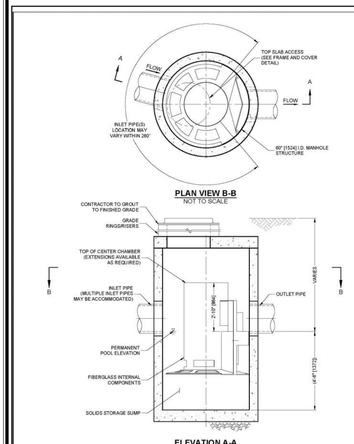
TYPICAL SANITARY SEWER TRENCH SECTION

NO SCALE

DEPARTMENT OF PUBLIC WORKS
TOWN ENGINEER, TOWN OF WILTON
238 Danbury Road (203) 563-0152

TYPICAL SANITARY SEWER TRENCH SECTION DETAIL
WILTON, CONNECTICUT

Scale: NTS | Date: 02/21/2019
Drawn by: | Grid:
Approved by: F. Smeriglio, PE | Sheet: SS-03



PLAN VIEW B-B
NOT TO SCALE

ELEVATION A-A
NOT TO SCALE

CASCADE separator®

FRAME AND COVER
(DIAMETER VARIES)
NOT TO SCALE

CASCADE SEPARATOR DESIGN NOTES

THE STANDARD CS-5 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (cfs or L/s)			
PEAK FLOW RATE (cfs or L/s)			
RETURN PERIOD OF PEAK FLOW (yrs)			
RIM ELEVATION			
PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
NOTES / SPECIAL REQUIREMENTS:			

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE, www.contechES.com
3. CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO H20 LOAD RATING, ASSUMING EARTH COVER OF 3' - 2' [610], AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
5. CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
6. ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].

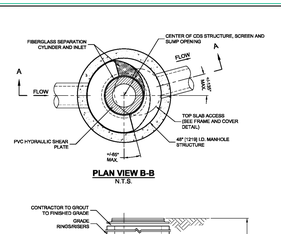
INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR STRUCTURE.
C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
800.338.1122 513.645.7000 513.645.7993 FAX

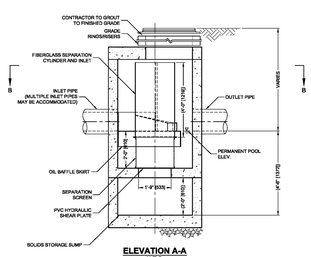
CS-5
CASCADE SEPARATOR
STANDARD DETAIL

CONTECH CASCADE CS-5 OR APPROVED EQUAL

NOT TO SCALE



PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

CDS

FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

CDS2015-4-C DESIGN NOTES

THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION
GRATED INLET ONLY* (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES
SUPPARTS OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			*
PEAK FLOW RATE (CFS OR L/s)			*
RETURN PERIOD OF PEAK FLOW (YRS)			*
SCREEN APERTURE (2400 OR 4700)			*
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE 1	*	*	*
INLET PIPE 2	*	*	*
OUTLET PIPE	*	*	*
RIM ELEVATION			*
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT
		*	*
NOTES/SPECIAL REQUIREMENTS:			

* PER ENGINEER OF RECORD

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, DUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE, www.contechES.com
4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET H20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
6025 Centre Park Dr., Suite 400, West Chester, OH 45069
800.338.1122 513.645.7000 513.645.7993 FAX

CDS2015-4-C
INLINE CDS
STANDARD DETAIL

CONTECH CDS 2015-4-C OR APPROVED EQUAL

NOT TO SCALE

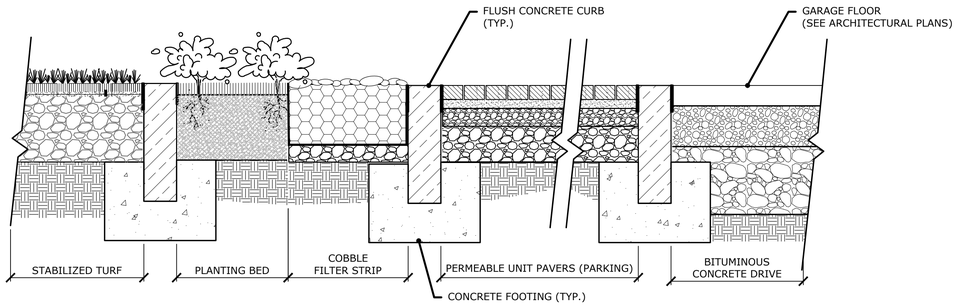
SLR
99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY
WPCA REVISIONS	11/14/2023	AWG
PEER REVIEW COMMENTS	11/08/2024	AWG
PEER REVIEW COMMENTS	2/13/2024	AWG
PEER REVIEW COMMENTS	2/28/2024	AWG

