

**WILTON PLANNING AND
ZONING COMMISSION****SITE DEVELOPMENT
PLAN****SDP#**

SITE DEVELOPMENT PLAN: Cite specific section(s) of the Zoning Regulations and provide a detailed description of the proposed development. Attach additional sheets as required.

Section 29 - This development proposes to convert an existing building, from a mix use property into a 18 unit apartment building, at 2 Hollyhock Road, Wilton CT under the State's 8-30g regulation. The proposed conversion will consist of three floors and a basement with 8 Studio apartments, 4 one- bedroom apartments, and 6 two-bedroom apartments, 30% designated to meet affordable housing guidelines.

Clark Holdings, LLC	2 Hollyhock Road, Wilton, CT
APPLICANT'S NAME	ADDRESS
Clark Holdings, LLC	2 Hollyhock Road, Wilton, CT
OWNER'S NAME	ADDRESS
2 Hollyhock Road, Wilton, CT 06897	DE5
PROPERTY LOCATION	ZONING DISTRICT
528	68 30 .49
WLR	VOLUME PAGE TAX MAP # LOT # ACREAGE

THE FOLLOWING MATERIALS SHALL BE ATTACHED:

- * Fifteen (15) complete **COLLATED/FOLDED** sets are required.
- * All plans shall be equal in sheet size, collated into sets (either stapled or clipped), with **maps folded**, not rolled.
- * All submitted plans and documents shall bear an **original signature, seal, and license number** of the professional responsible for preparing each item.

X **VICINITY SKETCH** at a scale of 1"=100' or 1"=200'. Said map shall show all existing zone boundaries, existing buildings and parcels, labeled by their corresponding Tax Map and Lot Number, within 500' of the subject property.

X **CLASS A-2 SURVEY MAP** of the subject property.

X **SITE DEVELOPMENT PLAN** pursuant to Section 29-11 of the Zoning Regulations.

X **FORM B - ZONING DATA.**

X **LIST OF PROJECT PROFESSIONALS** including name, firm, address and telephone.

X **LETTER OF TITLE** certifying owner of record as of date of the application.

X **PROOF OF APPLICANT'S LEGAL INTEREST** in property.



X **ANY OTHER PLAN OR DOCUMENT** as required by Zoning Regulations.

X **ELECTRONIC SUBMISSION** of all application materials (e.g. Flash drive, PDF email)

X **\$360 FILING FEE + \$50/Unit or \$50/2000 sq. ft.** payable to: **Town of Wilton.**

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted and is responsible for the payment of all legal notices incurred.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

	12/1/2020	gregoryclarkart@gmail.com	(203) 515- 1122
APPLICANT'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE
	12/1/2020	gregoryclarkart@gmail.com	(203) 515- 1122
OWNER'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE

For Planning and Zoning Department Use Only:

Mandatory Referrals - Jurisdiction/Agency		
Village District Design Advisory Committee (VDDAC):	Yes	No
Architectural Review Board (ARB):	Yes	No
Western Connecticut Council of Governments (WestCOG):	Yes	No
South Norwalk Electric and Water Company (SNEW) Designated Public Watershed:	Yes	No
First Taxing District Water Department Designated Public Watershed:	Yes	No
State-Designated Aquifer Protection Area:	Yes	No
Adjoining Community Notification:	Yes	No

WILTON PLANNING AND ZONING COMMISSION**FORM B - ZONING DATA**

Include the following data on the required Site Development Plan, as well.

2 Hollyhock Road, Wilton, CT 06897

.49

PROPERTY ADDRESS**LOT ACREAGE**

DE-5

104'

ZONING DISTRICT**LOT FRONTAGE**

	PER ZONING REGS (MAX OR MIN ALLOWED)	EXISTING	PROPOSED	TOTAL
GROSS FLOOR AREA [SF]	N/A	13,900	1,083	14,983
BUILDING FOOTPRINT [SF]	N/A	4,482	0	4482
BUILDING COVERAGE [SF/%] (round up)	N/A	21%	0	21%
BUILDING HEIGHT [FT - Story]	N/A	33.9'	0	33.9'
FLOOR AREA RATIO (F.A.R.)	N/A	65.65	5.11	70.76
PARKING SPACES (round up)	N/A	19	4	23
LOADING SPACES	N/A	1	0	1
SITE COVERAGE [SF/%]	N/A	56%	0	56.6%

OFF-STREET PARKING AND LOADING CALCULATIONS

Please provide the specific calculation used to determine the minimum required off-street parking and loading spaces pursuant to the Zoning Regulations.

PARKING CALCULATION (Use separate page, if necessary)

Parking Study Provided

LOADING CALCULATION (Use separate page, if necessary)

Parking Study Provided

PLAN OF CONSERVATION AND DEVELOPMENT

Please indicate on separate page how this proposal complies with the Plan of Conservation and Development.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein:
APPLICANT'S SIGNATURE

DATE

Clark Holdings, LLC

Application for Special Permit

Premises: 2 Hollyhock Road (Assessor's Map # 68 – Lot 30

Statement of Compliance with Plan of Conservation and Development

The property is .49 acres of landed located in a DE5 Zone directly on Route 7. Clark Holdings, LLC proposes to convert the multi office use on the above – referenced Premises into a multi family building that will contain (18) units pursuant to Section 8-30g of the Connecticut General Statutes with six (6) affordable housing apartments. This proposal is compatible with the Wilton 2019 Town Plan of Conservation and Development – adopted on September 23, 2019 and effective October 1, 2019 (the “Town Plan”). The Town Plan states the following:

“A Wilton where new housing typologies and mixed-use designs emerge through organic means to provide desired and versatile living, working, shopping, and entertaining opportunities and experiences.” “Continue to increase housing options to benefit the shared interests of the Town’s residential and commercial communities”

“A Wilton where the post-war, automobile-centric suburban zoning model was rethought and revamped for the new millennium.”

“A Wilton that is an incubator of land-use ideas that attract residents, businesses and investors for their innovation and efficacy.”

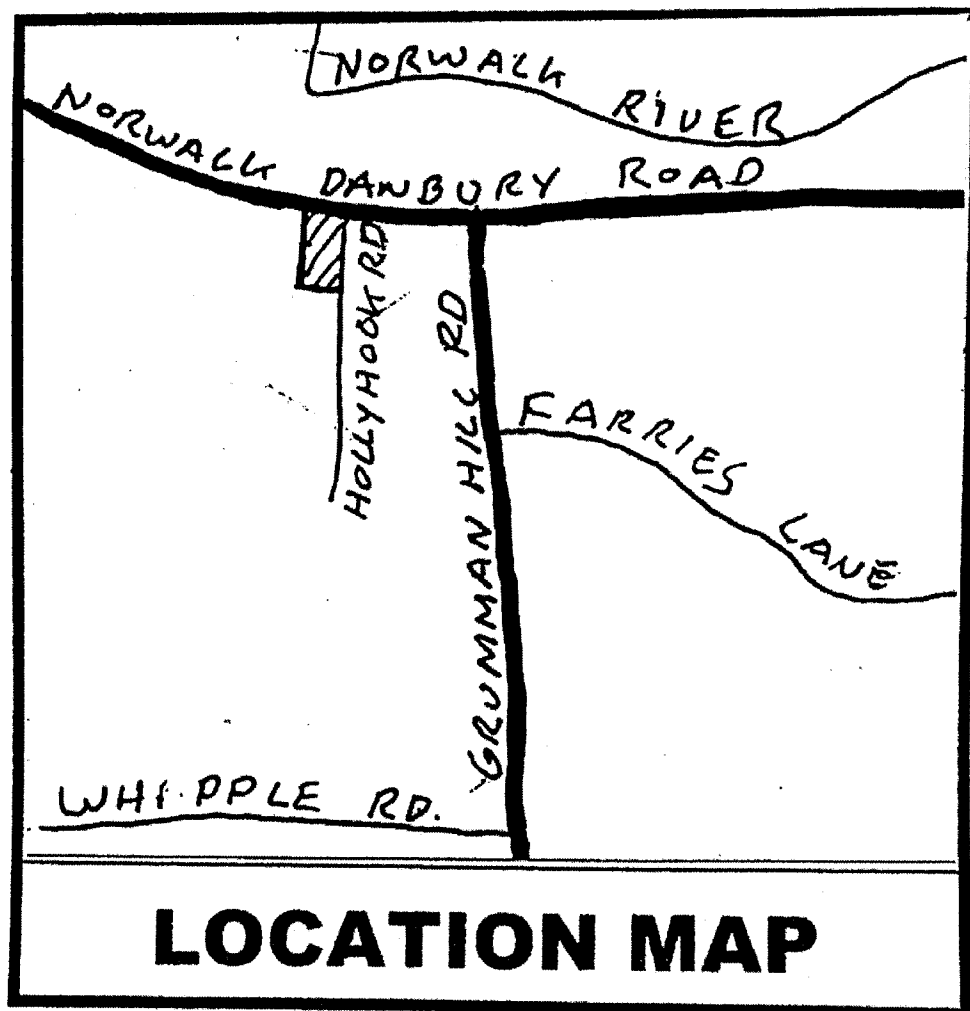
“A Wilton that is the model for Fairfield County and Connecticut in the 21st century.”

“Danbury Road is the central artery of the community. A regional employment hub, Danbury Road is home to major employers such as ASML and Tauk. Over the next ten years, the Town seeks to develop the corridor with a diverse mix of uses with the highest intensity uses in the southern portion of the corridor and more rural patterns north of Cannondale.”

The construction of the additional apartments in this section of Town will contribute to vitality of this area, supporting local restaurants and other services, and provide potential “non car users” an opportunity to commute to work by walking to nearby companies, including ASML across the street and the businesses at the neighboring corporate park, 64 Danbury Road.

