

TAX MAP 74
LOT 22

ZONE: DE-5

WILTON, CT

SCALE: 1" = 800'

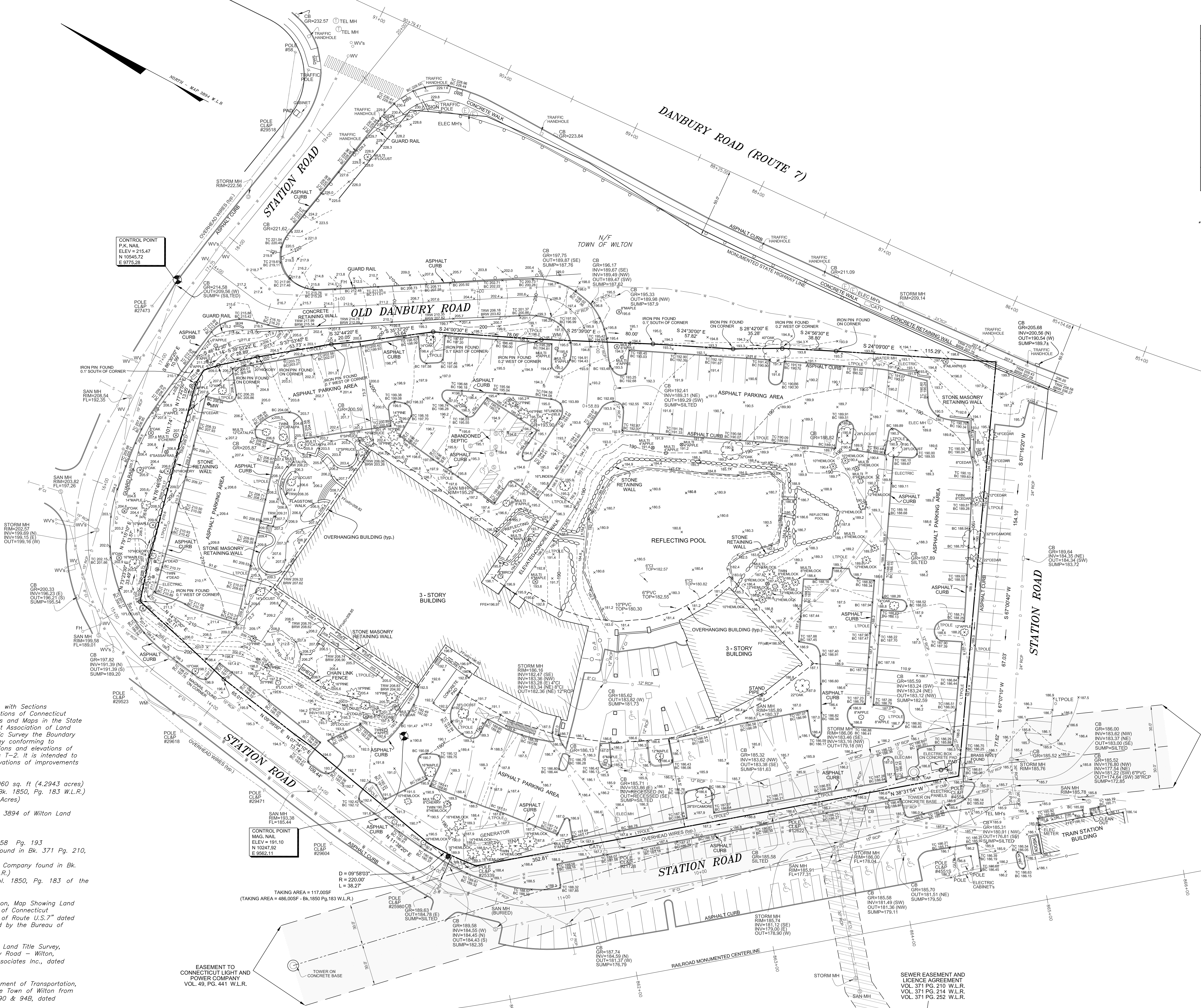
ORIENTATION

ZONING DATA (ZONE: DE-5)	
Requirement	Allowed/Required
Min. Lot Area	5 Acres
Min. Frontage	150 ft
Max. Building Stories*	3
Max. Building Height*	39 ft
Max. Building Coverage	25%
Max. Site Coverage	50%
Min. Front Yard**	50 ft
Min. Side Yard	50 ft When abutting a residential district 100 ft
Min. Rear Yard	50 ft When abutting a residential district 100 ft
Min. Parking and Loading Setbacks (Side and Rear Yards)	25 ft When abutting a residential district 75 ft