SITE DETAILS
PROPOSED MULTI-FAMILY DEVELOPMENT
131 DANBURY ROAD
WILTON, CONNECTICUT

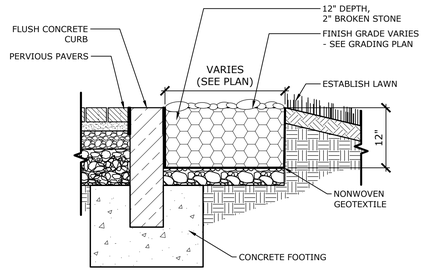
AWG	AWG	TD
DESIGNED	DRAWN	CHECKED

SCALE: AS NOTED
DATE: OCTOBER 23, 2023
PROJECT NO.: 21543.00001
SHEET NO.: 16 OF 25
SHEET NAME: SD-6



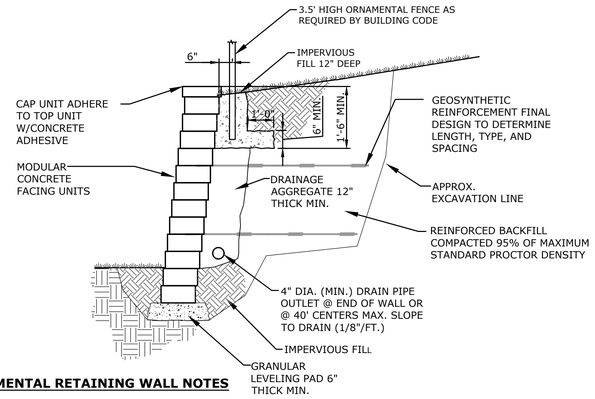
SECTION

REAR OF BUILDING FLUSH CURB CONDITIONS



COBBLE FILTER STRIP

NOT TO SCALE

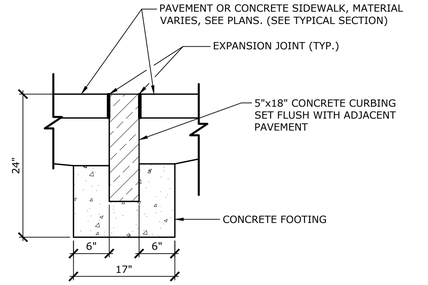


SEGMENTAL RETAINING WALL NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE EXTERNAL STABILITY OF THE WALL, INCLUDING BEARING CAPACITY AND SLOPE STABILITY, ARE PROPERLY REVIEWED AND EVALUATED BY A LICENSED PROFESSIONAL ENGINEER. THE WALL DESIGN SHOWN IN THESE DETAILS DOES NOT ADDRESS THE SUFFICIENCY OF THE BEARING CAPACITY NOR THE SLOPE STABILITY OF THE WALL SYSTEM AND SURROUNDING SOIL.
2. LEVELING PAD SHALL CONSIST OF WELL GRADED ROAD BASE AGGREGATE, 3/4" CRUSHED, ANGULAR GRAVEL WITH SOME FINES. CONTRACTOR MAY OPT FOR A LEAN CONCRETE LEVELING PAD. PAD SHALL BE UNREINFORCED LEAN CONCRETE, 200-300 PSI, 3" THICK MAXIMUM. DRAINAGE AGGREGATE SHALL CONSIST OF CLEAN ANGULAR GRAVEL, 3/4" DIAMETER WITH LESS THAN 5% FINES.
3. DRAINAGE PIPE SHALL BE PERFORATED OR SLOTTED PVC OR CORRUGATED HDPE PIPE. REINFORCED BACKFILL SHALL BE FREE OF DEBRIS, ORGANIC SOIL, AND EXPANSIVE SOILS. FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME FILL BEHIND UNITS IS COMPACTED.
4. COMPACTION SHALL BE TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY. (ASTM D-698) COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE CONTRACTOR'S DESIGN ENGINEER.
5. COMPACTION WITHIN 3FT. OF WALL SHALL BE LIMITED TO HAND OPERATED EQUIPMENT. CONTRACTOR SHALL SLOPE SITE GRADES TO DIRECT SURFACE RUNOFF AWAY FROM WALL AT END OF EACH DAY TO AVOID WATER DAMAGING THE WALL WHILE UNDER CONSTRUCTION. ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TURF SHALL BE INSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.
6. TOP OF WALL TO BE SET 6 INCHES ABOVE PROPOSED GRADE AT BACK OF WALL.

MODULAR BLOCK RETAINING WALL

NOT TO SCALE

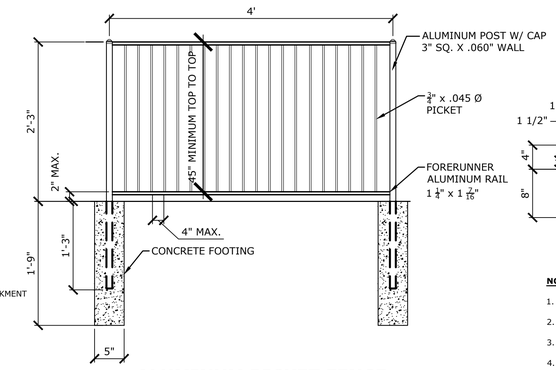


FLUSH CONCRETE CURB EDGER

NOT TO SCALE

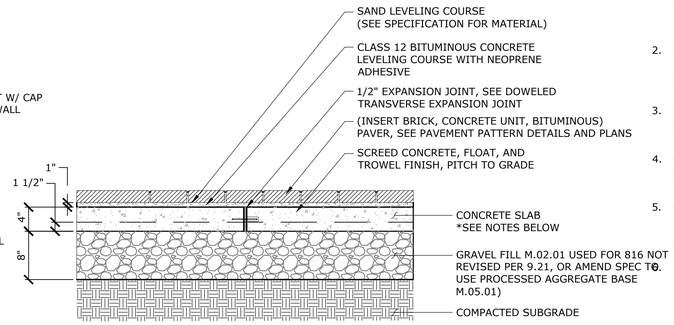
NOTES:

1. SUBMIT SHOP DRAWINGS FOR APPROVAL.
2. FENCE TO BE ASSEMBLED AND INSTALLED AS PER MANUFACTURER SPECIFICATIONS.
3. ALL VERTICAL OPENINGS SHALL BE LESS THAN 4".



ALUMINUM PICKET FENCE

NOT TO SCALE

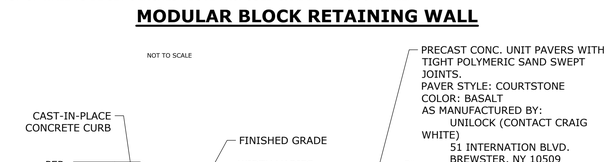


NOTES:

1. PAVERS SHALL BE AS SPECIFIED.
2. EXPANSION JOINTS IN CONCRETE BASE SHALL BE 20' O.C. OR 144 S.F. MAX.
3. CONCRETE BASE SHALL BE SCREEDED WITH A FLOAT FINISH, TROWELED, AND PITCHED TO GRADE.
4. TO BE ACCEPTED, PAVERS SHALL BE INSTALLED IN SUCH A MANNER THAT:
   - 4.1. THE PAVER WALKING SURFACES ARE WITHIN 1/8" OF EACH OTHER AND ADJACENT FINISHED SURFACES (I.E. GRANITE CURB AND CONC. WALK)
   - 4.2. THE PAVERS HAVE NO JOINTS GREATER THAN 1/16"
   - 4.3. SAND SWEPT BETWEEN JOINTS IS VIBRATED AND WITHIN 3/16" OF THE PAVER WALKING SURFACE
   - 4.4. NO PAVER IS CRACKED OR BROKEN
   - 4.5. MASTIC IS NOT VISIBLE BETWEEN PAVERS OR ON ANY PAVER SURFACE
   - 4.6. PAVERS ARE VIBRATED IN PLACE, SECURED AND ADHERED TO THE MASTIC.
5. CONTRACTOR SHALL CONSTRUCT A PAVER SAMPLE PATTERN FOR EACH PATTERN AS SPECIFIED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO AUTHORIZATION TO INSTALL PAVERS.