Project Narrative Presented to the ARB:

2 Hollyhook Road has functioned as a multi use office building, furniture production studio, and furniture gallery for Gregory Clark Collection since receiving its CO in March of 2006. Due to a shrinking office market in recent years, with the property consistently being “under-Leased”, and a change in the home interior design market in Fairfield County the highest and best use of the property going forward is to convert it to residential units. Our proposal is for the conversion of the building into 18 apartment units, pursuant to Section 8-30g of the Connecticut General Statutes, consisting of (8) Studios, (4) one bedroom apartments, and (6) two bedroom apartments. Minimal change will be made to the exterior with the exception of adding windows and customizing some windows to offer egress, additional light, and or air flow. Minor changes will be made to the site including, beautification of landscaping, addition of some green space, and addition of 4 parking spaces through minor alterations to the current parking configuration. The name of the building will be **ART HOUSE**, conceived with smart efficient design, artisan level finishes, and natural materials consistent with the current construction standards in the building.



List of Project Professionals

Gregory Clark Collection
Interior/Exterior Design, General Contractor
2 Hollyhock Road Wilton, CT 06987
(203) 515-1122

Architectural Plans & Code Consultant
Code/Engineering/Architectural Design
Douglas Cutler Architects A.I.A.
221 Danbury Road, Wilton. CT 06897
(203)761-9561

P.W.Scott Engineering and Architecture, P.C.
Traffic Study & Parking Study
3871 Danbury Road
Brewster, NY 10509
(845) 278-2110

Jim Murphy
Gregory & Adams, P. C.
Legal Counsel
190 Old Ridgefeild Road, Wilton, CT 06897
(203) 762-9000

Wayne Arcamone, Land Surveyors
4 Taft Street, Norwalk, CT 06854
(203) 866-2058

David Seymour, P.E. PMB#350
Original Engineer
1771 Post Road East, Westport CT 06880
(203) 259-8911

Atlantic Engineering
525 John Street, Bridgeport CT, 06604
(203) 336-4422

LEGAL TITLE SERVICES, LLC

Serving Connecticut

100 Tunxis Hill Road

Fairfield, CT 06825

Telephone: 203-333-1511

Facsimile: 203-366-6900

PROPERTY ADDRESS: 2 Hollyhock Road
Wilton, CT

DATE: October 9, 2019

CERTIFICATE OF TITLE

The undersigned hereby certifies that after an examination of the land records, as indexed, of the City/Town in which the land and appurtenances described in Schedule A are located, the undersigned is of the opinion that title in FEE SIMPLE is vested in **Clark Holdings, LLC** subject only to those matters appearing on Schedule B hereof.

This Certificate of Title is issued to **Jackson Law Group CT, LLC** and is not assignable.

Certified to the 7th day of October, 2019 at 8:00 a.m.

LEGAL TITLE SERVICES, LLC



By: _____

duly authorized

COMPLIANCE PLAN
8-30g
AFFORDABLE RESIDENTIAL UNITS

ART HOUSE

2 Hollyhock Road
WILTON, CONNECTICUT

December 1, 2020

Prepared By: Clark Holdings, LLC
2 Hollyhock Road
Wilton, Connecticut 06897

I. Definitions.

In this Plan, the term “**Affordable Unit**” means an apartment home within the 18 unit second apartment building to be constructed at 2 Hollyhock Road, Wilton, Connecticut (“**Art House Wilton**”) that is subject to long-term restrictions on the maximum household income of prospective or continuing tenants and the maximum rental, sale price, or resale price, as stated in this Plan. The term “**Administrator**” means the person charged with the responsibility of administering this plan and ensuring compliance with §§ 8-30g-7(a)(1)(A-E) of the Regulations of Connecticut State Agencies. The term “**Property Manager**” refers to the person in charge of overall residential services at Art House Wilton.

II. Entity Responsible For Administration And Compliance Reporting.

Art House Wilton will be managed by Clark Holdings LLC (“**Property Manager**”), a Connecticut limited liability company, or its successors or assigns. The Property Manager will maintain the common recreational facilities and common open space areas within the development. The on-site telephone number has not been determined. Rick Emery will be the Administrator of the plan (the “**Administrator**”) and will be responsible for compliance with §§ 8-30g-7(a)(1)(A-E) of the Regulations of Connecticut State Agencies. Any change in the name or contact information of the Administrator will be conveyed in writing to the Wilton Town Planner or designee.

III. Construction Quality, Phasing, And Bedroom Type For Units.

- A. Quality. The Affordable Units shall have matching construction quality to all other units in the building, the conversion will be appointed on the same high standards to how the building is currently finished, equal to or consistently better than most current market standards. The developer believes in the long term financial benefits and economies of utilization of better natural materials and higher end equipment.
- B. Phasing. Total conversion, creating 18 units, will be completed in 16 months with the first 13 completed by October 2021 and the remaining units by April 2022. The required 30 percent set aside of Affordable Units will be applied equally to all unit sizes, and Affordable Units will be dispersed throughout the development on the first and second floors, and front and rear of the building.
- C. Bedrooms. The ratio of studios, one bedroom, and two bedroom units, among the Affordable Units, shall be comparable to the ratio of studios, one bedroom and two bedroom units among the market-rate units. There will be a total of 6 Affordable Housing Units; 3 studios, 1 one bedroom, and 2 two bedroom.

IV. Notice of Initial Rental Of Affordable Units.

Except as provided in Section VIII hereof, Art House Wilton shall provide notice of the availability of each Affordable Unit. Such notices shall be provided in accordance with the Affirmative Fair Housing Marketing Plan as outlined in Section VI. The Administrator also shall provide such notice to the Planning and Zoning Commission of the Town of Wilton (the “**Commission**”). Such notice shall include a description of the available Affordable Unit(s); the eligibility criteria for potential renters, the Maximum Rental Rate (as hereinafter defined in Section XI) and the availability of application forms and additional information. All such notices shall comply with the federal Fair Housing Act, 42 U.S.C. §§ 3601 et seq. and the Connecticut Fair Housing Act, Conn. Gen. Stat. §§ 46a-64b and 64c (together, the “**Fair Housing Acts**”)

V. Tenant Eligibility.

Fifteen percent (3 units) of the homes shall be offered for rent to families whose income is less than or equal to 60 percent of the area or statewide median income, whichever is less. Fifteen percent (3 units) of the homes shall be offered to families whose income is less than or equal to 80 percent of the area or statewide median income, whichever is less. The area and statewide median income shall be as determined by the U.S. Department of Housing and Urban Development. ("HUD").

VI. Affirmative Fair Housing Marketing Plan.

The rental of Affordable Units and market-rate in Art House Wilton shall be publicized, using State regulations for affirmative fair housing marketing programs as guidelines. The purpose of such efforts shall be to apprise residents of municipalities of relatively high concentrations of minority populations of the availability of such units. The Property Manager shall have responsibility for compliance with this section. Notices of initial availability of units shall be provided, at a minimum, by advertising at least two times in a newspaper of general circulation in such identified municipalities. The Administrator shall also provide such notices to the Commission and local or regional housing authorities. Such notices shall include a description of the available Affordable Unit(s), the eligibility criteria for potential renters, the Maximum Rental Rate (as hereinafter defined in Section XI) and the availability of application forms and additional information.

Using the above-referenced State regulations as guidelines, dissemination of information about available affordable and market rate units shall include:

- A. Analyzing census, Connecticut Department of Economic and Community Development town profiles, and other data to identify racial and ethnic groups least likely to apply based on representation in Wilton's population, including Asian Pacific, Black, Hispanic and Native American populations.
- B. Announcements/advertisements in publications and other media that will reach racial and ethnic minority populations, including newspapers or radio stations service Wilton and other towns in the metropolitan statistical area and regional planning area, and advertisements or flyers likely to be viewed on public transportation or public highway areas; including, but not limited to, the Norwalk Hour and the Danbury News Times.
- C. Announcements to social service agencies and other community contacts serving low-income minority families (such as churches, civil rights organizations, the housing authority and other housing authorities in towns represented in the regional planning agency, legal services organizations, etc.); including, but not limited to, United Way of Coastal Fairfield County, Wilton Social Services, the Westport Housing Authority and the Ridgefield Housing Authority.
- D. Assistance to minority applicants in processing applications.
- E. Marketing efforts in geographical areas of high minority concentrations within the housing market area and metropolitan statistical area.
- F. Beginning affirmative marketing efforts prior to general marketing of units and repeating again during initial marketing and at 50 percent completion and thereafter at reasonable period intervals with respect to re-rentals.
- G. Collection of basic racial and ethnic information for all residents and persons on the wait list for the development. All notices shall comply with the federal and state Fair Housing Acts.

VII. Application Process.

A family or household seeking to occupy one of the Affordable Units ("**Applicant**") must complete and application to determine eligibility. The application form and process shall comply with the Fair Housing Acts.