* Except as otherwise provided in Section 29-4C.1.
A 4 story and/or 55-foot high building may be located on lots that are in conformance with minimum area requirements of the DE-5 district.
** Except setbacks shall be 100 ft along Route 7

NOTES:

- This survey has been prepared in accordance with Sections 20-300a-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property and Topographic Survey the Boundary Determination category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and the locations and elevations of which conform to Topographic Accuracy Class T-2. It is intended to depict property boundaries, locations and elevations of improvements and topographic features.
- Original area of the surveyed parcel = 187,060 sq. ft. (4.2943 acres)
Take Area = 117.00 sq. ft. (486.00 sq. ft. Bk. 1850, Pg. 183 W.L.R.)
Remainder parcel = 186,943sq. ft. (4.2916 Acres)
- Reference is made to Maps 2121, 3865 and 3894 of Wilton Land Records (W.L.R.).
- Reference is made to :
a) Warranty Deed of Record found in Bk. 1158 Pg. 193
b) Sewer Easement and Licence Agreement found in Bk. 371 Pg. 210, Bk. 371 Pg. 214 and Bk. 371 Pg. 252.
c) Easement to Connecticut Light and Power Company found in Bk. 49 Pg. 441 of the Wilton Land Records (W.L.R.)
d) Certificate of Condemnation found in Vol. 1850, Pg. 183 of the Wilton Land Records (W.L.R.)
- Reference is made to the map "Town of Wilton, Map Showing Land Acquired from CD STATION LLC by the State of Connecticut Department of Transportation, Reconstruction of Route U.S.7" dated October 2004, revised 04-01-2005, prepared by the Bureau of Engineering and Highway Operation.
- Reference is made to the map " ALTA/NPS Land Title Survey, property of , CD Station LLC, 15 Old Danbury Road - Wilton, Connecticut " prepared by F.A. Heskeith & Associates Inc., dated 01-28-1999 (updated 05-19-2023).
- Reference is made maps "Connecticut Department of Transportation, Plan for Reconstruction of Route U.S.7 in the Town of Wilton from STA. 30+30.00 to STA. 178+58.82", Sheets 90 & 94S, dated 10/16/2002.
- Reference is made to Map titled "State of Connecticut, Department of Transportation, Danbury - South Norwalk Rail Line in the Town of Wilton, Project No. 884-497", Sheets 41 & 42 of 57, dated 5/28/1992.
- Elevations depicted hereon are based on the North American Vertical Datum of 1988 (NAVD-88).
- Owner of Record: CD STATION LLC.
- Subsurface utility, structure and facility locations depicted hereon have been compiled, in part, from municipal records and field measurements. Underground utilities (i.e. water, electric, cable) identified and marked by Acumark Utility Locating, LLC 12/21/2023. These locations must be considered as approximate, may not be complete and other such features may exist on the site. The size, location and existence of all such features must be verified by the appropriate authorities prior to construction.



EASEMENT TO
CONNECTICUT LIGHT AND
POWER COMPANY
VOL. 49, PG. 441 W.L.R.

PROPERTY & TOPOGRAPHIC
SURVEY
DEPICTING
15 OLD DANBURY ROAD
WILTON, CT
PREPARED FOR
TOLL BROTHERS APARTMENT LIVING

LAND SURVEYING
CIVIL ENGINEERING
PLANNING & ZONING CONSULTING
PERMITTING

Scale: 1" = 30'