CONCRETE PAVERS ON 4" CONCRETE SLAB

NOT TO SCALE

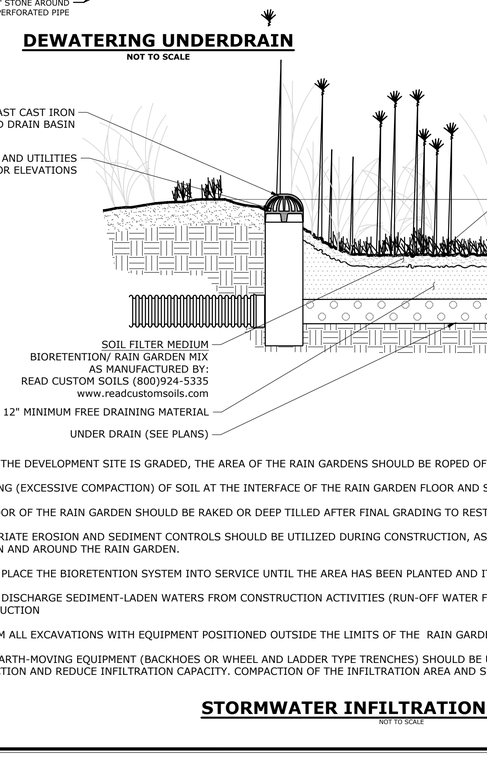


NOTES:

1. CONTRACTOR SHALL PLACE AND FINE GRADE PROCESSED AGGREGATE PRIOR TO PLACING SAND BED. CONTRACTOR SHALL THEN SCREED SAND BED AFTER PLACEMENT AND PRIOR TO SETTING PAVERS. IMPROPER PAVER SECTION WILL WARRANT REPLACEMENT AT THE EXPENSE OF THE CONTRACTOR.
2. CONTRACTOR SHALL PROVIDE A 10'X10' SAMPLE OF THIS SECTION FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION ASSOCIATED WITH THIS PROJECT. ANY PAVERS INSTALLED PRIOR TO APPROVAL OF THE SAMPLE PANEL BY THE LANDSCAPE ARCHITECT SHALL BE REPLACED AS REQUIRED AT THE EXPENSE OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT.

CONCRETE PAVER DRIVEWAY

NOT TO SCALE



DEWATERING UNDERDRAIN

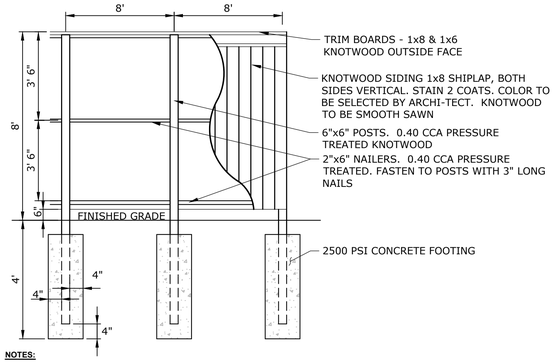
NOT TO SCALE

NOTES:

1. BEFORE THE DEVELOPMENT SITE IS GRADED, THE AREA OF THE RAIN GARDENS SHOULD BE ROPED OFF AND FLAGGED TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT.
2. SMEARING (EXCESSIVE COMPACTION) OF SOIL AT THE INTERFACE OF THE RAIN GARDEN FLOOR AND SIDES SHOULD BE AVOIDED.
3. THE FLOOR OF THE RAIN GARDEN SHOULD BE RAKED OR DEEP TILLED AFTER FINAL GRADING TO RESTORE INFILTRATION RATES.
4. APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOULD BE UTILIZED DURING CONSTRUCTION, AS WELL AS IMMEDIATELY FOLLOWING CONSTRUCTION, TO STABILIZE THE SOILS IN AND AROUND THE RAIN GARDEN.
5. DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE AREA HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED
6. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUN-OFF WATER FROM EXCAVATION) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION
7. PERFORM ALL EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE RAIN GARDEN.
8. LIGHT EARTH-MOVING EQUIPMENT (BACKHOES OR WHEEL AND LADDER TYPE TRENCHES) SHOULD BE USED TO EXCAVATE RAIN GARDENS. HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION AND REDUCE INFILTRATION CAPACITY. COMPACTION OF THE INFILTRATION AREA AND SURROUNDING SOILS DURING CONSTRUCTION SHOULD BE AVOIDED.

STORMWATER INFILTRATION RAIN GARDEN

NOT TO SCALE

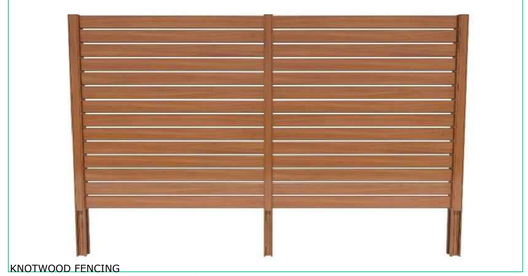


NOTES:

1. ALL FASTENERS ARE TO BE HOT DIP GALVANIZED.
2. SIDING IS TO BE CONTINUOUS AROUND END POST.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR WOOD SCREEN FENCE AT DUMPSTER AREA.
4. AT DUMPSTER AREA APPLY CEDAR SIDING ONLY TO OUTSIDE OF WOOD SCREEN FENCE. ADD CROSS BRACING AS NECESSARY.