- A. **Application Form.** The application form shall be provided by the Administrator and shall include an income pre-certification eligibility form and an income certification form. In general, income for purposes of determining an Applicant's qualification shall include the Applicant family's total anticipated income from all sources for the 12-month period following the date the application is submitted ("**Application Date**"). If the Applicant's financial disclosures indicate that the Applicant may experience a significant change in the Applicant's future income during the 12-month period, the Administrator shall not consider this change unless there is a reasonable assurance that the change will in fact occur. In determining what is and is not to be included in the definition of family income, the Administrator shall use the criteria set forth by HUD and listed on ***Schedule A***, attached.
- B. **Applicant Interview.** The Administrator shall interview an Applicant upon submission of the completed application. Specifically, the Administrator shall, during the interview, undertake the following:
1. Review with the Applicant all the information provided on the application.
 2. Explain to the Applicant the requirements for eligibility, verification procedures, and the penalties for supplying false information.
 3. Verify that all sources of family income and family assets have been listed in the application. The term "family" shall be as defined by the zoning regulations of the Town of Wilton.
 4. Request the Applicant to sign the necessary release form to be used in verifying income. Inform the Applicant of what verification and documentation must be provided before the application is deemed complete.
 5. Inform the Applicant that a certified decision as to eligibility cannot be made until all items on the application have been verified.
 6. Review with the Applicant the process and restrictions regarding re-rental.
- B. **Verification of Applicant's Income.** Where it is evident from the income certification form provided by the Applicant that the Applicant is not eligible, additional verification procedures shall not be necessary. However, if the Applicant appears to be eligible, the Administrator shall issue a pre-certification letter. The letter shall indicate to the Applicant and the Property Manager, or its designee, that the Applicant is income eligible, subject to the verification of the information provided in the application. The letter will notify the Applicant that he/she will have up to 30 days to submit all required documentation.

If applicable, the Applicant shall provide the documentation listed on ***Schedule B***, attached, to the Administrator. This list is not exclusive, and the Administrator may require any other verification or documentation, as the Administrator deems necessary.

VIII. Prioritization Of Applicants In Initial Leasing.

Consistent with the provisions set forth in Section IV during the initial round of availability, for one of every three Affordable Units, preference shall be given to applicants who are Town of Wilton municipal employees or Town of Wilton Board of Education employees provided that members of racial and ethnic groups identified as least likely to apply receive equally-weighted preference. Acceptable forms of qualifying documentation to be submitted at the time of application for this preference are copies of most recent paycheck stubs or valid employee identification. No preference shall be awarded to applicants during any subsequent leasing of Affordable Units. The Property Manager shall maintain a waiting list of qualified candidates after the initial leasing, a copy of which waiting list shall be provided to the Planning and Zoning Department of the Town of Wilton.

IX. Standard Lease Provision.

Each lease for an Affordable Unit that is rented will contain substantially the following provision:

This apartment is being rented as an "affordable housing" unit in an "affordable housing development" in compliance with Conn. Gen. Stat. § 8-30g. This development has been approved by the Planning and Zoning Commission of the Town of Wilton based in part on the condition that a defined percentage of units will be rented as affordable housing units. The Property Manager is required by law to strictly enforce these restrictions.

X. Minimum Lease Term.

All leases for Affordable Units shall be for a minimum of one year.

XI. Monthly Payment.

Calculation of the maximum monthly payment for an Affordable Unit shall comply with §§ 8-30g-1 et seq. of the Regulations of Connecticut State Agencies (the "**Maximum Rental Rate**"). A sample calculation for the Maximum Rental Rate for Art House is as follows:

SAMPLE CALCULATION TWO BEDROOM RENTAL UNITS FOR FAMILIES EARNING LESS THAN <u>60 PERCENT</u> OF STATEWIDE MEDIAN INCOME	SAMPLE COMPUTATIONS BASED ON FY 2019 DATA
1. Determine lower of area (\$144,300) or statewide (\$100,400) median income for a family of 4	\$100,400
2. Determine adjusted income for household of 3 persons by calculating 90 percent of Item 1	\$90,360
3. Calculate 60 percent of Item 2 (rounded to nearest \$50)	\$54,200
4. Calculate 30 percent of Item 3, representing maximum portion of family's income that may be used for housing	\$16,260
5. Divide Item 4 by 12 to determine maximum monthly housing expense	\$1,355
6. Compare HUD 2019 Fair Market Rents for Stamford Norwalk PMSA	\$1,885
7. Use lesser of calculated maximum monthly expense (Item 5) and HUD fair market rent (Item 6)	\$1,355
8. Determine by reasonable estimate monthly expenses for heat and utilities (if tenants responsible for such expenses)	\$157
9. Subtract reasonable monthly expenses (Item 8) from maximum housing expense (Item 7) to determine maximum rent	\$1,198

SAMPLE CALCULATION FOR TWO BEDROOM RENTAL UNITS FOR FAMILIES EARNING LESS THAN <u>80 PERCENT</u> OF STATEWIDE MEDIAN INCOME	SAMPLE COMPUTATIONS BASED ON FY 2019 DATA
1. Determine lower of area (\$144,300) or statewide (\$100,400) median income for a family of 4	\$100,400
2. Determine adjusted income for household of 3 persons by calculating 90 percent of Item 1	\$90,360
3. Calculate 80 percent of Item 2 (rounded to nearest \$50)	\$72,300
4. Calculate 30 percent of Item 3, representing maximum portion of family's income that may be used for housing	\$21,690
5. Divide Item 4 by 12 to determine maximum monthly housing expense	\$1,807
6. Compare HUD 2019 Fair Market Rents for Stamford Norwalk PMSA	\$1,885
7. Use lesser of calculated maximum monthly expense (Item 5) and HUD fair market rent (Item 6)	\$1,807
8. Determine by reasonable estimate monthly expenses for heat and utilities (if tenants responsible for such expenses)	\$157
9. Subtract reasonable monthly expenses (Item 8) from maximum housing expense (Item 7) to determine maximum rent	\$1,650

XII. No Subletting Of Affordable Units.

Subletting of the affordable units shall be prohibited. In addition, the affordable unit shall be the principal residence of the tenant.

XIII. Forty Year Period.

The 40-year affordability period for each price-restricted unit at Art House Wilton shall begin the initial date of occupancy of each unit. The 40-year period shall be calculated separately for each price-restricted unit.

XIV. Change Of Income Or Qualifying Status.

In the event that an Affordable Unit tenant's income changes so as to exceed the qualifying maximum at the time of re-verification, such tenant must provide notice to the Administrator within seven days of the disqualification. Upon being disqualified, such tenant, following the procedures set forth below, shall have the option to vacate the unit within the shorter of 90 days or the end of the lease term, or

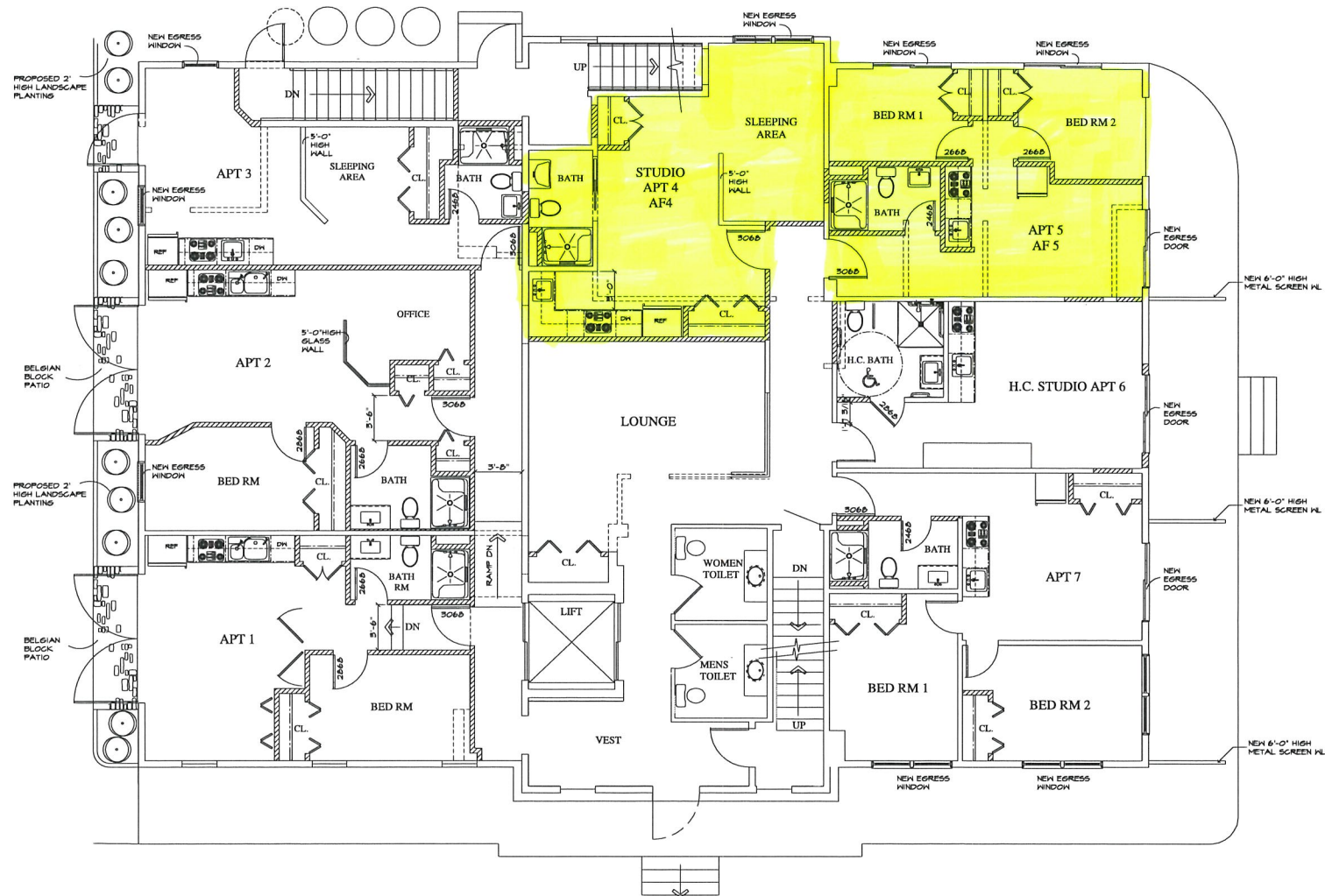
to remain in the unit on a month to month basis paying a market-rate rent until another unit becomes available which the Administrator can offer as an affordable unit. Within 15 days of receiving notice of a tenant's disqualification, the Administrator shall provide written notice to the tenant of the market rate rent for the unit. The tenant shall notify the Administrator within 15 days of receipt of such notice whether the tenant will accept the market-rate rent or vacate. If the tenant elects to remain in the unit at the market rate, the Administrator shall, in accordance with the procedures of Section VII, offer the next available unit as an affordable unit, if necessary, in order for the development to comply with the 30 percent minimum set aside for affordable units. If no suitable unit becomes available within 12 months following the tenant's notice of decision to accept the market rate rent, the Administrator shall terminate the month to month lease and offer the unit as an affordable unit. So long as these procedures are followed, the project shall not be out of compliance with the 30 percent minimum.