Drawn By: GS Checked By: LWP Date: 01/05/2024

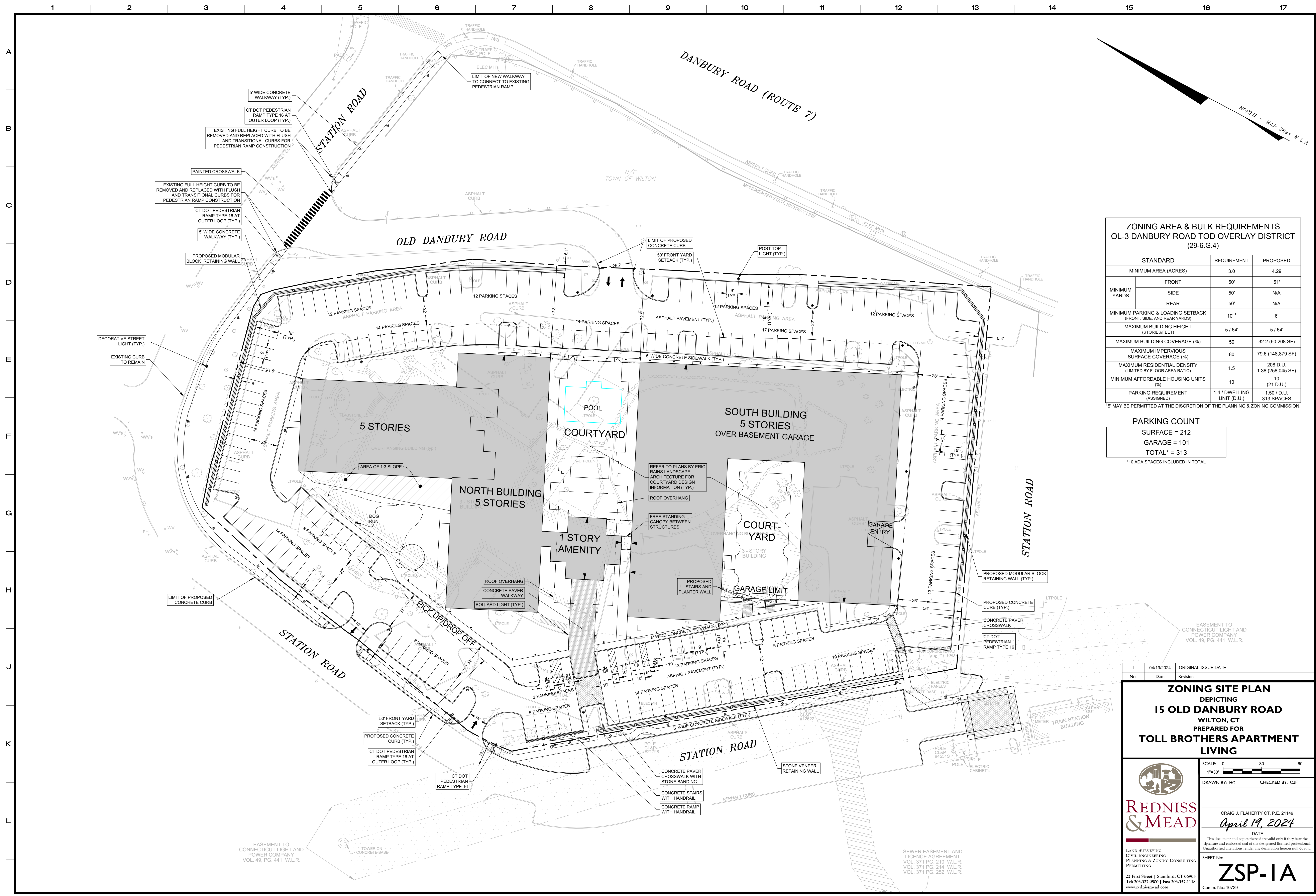
To my knowledge and belief this map is substantially correct as noted herein

LAWRENCE W. POSSON, JR., CT. L.S. #0130
1/5/2024
DATE

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unaffiliated alterations under any declaration herein null & void.

Sheet No.:
22 First Street | Stamford, CT 06903
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PTS
Comm. No.: 10739-2



ZONING AREA & BULK REQUIREMENTS			
OL-3 DANBURY ROAD TO OVERLAY DISTRICT (29-6.G.4)			
STANDARD		REQUIREMENT	PROPOSED
MINIMUM AREA (ACRES)		3.0	4.29
MINIMUM YARDS	FRONT	50'	51'
	SIDE	50'	N/A
	REAR	50'	N/A
MINIMUM PARKING & LOADING SETBACK (FRONT, SIDE, AND REAR YARDS)		10' 1	6'
MAXIMUM BUILDING HEIGHT (STORIES/FEET)		5 / 64'	5 / 64'
MAXIMUM BUILDING COVERAGE (%)		50	32.2 (60,208 SF)
MAXIMUM IMPERVIOUS SURFACE COVERAGE (%)		80	79.6 (148,879 SF)
MAXIMUM RESIDENTIAL DENSITY (LIMITED BY FLOOR AREA RATIO)		1.5	208 D.U. 1.38 (258,045 SF)
MINIMUM AFFORDABLE HOUSING UNITS (%)		10	10 (21 D.U.)
PARKING REQUIREMENT (ASSIGNED)		1.4 / DWELLING UNIT (D.U.)	1.50 / D.U. 313 SPACES

5' MAY BE PERMITTED AT THE DISCRETION OF THE PLANNING & ZONING COMMISSION.