SOLID BOARD PRIVACY FENCE

NOT TO SCALE



KNOTWOOD FENCING
AS MANUFACTURED BY: ALUMARCH.COM (888) 589-9771
STYLE: HORIZONTAL FENCE ASSEMBLY WITH SPACERS
COLOR: STANDARD WOOD GRAIN - WESTERN RED CEDAR

SLR
99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY
WPCA REVISIONS	11/14/2023	AWG
PEER REVIEW COMMENTS	1/08/2024	AWG
PEER REVIEW COMMENTS	2/13/2024	AWG
PEER REVIEW COMMENTS	2/28/2024	AWG
PEER REVIEW COMMENTS	3/08/2024	AWG

SITE DETAILS

PROPOSED MULTI-FAMILY DEVELOPMENT

131 DANBURY ROAD
WILTON, CONNECTICUT

AWG	AWG	TD
DESIGNED	DRAWN	CHECKED

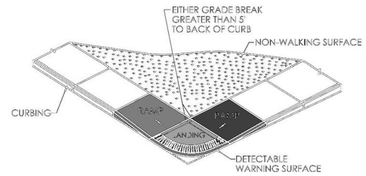
SCALE: AS NOTED

DATE: OCTOBER 23, 2023

PROJECT NO.: 21543.00001

SHEET NO.: 17 OF 25

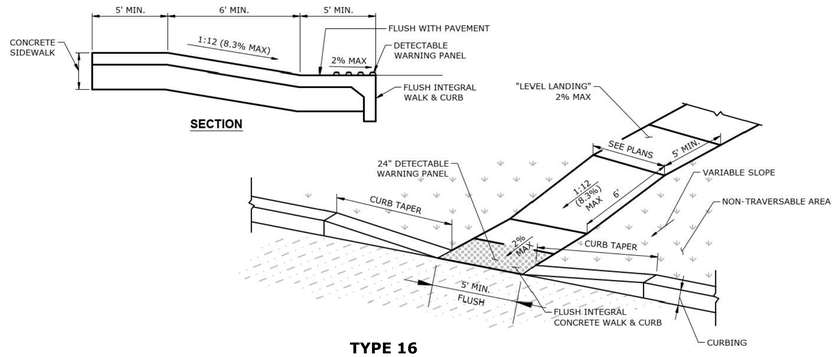
SHEET NAME: SD-7



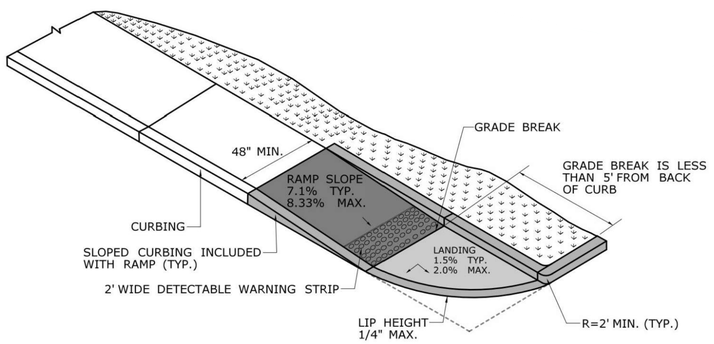
PERPENDICULAR RAMP(S)
GRADE BREAK GREATER THAN 5'

TYPE 2 SIDEWALK ABUTS ROADWAY

TYPE 4 SIDEWALK SEPARATED FROM ROADWAY
WITH NONWALK AREA



TYPE 16
ACCESSIBLE SIDEWALK RAMP
NOT TO SCALE



SINGLE DIRECTION RAMP
WITHOUT NON-WALKING SURFACE
GRADE BREAK LESS THAN 5'
(TYPE 15)

SLR
99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY
WPCA REVISIONS	11/14/2023	AWG
PEER REVIEW COMMENTS	1/08/2024	AWG
PEER REVIEW COMMENTS	2/13/2024	AWG
PEER REVIEW COMMENTS	2/26/2024	AWG