XV. Compliance Reporting.

No later than January 31st of each year, beginning the year after the initial occupancy of the last affordable unit to be rented, the Property Manager shall prepare and file with the Commission and the Board of Selectman of the Town of Wilton, or its designee a report, containing the list of units utilized as Affordable Units, a list of the incomes of all tenants in affordable units, and a certification by the Property Manager of compliance with the zoning regulations applicable to the affordable residential units. The Commission or its designee shall review the information and certify that the project is in compliance. A violation of the zoning regulations shall not result in a forfeiture or reversion of title, but in enforcing these regulations the Commission shall retain and may exercise all enforcement powers granted by the Connecticut General Statutes, including § 8-12, which powers include the authority, at any reasonable time, to inspect the property and to examine the books and records of the Property Manager to determine compliance of the development or individual units with the regulations for an affordable housing development.

Apartment Totals and Affordable Unit Allocation

TYPE	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL UNITS	30% AFFORDABLE	AFFORDABLE UNITS
STUDIO	3	3	2	8	2.4	3
1 BEDROOM	2	2	-	4	1.2	1
2 BEDROOM	2	2	2	6	1.8	2
TOTAL UNITS	7	7	4	18	5.4	6
TOTAL AFFORDABLE UNITS ROUNDED UP						6



FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION TO BE REMAIN
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- LINE OF ROOF ABOVE
- 4 X 4 MIN. POST SIZE EXCEPT OTHERWISE NOTED
- 4- 2 X 4 IN. POST

LATEST REVISION: XX/XX/XX

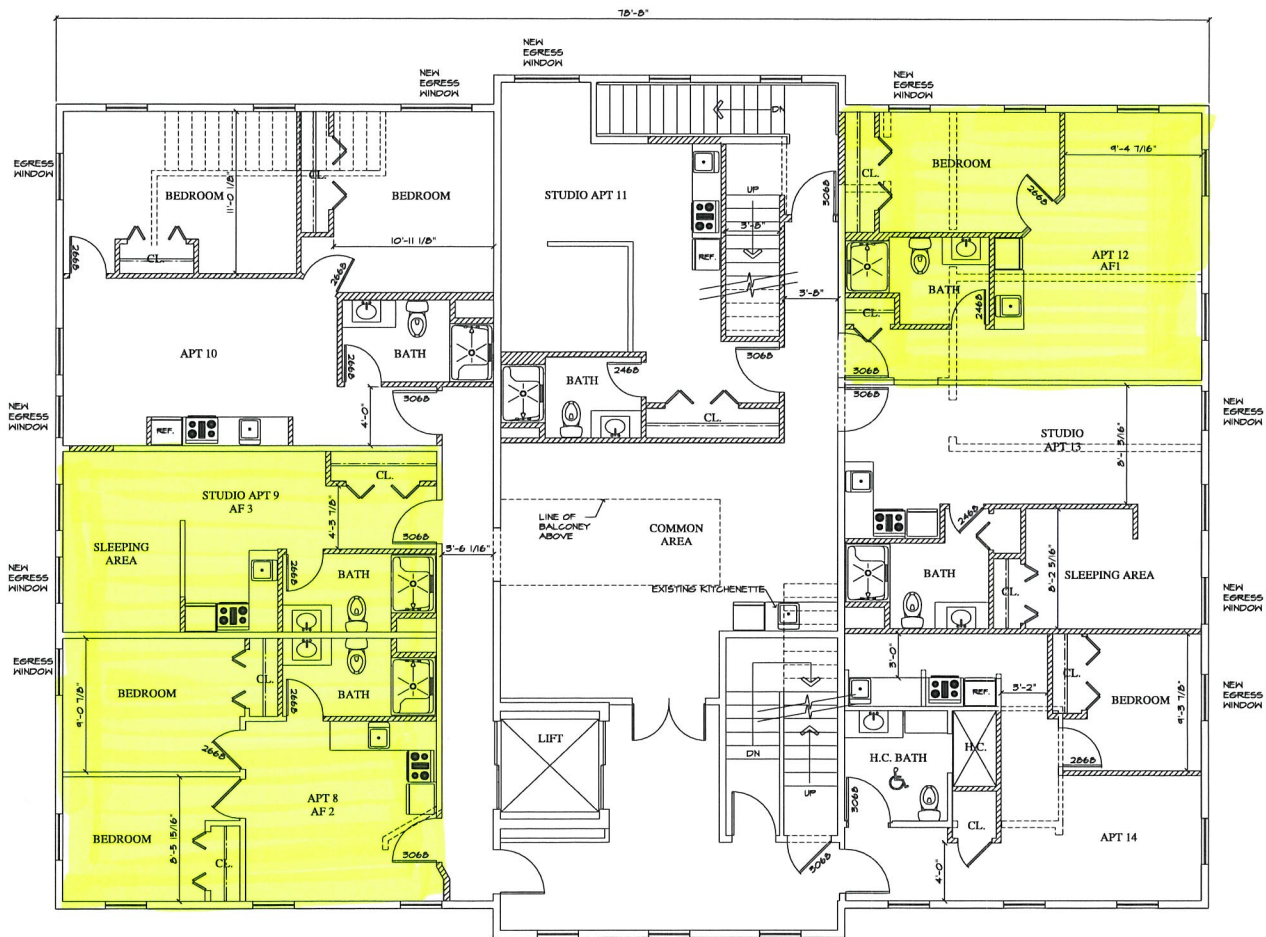
REVISIONS	
DATE	DESCRIPTION
12-28-20	AS PER OWNER

Project PROPOSED AFFORDABLE 8-30C RESIDENTIAL CONVERSION FOR CLARK HOLDINGS LLC 2 HOLLY HOCK ROAD, WILTON, CT	
Douglas Cutler 221 Danbury Road, Wilton, CT 06897	Architects A.I.A. (203) 761-9561

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Drawing Title FIRST FLOOR PLAN	
Project No.	Date Drawn 3/24/20
Drawn By	Date Revised
	Scale 1/4" = 1'-0"

Drawing No.
A2



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION TO BE REMAIN
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- LINE OF ROOF ABOVE
- 4" X 4" MIN. POST SIZE EXCEPT OTHERWISE NOTED
- 4" X 2" X 4" MD. POST

LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION
12-15-20	AS PER OWNER
12-30-20	AS PER OWNER
	ISSUED FOR PERMIT

Project
PROPOSED AFFORDABLE 8-30C RESIDENTIAL CONVERSION FOR
CLARK HOLDINGS LLC
2 HOLLY HOOK ROAD, WILTON, CT

DD Douglas Cutler
221 Denbury Road, Wilton, CT 06897

Architects A.I.A.
(203) 761-9561

Drawing Title
SECOND FLOOR PLAN

Project No. Date Drawn 3/24/20 Date Revised
Drawn By Scale 1/4" = 1'-0"

Drawing No.
A3

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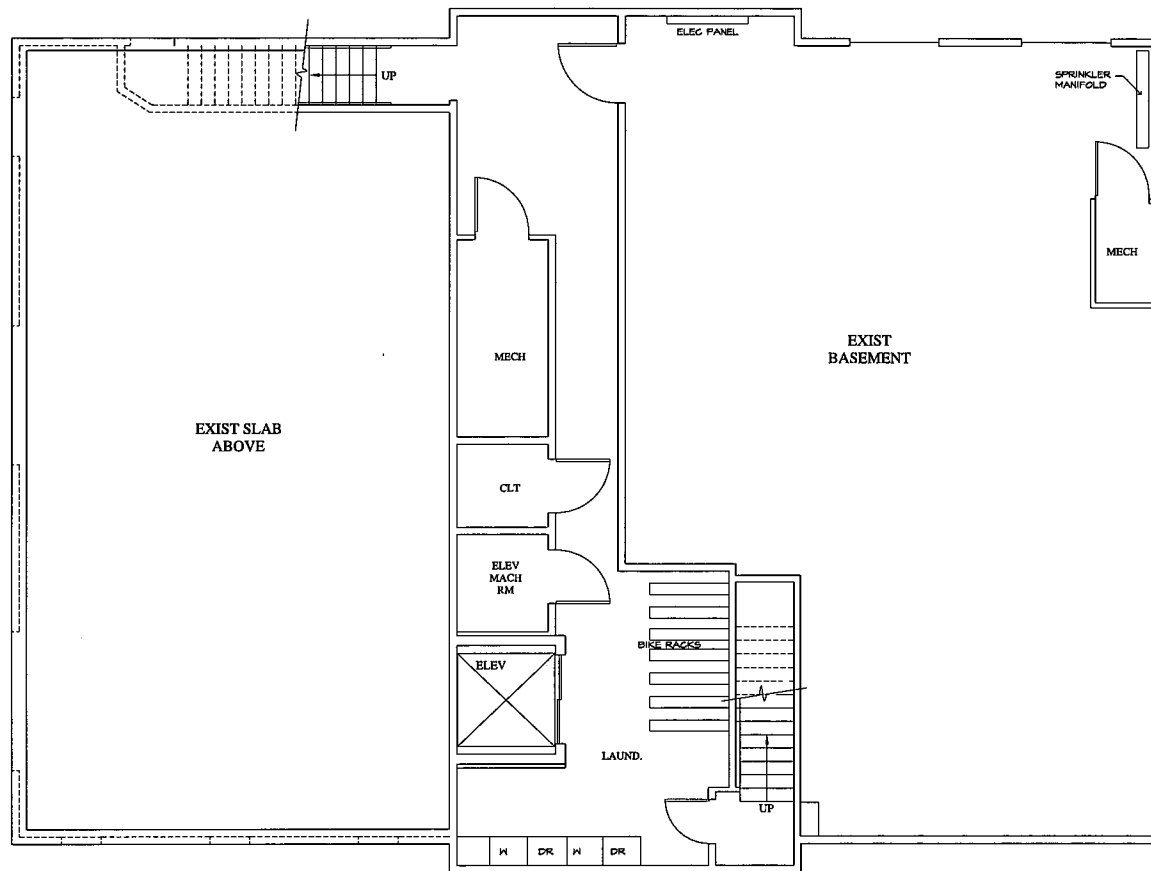