PARKING COUNT	
SURFACE	= 212
GARAGE	= 101
TOTAL*	= 313

*10 ADA SPACES INCLUDED IN TOTAL

I	04/19/2024	ORIGINAL ISSUE DATE
No.	Date	Revision

ZONING SITE PLAN

DEPICTING

15 OLD DANBURY ROAD

WILTON, CT

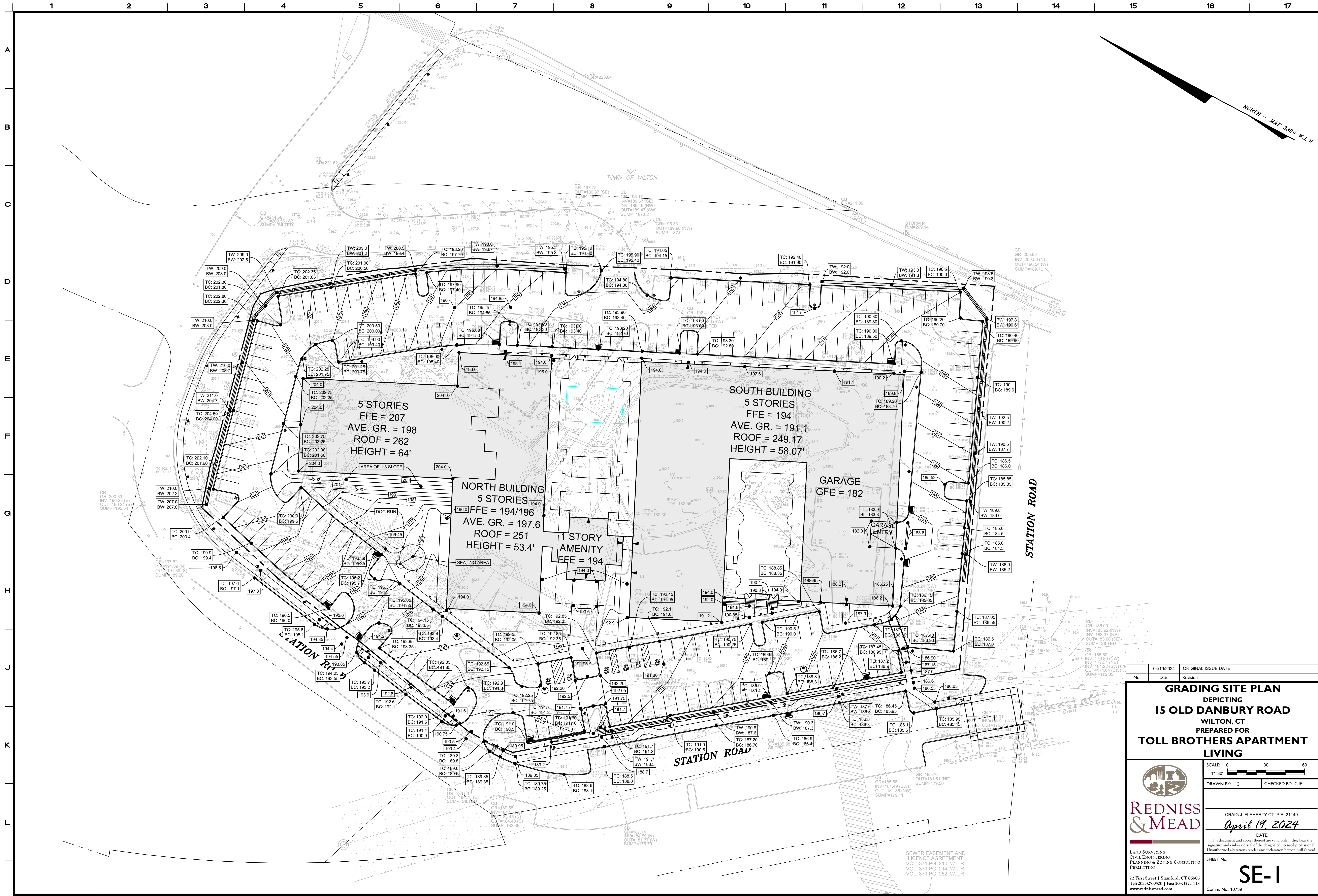
PREPARED FOR

TOLL BROTHERS APARTMENT LIVING



**LAND SURVEYING
CIVIL ENGINEERING
PLANNING & ZONING CONSULTING
PERMITTING**

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No.		Date		Revision	
1		04/19/2024		ORIGINAL ISSUE DATE	

GRADING SITE PLAN

DEPICTING

15 OLD DANBURY ROAD

WILTON, CT

PREPARED FOR

TOLL BROTHERS APARTMENT LIVING



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SCALE: 0 30 60
1"=30'

DRAWN BY: HC CHECKED BY: CJF

CRAIG J. FLAHERTY CT. P.E. 21149
April 19, 2024
DATE

This document and copies thereof are valid only if it bears the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration herein null & void.

SHEET No: SE-1

Comm. No.: 10739