SITE DETAILS

PROPOSED MULTI-FAMILY DEVELOPMENT
131 DANBURY ROAD
WILTON, CONNECTICUT

AWG	AWG	TD
DESIGNED	DRAWN	CHECKED

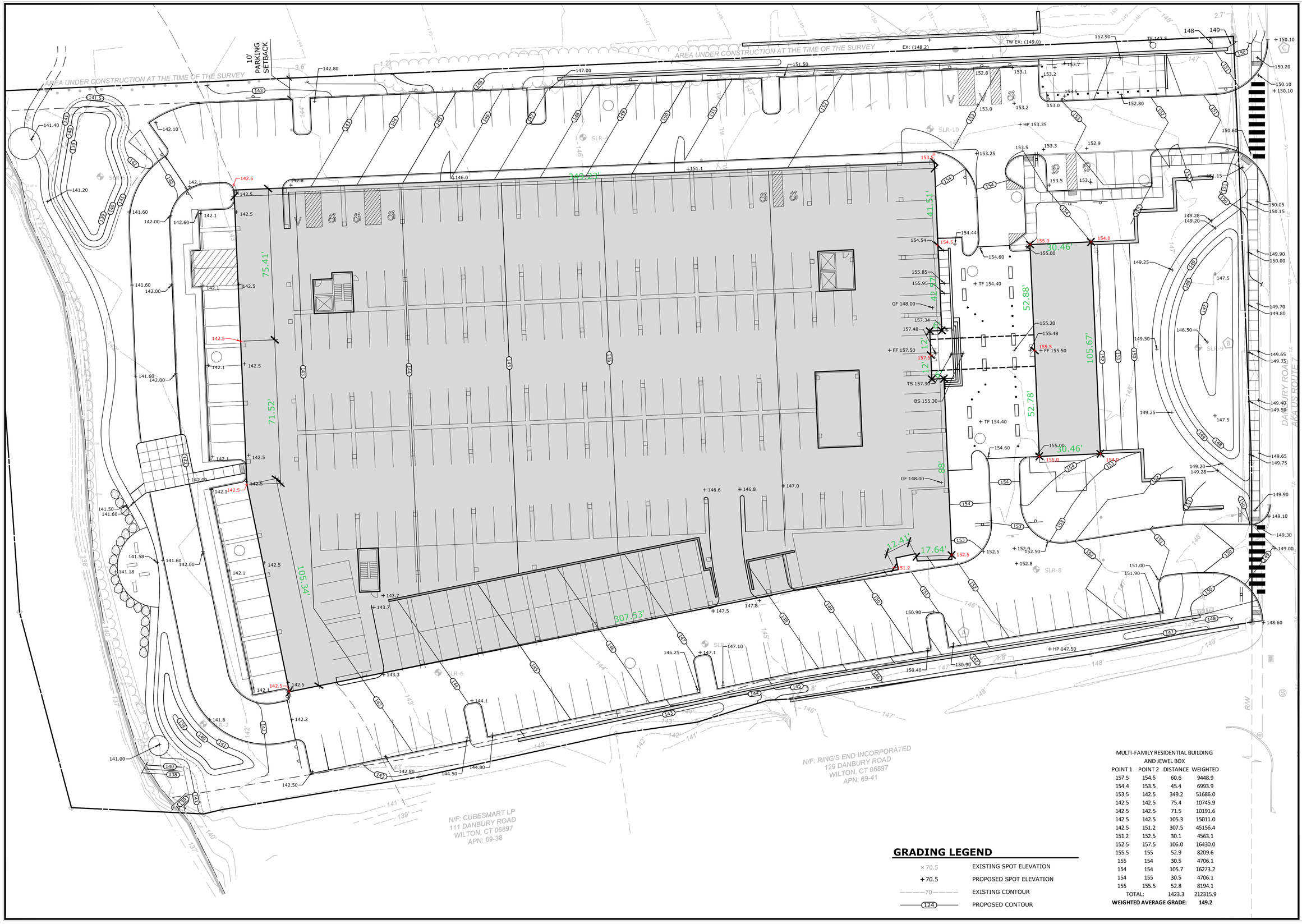
AS NOTED
SCALE

OCTOBER 23, 2023
DATE

21543.00001
PROJECT NO.

18 OF 25
SHEET NO.

SD-8
SHEET NAME



GRADING LEGEND

× 70.5	EXISTING SPOT ELEVATION
+ 70.5	PROPOSED SPOT ELEVATION
——70——	EXISTING CONTOUR
124	PROPOSED CONTOUR

MULTI-FAMILY RESIDENTIAL BUILDING AND JEWEL BOX

POINT 1	POINT 2	DISTANCE	WEIGHTED
157.5	154.5	60.6	9448.9
154.4	153.5	45.4	6993.9
153.5	142.5	349.2	51686.0
142.5	142.5	75.4	10745.9
142.5	142.5	71.5	10191.6
142.5	142.5	105.3	15011.0
142.5	151.2	307.5	45156.4
151.2	152.5	30.1	4563.1
152.5	157.5	106.0	16430.0
155.5	155	52.9	8209.6
155	154	30.5	4706.1
154	154	105.7	16273.2
154	155	30.5	4706.1
155	155.5	52.8	8194.1
TOTAL:		1423.3	212315.9
WEIGHTED AVERAGE GRADE:			**149.2**

SLR
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CHESHIRE, CT 06410
203.271.1773
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DESCRIPTION	DATE	BY
PAZ SUBMISSION	11/27/2023	AWG
PEER REVIEW COMMENTS	2/13/2024	RH
PEER REVIEW COMMENTS	2/26/2024	AWG
PEER REVIEW COMMENTS	3/08/2024	AWG

COMBINED AVERAGE BUILDING GRADE

PROPOSED MULTI-FAMILY DEVELOPMENT

131 DANBURY ROAD
WILTON, CONNECTICUT

DESIGNED	DRAWN	CHECKED
AWG	AWG	TD

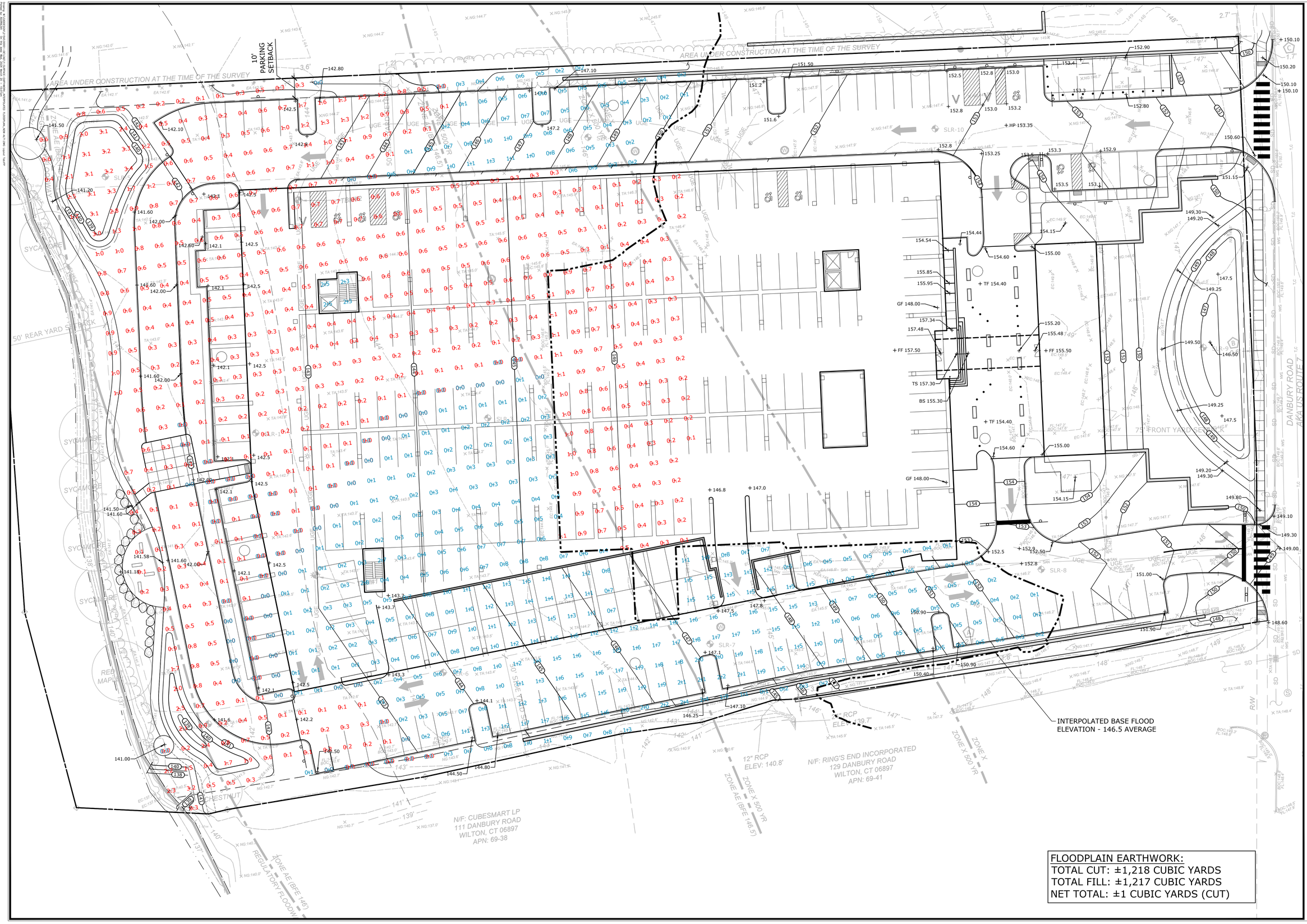
SCALE: 1"=20'