===== EXISTING CONSTRUCTION TO BE REMAIN
 //////////////// NEW CONSTRUCTION
 ----- EXISTING CONSTRUCTION TO BE REMOVED
 - - - - - LINE OF ROOF ABOVE
 @ 4 X 4 MIN. POST SIZE EXCEPT OTHERWISE NOTED
 @ 4- 2 X 4 WD. POST

[illegible]

Scale
1/4" = 1'-0"

A4



EXIST BASEMENT PLAN
SCALE: 3/16" = 1'-0"

LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION
	ISSUED FOR PERMIT

Project
PROPOSED AFFORDABLE 8-30G RESIDENTIAL CONVERSION FOR
CLARK HOLDINGS LLC
2 HOLLY HOOK ROAD, WILTON, CT

Douglas Cutler Architects AIA.
221 Bonbury Road, Wilton, CT 06897
(203) 781-9551

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Drawing Title
EXIST BASEMENT PLAN

Project No. Date Drawn Date Revised
5/24/20
Drawn By Scale 1/4" = 1'-0"

Drawing No.
A1

ASBUILT PLAN

OF PROPERTY PREPARED FOR

ARTIFACT DESIGN GROUP

#2 HOLLYHOCK ROAD, WILTON, CONNECTICUT

SCALE: 1" = 20'

DATE: JAN. 20, 2004

BY "ARCAMONE LAND SURVEYORS"

REFER TO ZONING BOARD OF APPEALS VARIANCE #03-09-31, 03-09-32 & RESOLUTION #1203-BZ

		REQUIRED/ALLOWED		EXISTING FOUNDATION		ASBUILT
ALL PLANS	FRONT SETBACK	* 31' APPROVED	100' MIN.	31.4'	31.0'+	
	REAR		50' MIN.	87.5'±	87.4'±	
	SIDE	* 17' APPROVED	50' MIN.	17.7'±	17.7'±	
	SIDE TO HOLLYHOCK RD	* 24' APPROVED	50'	24.4'±	24.0'	
	AGGREGATE SIDE		N/A MIN.			
	LOT FRONTAGE		150' MIN.	104'	104'	
	LOT AREA		21,780sf MIN.	21,173sf	21,173sf	
	HEIGHT		39' MAX.	-	33.9'±	
	# OF STORIES		3 MAX.	-	3	
	LOT COVERAGE: BUILDING	* 21% APPROVED	20% MAX.	21% to 10' veneer	21%	
: SITE		* 56.6% APPROVED	50% MAX.		56.5%**	

** BLUESTONE/COBBLE ON STONE DUST WALKWAY NOT INCLUDED IN COVERAGE

THIS SURVEY MEETS THE STANDARD OF A CLASS "A-2" SURVEY.

SURVEY TYPE : ZONING LOCATION SURVEY
BOUNDARY DETERMINATION : DEPENDENT RESURVEY

THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE "RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", SEC. 20-300b-1 to 20-300b-20. EFFECTIVE; JUNE 21,1996 AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC., SEPTEMBER 26, 1996

THE CERTIFICATION SHOWN ABOVE RUNS TO THE PERSON(S) FOR WHOM THE SURVEY WAS PREPARED AND ANY GOVERNMENTAL AGENCY, TITLE INSURANCE CO., OR LENDING INSTITUTION WHOSE NAME APPEARS ABOVE. CERTIFICATION IS NOT TRANSFERABLE.

UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY, ARE NOT SHOWN.

THIS MAP IS INVALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

REFERENCES TO THE ABOVE PROPERTY ARE MADE TO MAP(S) No. 528, 5278 W.L.R. & MAP OF PROPERTY PREPARED FOR ARTIFACT DESIGN GROUP, GREG & ELIZABETH CLARK 66 DANBURY RD WILTON, CT 1" = 20' 8/15/03 LAST REV. 9/3/03 BY ROLAND H. GARDNER

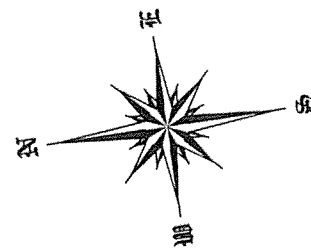
TAX MAP 68 & TAX LOT(S) 30

PROPERTY IS LOCATED IN ZONE : "DE-5"

DISTANCES SHOWN +/- FROM BUILDINGS TO PROPERTY LINES ARE NOT TO BE USED TO ESTABLISH BOUNDARIES.

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"

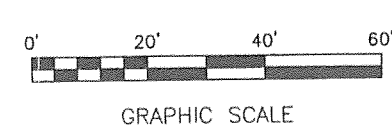
WAYNE J. ARCAMONE, LAND SURVEYOR, NORWALK, CONN. CONNECTICUT REG # 15773



HOLLYHOCK ROAD

LOT AREA:
21,173 SQ. FT.
0.4861 ACRES

DANBURY ROAD
ROUTE 7



REVISIONS		
DATE	DESCRIPTION	BY
3/10/04	OFFSETS	AAT
9/23/04	ASBUILT	AAT
12/01/04	COVERAGE ASBUILT	JAD

EASEMENT TO THE STATE OF CONNECTICUT FOR HIGHWAY PURPOSES. AREA 546sf/0.0130ac. AS PER MAP BY STATE OF CONN. MAY 1984 PROJECT NO. 161-109 SERIAL #11

N/F
ALLYN H. POWELL
PROPERTY LINES AS PER
MAP OF PROPERTY PREPARED FOR
"ARTIFACT DESIGN GROUP, GREG &
ELIZABETH CLARK, WILTON, CT.
1" = 20' 8/15/2003 REV. 9/3/03
BY ROLAND GARDNER

PROPERTY LINE AS PER
MAP OF BUILDING LOTS
LOCATED ON "HOLLYHOCK
ROAD" WILTON, CT. 4/18/41
1"=30' BY CLINTON C. HUBBELL
AREA LOT 1, MAP 528 W.L.R.
21,339 SF / 0.4899 AC.

N/F
WILTON 64 LLC

ASBUILT PLAN

OF PROPERTY PREPARED FOR

ARTIFACT DESIGN GROUP

#2 HOLLYHOCK ROAD, WILTON, CONNECTICUT

SCALE: 1" = 20'

DATE: JAN. 20, 2004

BY "ARCAMONE LAND SURVEYORS"

REFER TO ZONING BOARD OF APPEALS VARIANCE #03-09-31, 03-09-32 & RESOLUTION #1203-BZ

		REQUIRED/ALLOWED	EXISTING FOUNDATION	ASBUILT
FRONT SETBACK	* 31' APPROVED	100' MIN.	31.4'	31.0'+
REAR		50' MIN.	87.5'±	87.4'±
SIDE	* 17' APPROVED	50' MIN.	17.7'±	17.7'±
ALL PLANS	SIDE TO HOLLYHOCK RD	* 24' APPROVED	50'	24.0'
AGGREGATE SIDE		N/A MIN.		
LOT FRONTAGE		150' MIN.	104'	104'
LOT AREA		21,780sf MIN.	21,173sf	21,173sf
HEIGHT		39' MAX.	-	33.0'±
# OF STORIES		3 MAX.	-	3
LOT COVERAGE: BUILDING	* 21% APPROVED	20% MAX.	21% (21.1%)	21%
: SITE	* 56.6% APPROVED	50% MAX.		56.5%**

** BLUESTONE/COBBLE ON STONE DUST WALKWAY NOT INCLUDED IN COVERAGE

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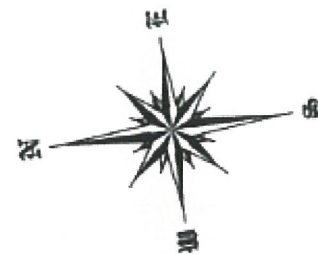
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WAYNE J. ARCAMONE, LAND SURVEYOR, NORWALK, CONN. CONNECTICUT REG # 15773



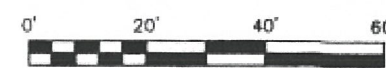
EASEMENT TO THE STATE OF CONNECTICUT FOR HIGHWAY PURPOSES. AREA 546sf/0.0130ac. AS PER MAP BY STATE OF CONN. MAY 1984 PROJECT NO. 161-109 SERIAL #11

HOLLYHOCK ROAD
PRIVATE ROAD OWNED BY PROPERTY OWNERS

DANBURY ROAD

ROUTE 7

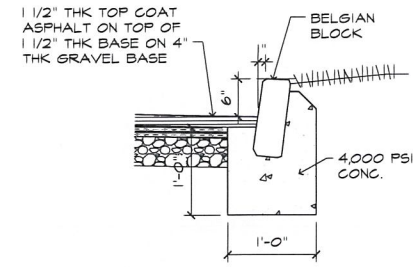
OVERLAY SITE PLAN



GRAPHIC SCALE

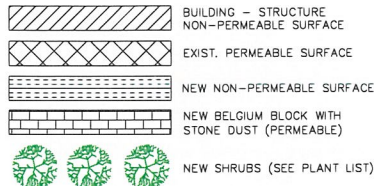
REVISIONS		
DATE	DESCRIPTION	BY
3/10/04	OFFSETS	AAT
9/23/04	ASBUILT	AAT
12/01/04	COVERAGE ASBUILT	JAD

AFFORDABLE 8-30G RESIDENTIAL
CLARK HOLDINGS LLC
2 HOLLYHOCK ROAD, WILTON, CT



1 CURB DETAIL
CS SCALE: 1" = 1'-0"

LEGEND



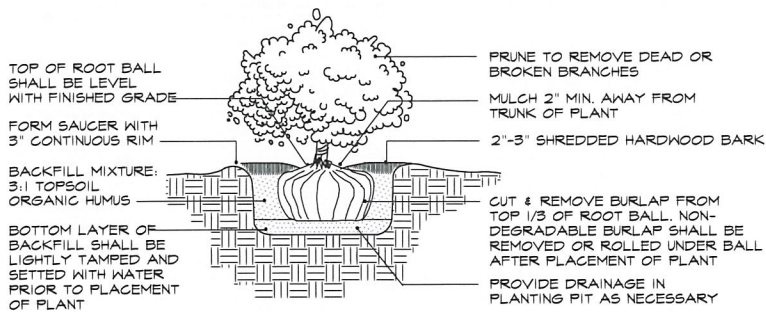
MAP 68 / LOT #30
CONFIRMED BY SURVEY MAP BY
WAYNE ARCAMONE- SURVEYOR
REG #15973

BASEMENT	2744 SF
FIRST FLOOR	4254 SF
SECOND FLOOR	4262 SF
THIRD FLOOR	3723 SF
TOTAL:	14983 SF

FLOOR AREA IS CALCULATED FROM INSIDE FACE OF
EXTERIOR PERIMETER WALL AND INCLUDES ALL FLOOR
SPACE WITHIN.

ZONING TABULATION (MINIMUM)

LOT	MAP 68 / #30	
AREA	.48 ACS. / 21,173 SF	
ZONED	DE-5	
FRONTAGE	150' MIN 104' EXIST APPROVED	
SETBACKS FRONT	100'	31' APPROVED
SIDE	50'	17' APPROVED
SIDE (HOLLYHOCK RD)	50'	24' APPROVED
REAR	50'	104'
LOT COVERAGE	BUILDING	21% APPROVED
	SITE	56.6% APPROVED
	NET CHANGE	0
BLDG. HEIGHT	ALLOWABLE	39' MAX./3 STYS.
	EXISTING	33.9'



SHRUB PLANTING STAKE DETAIL

PLANT LIST:			
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME
JA	7	JUNIPERUS CHINENSIS 'ARMSTRONG'	ARMSTRONG JUNIPER
JC	10	JUNIPERUS CHINENSIS PFITZER COMPACTUS	COMPACT PFITZER JUNIPER

DRAWING INDEX

PAGE	DRAWING DESCRIPTION
CS	COVER SHEET
T1	TITLE PAGE
A1	FOUNDATION PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	THIRD FLOOR PLAN

LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION
12-2-20	BEE PLANTING PLANTING AND ISSUED FOR PERMIT
12-31-20	AS PER OWNER

Project
PROPOSED AFFORDABLE 8-30G RESIDENTIAL CONVERSION FOR
CLARK HOLDINGS LLC
2 HOLLYHOCK ROAD, WILTON, CT

Douglas Cutler
221 Danbury Road, Wilton, CT 06897

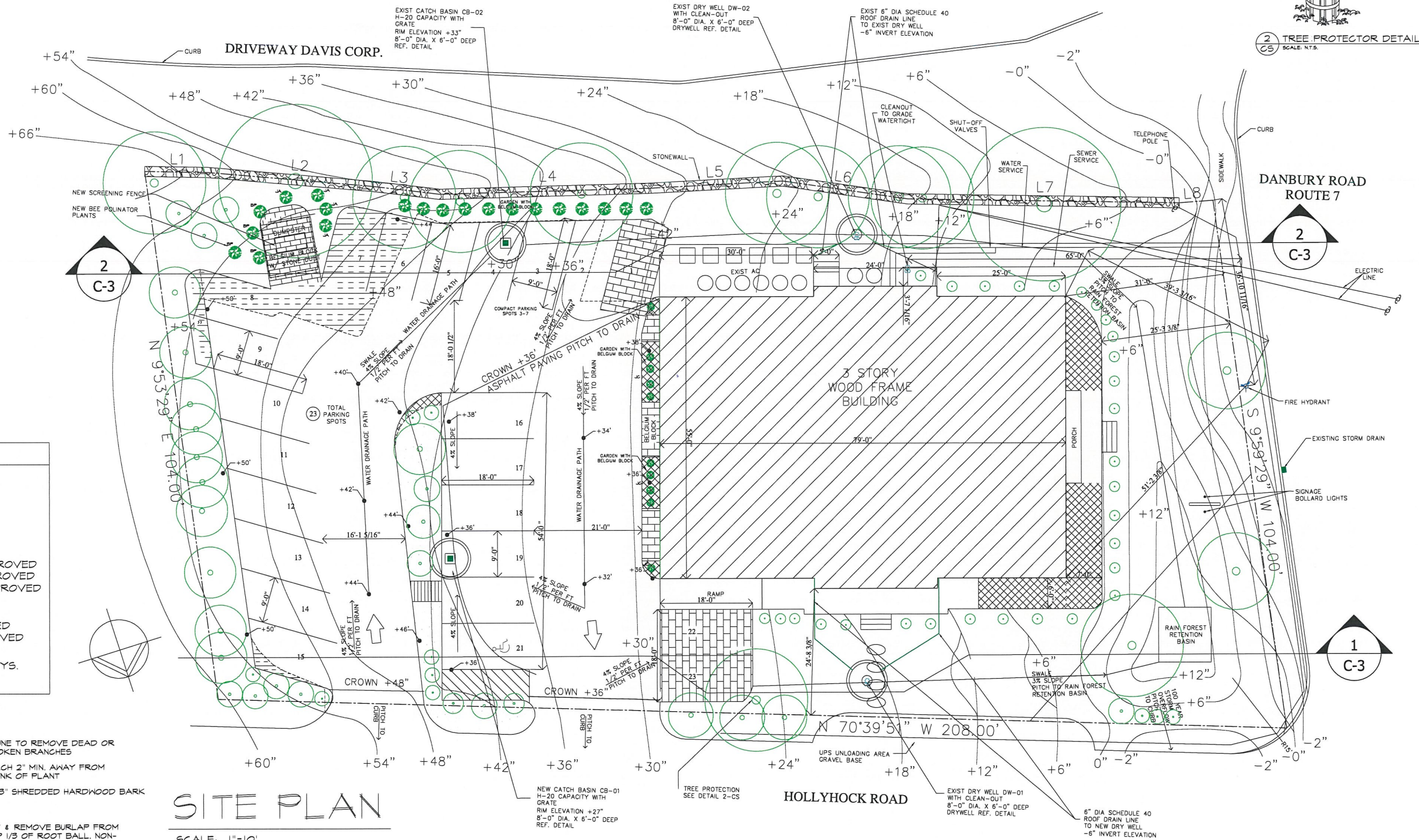
Architects A.I.A.
(203) 761-9561

Drawing Title
COVER SHEET / SITE PLAN

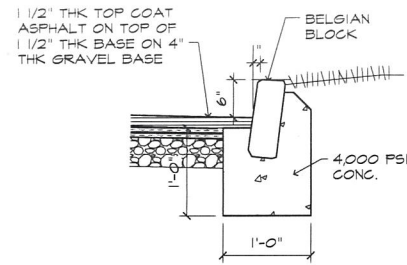
Project No.
3/29/20
Date Revised
1/4" = 1'-0"

Drawing No.

CS

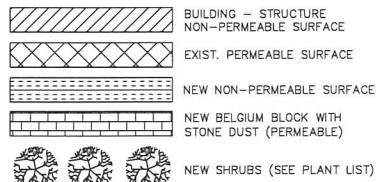


AFFORDABLE 8-30G RESIDENTIAL
CLARK HOLDINGS LLC
2 HOLLYHOCK ROAD, WILTON, CT



CURB DETAIL
SCALE: 1" = 1'-0"