DATE: OCTOBER 23, 2023

PROJECT NO.: 21543.00001

SHEET NO.: 19 OF 25

SHEET NAME: ABG



SLR
99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY
PAZ SUBMISSION	11/27/2023	AWG
PEER REVIEW COMMENTS	2/13/2024	AWG
PEER REVIEW COMMENTS	3/08/2024	AWG

INTERPOLATED FLOODPLAIN EARTHWORK

PROPOSED MULTI-FAMILY DEVELOPMENT

131 DANBURY ROAD
WILTON, CONNECTICUT

AWG	AWG	TD
DESIGNED	DRAWN	CHECKED

1"=20'
SCALE

OCTOBER 23, 2023
DATE

21543.00001
PROJECT NO.

20 OF 25
SHEET NO.

IFP
SHEET NAME

AREA UNDER CONSTRUCTION AT THE TIME OF THE SURVEY

10' PARKING SETBACK

50' REAR YARD SETBACK

50' SIDE YARD SETBACK

SYCAMORE DRIVE

CHESTNUT DRIVE

DANBURY ROAD
AKA US ROUTE 7

FRONT YARD SETBACK

SLR-10

SLR-8

TW EX: (149.0)

EX: (148.2)

12" RCP
ELEV: 140.8'

24" RCP
ELEV: 139.7'

N/F: RING'S END INCORPORATED
129 DANBURY ROAD
WILTON, CT 06897
APN: 69-41

N/F: CUBESMART LP
111 DANBURY ROAD
WILTON, CT 06897
APN: 69-38

ZONE AE (BFE 146)
REGULATORY FLOODWAY

ZONE X 500 YR

ZONE X

SITE EARTHWORK:
TOTAL CUT: ±5,107 CUBIC YARDS
TOTAL FILL: ±9,942 CUBIC YARDS
NET TOTAL: ±4,835 CUBIC YARDS (FILL)

SLR
99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY
PAZ SUBMISSION	11/27/2023	AWG
PEER REVIEW COMMENTS	2/13/2024	AWG
PEER REVIEW COMMENTS	3/08/2024	AWG

PROPOSED SITE EARTHWORK

PROPOSED MULTI-FAMILY DEVELOPMENT

131 DANBURY ROAD
WILTON, CONNECTICUT

DESIGNED	DRAWN	CHECKED
AWG	AWG	TD

SCALE: 1"=20'

DATE: OCTOBER 23, 2023

PROJECT NO.: 21543.00001

SHEET NO.: 21 OF 25

SHEET NAME: EW

UPLAND REVIEW AREA EARTHWORK:
TOTAL CUT: ±601 CUBIC YARDS
TOTAL FILL: ±6 CUBIC YARDS
NET TOTAL: ±595 CUBIC YARDS (CUT)

DESCRIPTION	DATE	BY
PEER REVIEW COMMENTS	2/13/2024	AWG
PEER REVIEW COMMENTS	3/08/2024	AWG

SLR

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CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

UPLAND REVIEW AREA EARTHWORK

PROPOSED MULTI-FAMILY DEVELOPMENT

131 DANBURY ROAD
WILTON, CONNECTICUT

DESIGNED	DRAWN	CHECKED
AWG	AWG	TD

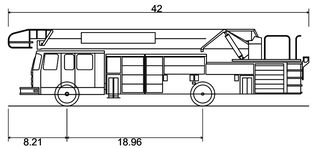
SCALE: 1"=20'