LEGEND



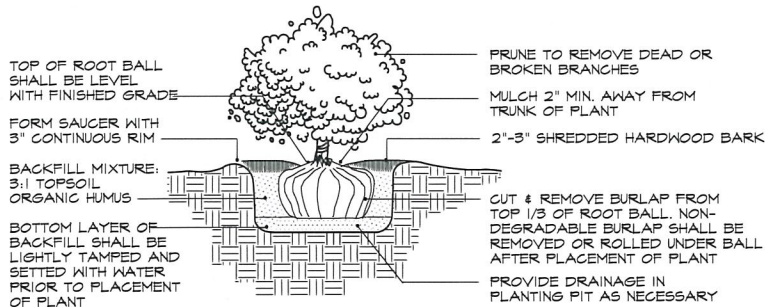
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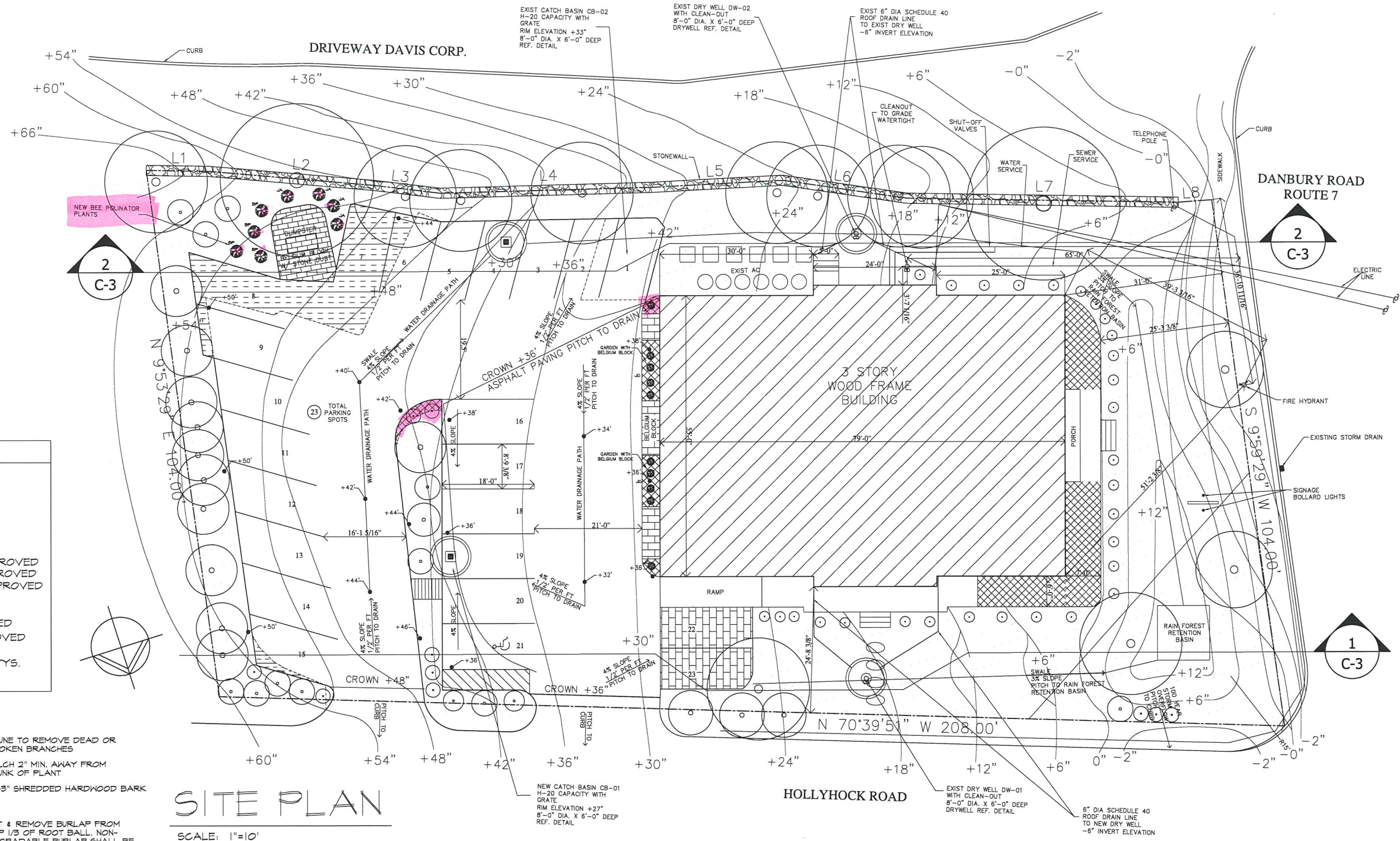
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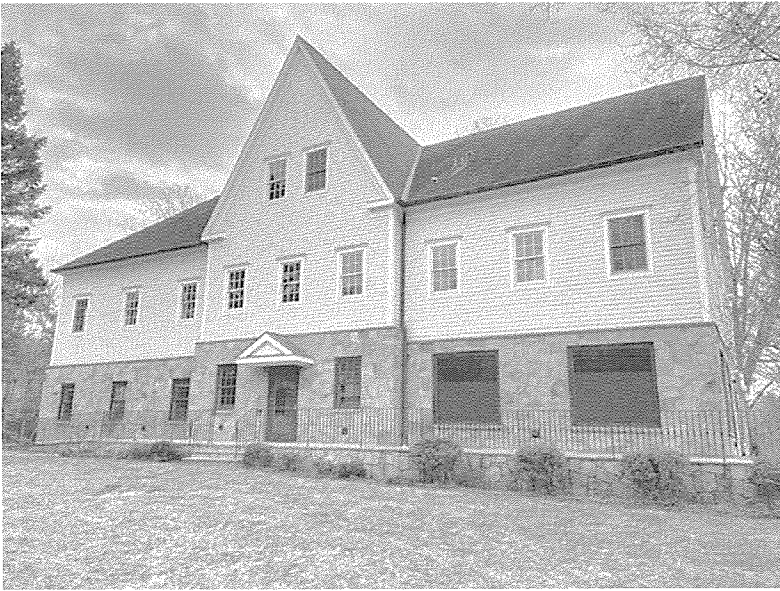
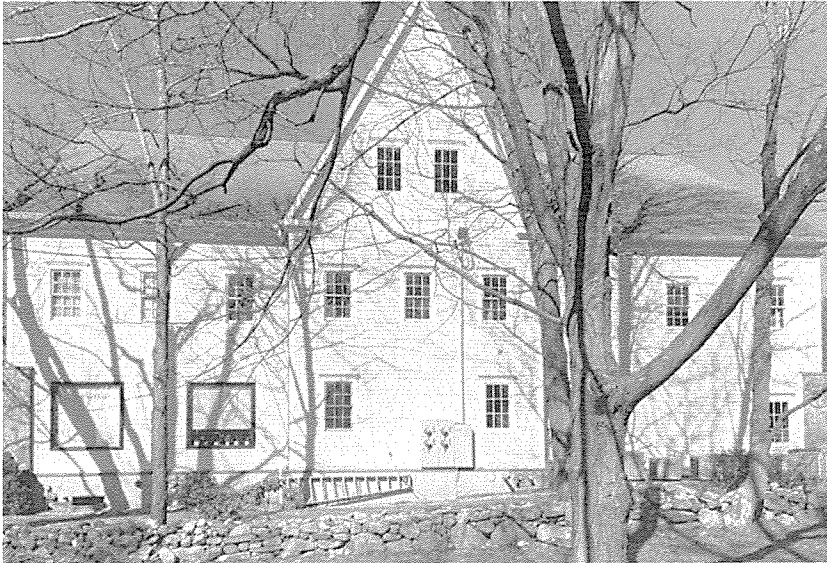
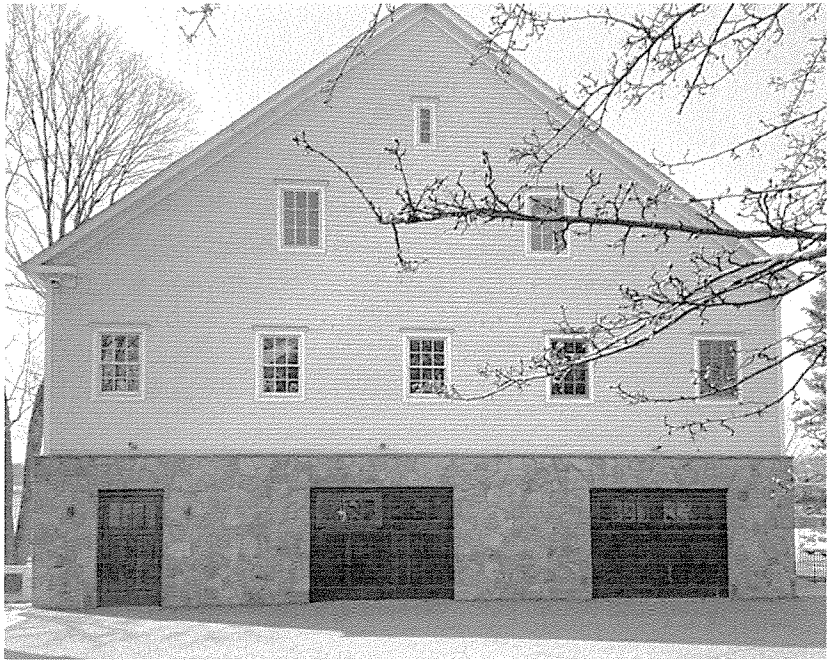
REVISIONS	
DATE	DESCRIPTION
12-23-20	BEE POLLINATOR PLANTING AND ISSUED FOR PERMIT

Project	PROPOSED AFFORDABLE 8-30G RESIDENTIAL CONVERSION FOR CLARK HOLDINGS LLC 2 HOLLYHOCK ROAD, WILTON, CT
Architects A.I.A.	Douglas Cutler 221 Danbury Road, Wilton, CT 06897 (203) 761-9561

Drawing Title	COVER SHEET / SITE PLAN
Project No.	3/29/20
Date Revised	1/4" = 1'-0"

Drawing No.	CS
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<div>Project</div> <div>PROPOSED 8-30g AFFORDABLE RESIDENTIAL UNITS</div> <div>CLARK HOLDINGS, LLC</div> <div>2 HOLLYHOCK ROAD, WILTON CT</div>	<div>Drawing Title</div> <div>ART HOUSE</div> <div>2 HOLLYHOCK ROAD, WILTON CT</div>	<div>Drawing No.</div> <div>Existing Elevations</div> <div>As- Built</div>
<div>Douglas Cutler Architect, AIA - Code Consultant (203)761-9561</div> <div>Gregory Clark Designer, Industrial Designer, RISD (203)515-1122</div>	<div>Date Prepared 3/20/2020</div> <div>Date Revised 11/10/2020</div>	