DATE: OCTOBER 23, 2023

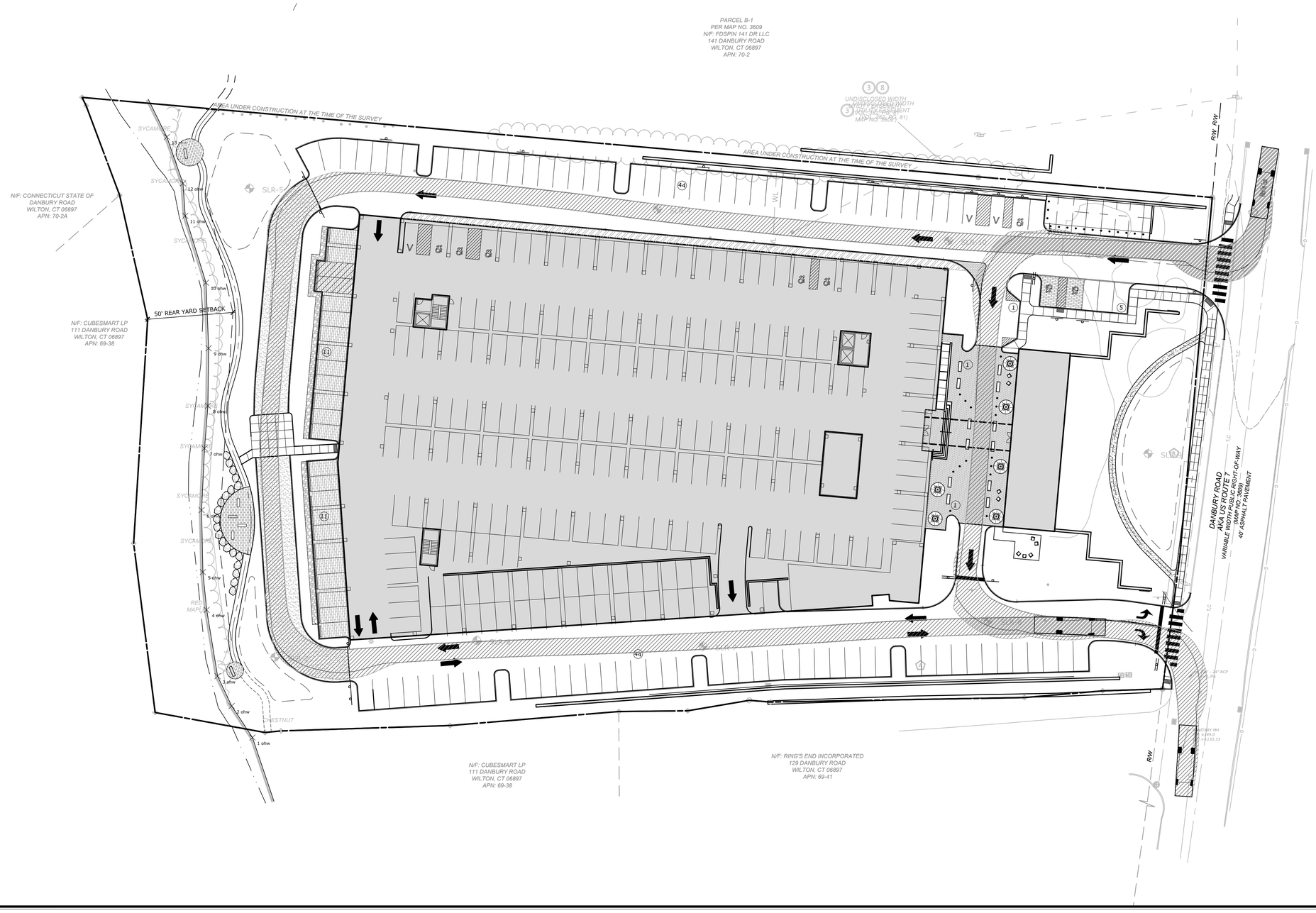
PROJECT NO.: 21543.00001

SHEET NO.: 22 OF 25

SHEET NAME: UR



Wilton Fire Truck	
Overall Length	42.000ft
Overall Width	10.000ft
Overall Body Height	10.715ft
Min Body Ground Clearance	1.146ft
Track Width	9.620ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	33.167ft



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CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY
P&Z SUBMISSION	11/27/2023	AWG
PEER REVIEW COMMENTS	1/08/2024	AWG
PEER REVIEW COMMENTS	2/13/2024	AWG
FIRE MARSHAL COMMENTS	3/01/2024	AWG
FIRE MARSHAL COMMENTS	3/08/2024	AWG

VEHICLE TURNING MOVEMENT - FIRE TRUCK

PROPOSED MULTI-FAMILY DEVELOPMENT

131 DANBURY ROAD
WILTON, CONNECTICUT

AWG	RH	TD
DESIGNED	DRAWN	CHECKED

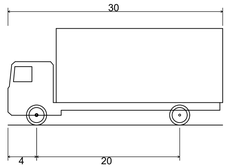
1"=30'
SCALE

OCTOBER 23, 2023
DATE

21543.00001
PROJECT NO.

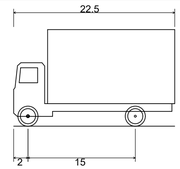
23 OF 25
SHEET NO.

VH-1
SHEET NAME



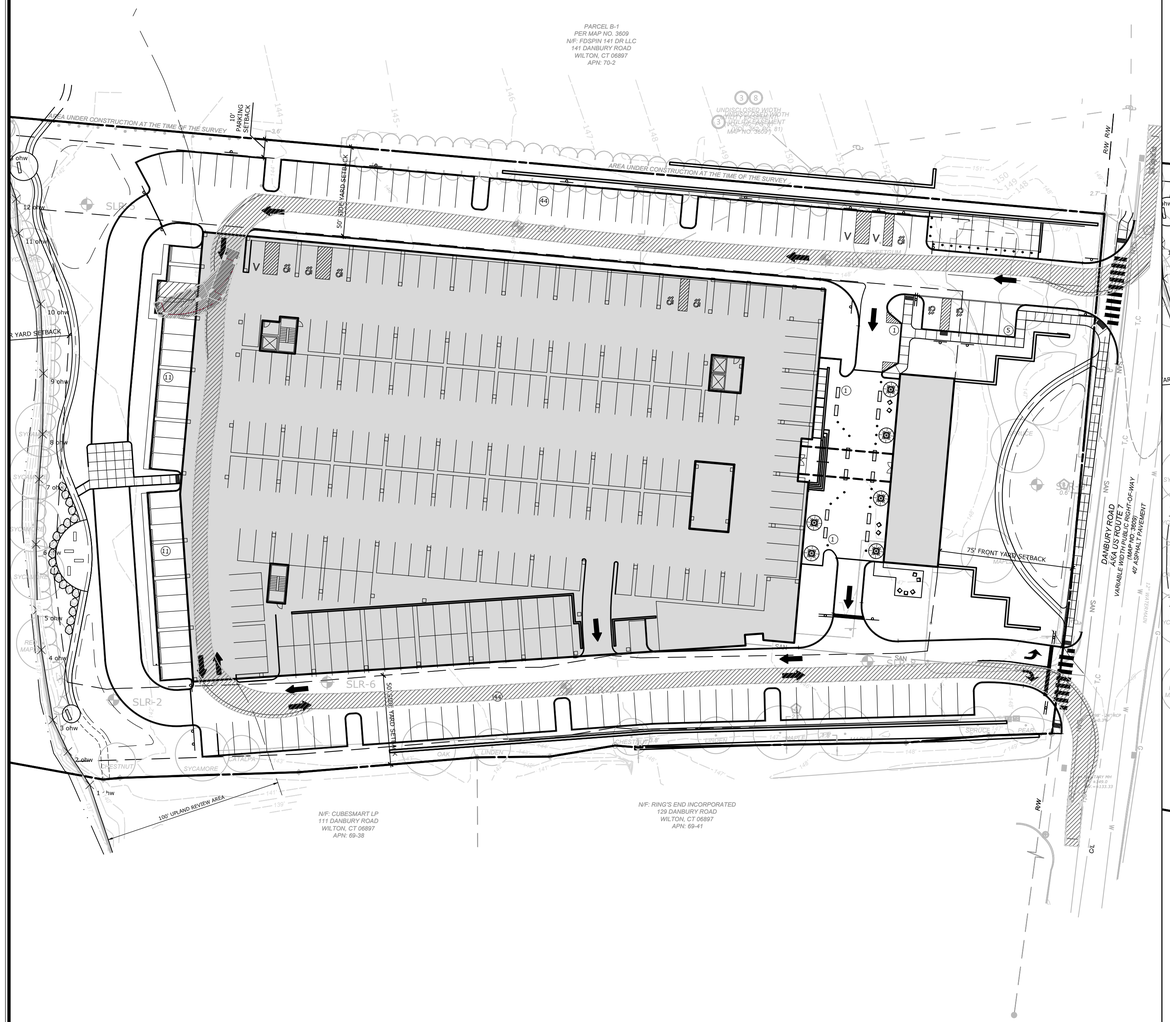
SU-30 - Single Unit Truck

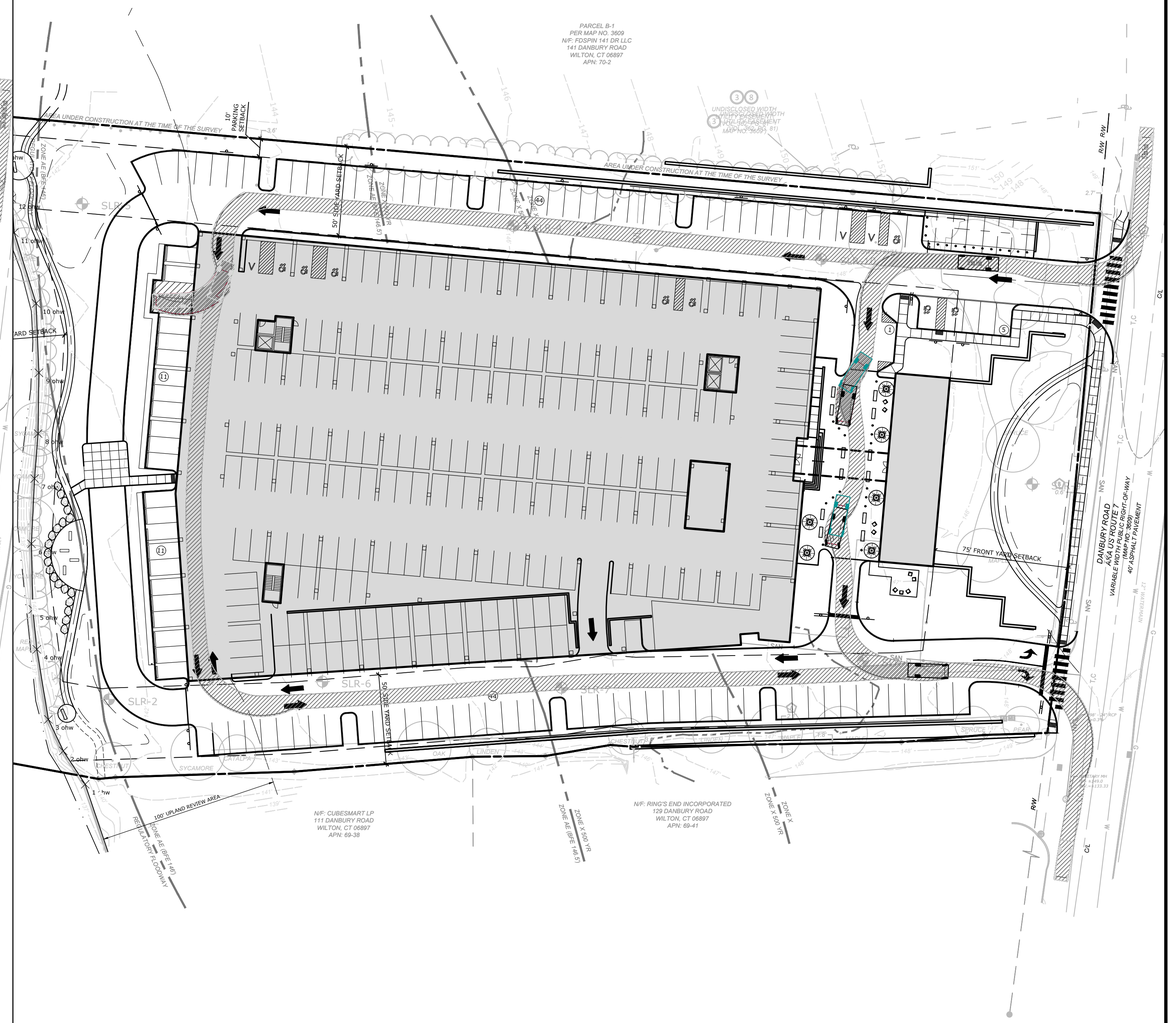
Overall Length	30.000ft
Overall Width	8.000ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.367ft
Track Width	8.000ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	31.80°



15' Box Truck

Overall Length	22.500ft
Overall Width	7.670ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.367ft
Track Width	8.000ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	31.80°





SLR
99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY
PAZ SUBMISSION	11/27/2023	AWG
PEER REVIEW COMMENTS	3/08/2024	AWG

VEHICLE TURNING MOVEMENT - SU-30 AND 15' BOX TRUCK

PROPOSED MULTI-FAMILY DEVELOPMENT

131 DANBURY ROAD
WILTON, CONNECTICUT

AWG	RH	TD
DESIGNED	DRAWN	CHECKED

SCALE	1"=40'
DATE	OCTOBER 23, 2023
PROJECT NO.	21543.00001
SHEET NO.	24 OF 25
SHEET NAME	VH-2