ARB Recommendations

- 1.Incorporate transom detail in large existing square windows on South,West, and North facades
- 2.Eliminate staircase in front of building and continue railing across this area
- 3.Add logo to fill empty area on front façade and improve visual balance
- 4.Put address in front of building. Incorporated into main sign
- 5.Put support brackets under roof/awning on North façade
- 6.Incorporate Pollinator Path Plants on Site Plan

<div>Project</div> <div>PROPOSED 8-30g AFFORDABLE RESIDENTIAL UNITS</div> <div>CLARK HOLDINGS, LLC</div> <div>2 HOLLYHOCK ROAD, WILTON CT</div>	<div>Drawing Title</div> <div>ART HOUSE</div> <div>2 HOLLYHOCK ROAD, WILTON CT</div>	<div>Drawing No.</div> <div>ARB Recommendations</div> <div>GC-Cover Page</div>
<div>Douglas Cutler Architect, AIA - Code Consultant (203)761-9561</div> <div>Gregory Clark Designer, Industrial Designer, RISD (203)515-1122</div>	<div>Date Prepared</div> <div>1/3/2021</div> <div>Date Revised</div>	



ALTERATIONS

1. Second and Third floor windows added, denoted with white dot:

- Six new windows.
- Trim to match existing.
- Faux grilles to match existing

2. Lower doors have been substituted for Egress purposes.

3. Lower terrace front door replaced with sliding doors

- Framed in mahogany to match existing finishes

4. Two lower terrace windows replaced with sliding doors

- Framed in mahogany to match existing finishes

5. Eliminate stairs and replace with terrace and railing

6. Add signage over door

Project
PROPOSED 8-30g AFFORDABLE RESIDENTIAL UNITS
CLARK HOLDINGS, LLC
2 HOLLYHOCK ROAD, WILTON CT

Drawing Title

ART HOUSE

2 HOLLYHOCK ROAD, WILTON CT

Douglas Cutler Architect, AIA - Code Consultant (203)761-9561

Gregory Clark Designer, Industrial Designer, (203)515-1122

Date Prepared
5./20/2020

Date Revised
11/10/2020

Drawing No.

GC -1



FRONT



ALTERATIONS

1. Second and Third floor windows added, denoted with white dot:
 - Six new windows.
 - Trim to match existing
 - Faux grilles to match existing
2. Ground level doors have been modified replacing lower wood panels with glass.
3. Two new custom windows added at ground level
 - Framed in mahogany to match existing finishes. Made by original manufacturer
4. New Belgium block borders added with terrace platforms and adjacent gardens outside garage doors

<p>Project PROPOSED 8-30g AFFORDABLE RESIDENTIAL UNITS</p> <p>CLARK HOLDINGS, LLC</p> <p>2 HOLLYHOCK ROAD, WILTON CT</p>	<p>Drawing Title</p> <p>ART HOUSE</p> <p>2 HOLLYHOCK ROAD, WILTON CT</p>	<p>Drawing No.</p> <p>GC -2</p>
<p>Douglas Cutler Architect, AIA - Code Consultant (203)761-9561</p> <p>Gregory Clark Designer, Industrial Designer, RISD (203)515-1122</p>	<p>Date Prepared 5/20/2020</p> <p>Date Revised</p>	



REAR



ALTERATIONS

1. Second floor windows added, denoted with white dot:
 - One new window.
 - Trim to match existing.
 - Faux grilles to match existing
2. First floor custom sliding window added denoted with white dot.
 - Framed in mahogany to match existing finishes
3. Shrubs added at foundation

<div>Project</div> <div>PROPOSED 8-30g AFFORDABLE RESIDENTIAL UNITS</div> <div>CLARK HOLDINGS, LLC</div> <div>2 HOLLYHOCK ROAD, WILTON CT</div>		<div>Drawing Title</div> <div>ART HOUSE</div> <div>2 HOLLYHOCK ROAD, WILTON CT</div>	<div>Drawing No.</div> <div>GC -3</div>
<div>Douglas Cutler Architect, AIA - Code Consultant</div> <div>(203)761-9561</div>	<div>Gregory Clark Designer, Industrial Designer, RISD</div> <div>(203)515-1122</div>	<div>Date Prepared</div> <div>3/20/2020</div> <div>Date Revised</div> <div>11/10/2020</div>	



SOUTH



ALTERATIONS

1. Two Showroom Windows customized to receive Sliding System for Air Flow and Egress
2. Add Side Entrance roof support detail

<p>PROPOSED 8-30g AFFORDABLE RESIDENTIAL UNITS</p> <p>CLARK HOLDINGS, LLC</p> <p>2 HOLLYHOCK ROAD, WILTON CT</p>		<p>Drawing Title</p> <p>ART HOUSE</p> <p>2 HOLLYHOCK ROAD, WILTON CT</p>		<p>Drawing No.</p> <p>GC-4</p>
<p>Douglas Cutler Architect, AIA - Code Consultant (203)761-9561</p> <p>Gregory Clark Designer, Industrial Designer, (203)515-1122</p>		<p>Date Prepared 3/20/2020</p>	<p>Date Revised 11/10/2020</p>	



NORTH

PROPOSED AFFORDABLE 8-30G
HOUSING CONVERSION
2 HOLLYHOCK LANE, WILTON, CT

CODE ANALYSIS:

APPLICABLE CODES:

2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 INTERNATIONAL PLUMBING CODE (IPC)
2017 INTERNATIONAL ELECTRICAL CODE (NEC)
2015 INTERNATIONAL FIRE CODE (IFC)

USE GROUP CLASSIFICATION:

BUILDING I

1. BUILDING USE HOUSING
2. USE GROUP (SECTION 302.1) R-2
3. OCCUPANCY SEPARATION 1 HR
BETWEEN USE GROUPS N/A HRS W/SPRINKLERS
(TABLE 302.3.2)

CONSTRUCTION CLASSIFICATION PROPOSED:

1. TYPE OF CONSTRUCTION COMBUSTIBLE
NEW CONSTRUCTION TYP VB
(SECTION 602)

FIRE SEPERATIONS:

BUILDINGS 1, 2, 3 TYP VB COMBUSTIBLE, EQUIPPED WITH WITH AUTOMATIC FIRE SUPPRESSION SYSTEM
BUILDING ELEMENTS (TABLE 601)

- A. STRUCT. FRAME (COLUMNS, GIRDERS, TRUSSES) 0 HRS
B1. EXTERIOR BEARING WALLS 0 HRS
B2. INTERIOR BEARING WALLS 0 HRS
C1. EXTERIOR NONBEARING WALLS 0 HRS
C2. INTERIOR NONBEARING WALLS 0 HRS
D. FLOOR CONSTRUCT (INC. BEAMS AND JOISTS) 0 HRS
E. ROOF CONSTRUCT (INC. BEAMS AND JOISTS) 0 HRS 1 HOUR AT FLAT OVER FLAT

MISCELLANEOUS ELEMENTS

- F. DEMISE WALLS 1 HR
G. SMOKE BARRIERS (SECTION 709.3) 1 HR
H. SMOKE PARTITIONS (SECTION 710.3) 0 HRS

FLAME SPREAD CLASSIFICATION

GROUP	SPRINKLERED	ROOMS # ENCLOSED SPACES	INTERIOR EXIT STAIRWAYS # RAMPS # EXIT PASSAGEWAYS	ROOMS # ENCLOSED SPACES
R-2	C	C	C	C

BUILDING LIMITATIONS:

- A. HEIGHT CRITERIA STORY FEET
1. TABLE 503. 2 30 LESS THAN 40

B. FLOOR AREA CRITERIA

TABULAR AREA TABLE 503. 1,000 SF PER FLOOR
STREET FRONTAGE INCREASE 1,000 SF PER FLOOR
(SECTION 506.2)
IF = 100 INCREASED FRONTAGE
P = 200 PERIMETER LIN FT FRONTAGE
W = 480 TOTAL PERIMETER
N = 25 WIDTH OF PUBLIC WAY (MIN 20')

ALLOWABLE INCREASE ACTUAL 8,100 SF PER FLOOR
1.6X 1,000 = 8,120 SF

SPRINKLER INCREASE (SECTION 506.3)
200% FOR MULTI STORY BUILDING
NFPF IS
ALLOWABLE AREA PER FLOOR:
AA = AT (AT IF/100) + (AT IS /100)

- C. ACTUAL FLOOR AREA
FIRST FLOOR 1439.1 SQ FT
SECOND FLOOR 1439.1 SQ FT

EGRESS REQUIREMENTS

1. OCCUPANCY CALCULATIONS

A. MAXIMUM SQ. FT. PER OCCUPANT (TABLE 1008.1.1)
RESIDENTIAL 200 GROSS SQUARE FEET PER OCCUPANT

B. MAXIMUM SQ. FT. PER OCCUPANT (TABLE 1008.1.1)

BUILDING CALCULATED
FIRST FLOOR 1439.1 SQ FT
SECOND FLOOR 1439.1 SQ FT

2. EGRESS WIDTH

EGRESS WIDTH PER OCCUPANT WHEN SPRINKLERED 3 INCHES AT STAIRWAYS, 2 INCHES AT DOORS, RAMPS, AND CORRIDORS

EGRESS WIDTH: (FOR STAIRS)	TOTAL OCCUP.	EGR. WIDTH REQUIRED	EGR. WIDTH PROVIDED
SECOND FLOOR	20	6"	36"

EGRESS WIDTH: (FOR DOORS)	TOTAL OCCUP.	EGR. WIDTH REQUIRED	EGR. MIN. NO. EXITS PROVIDED
FIRST FLOOR	20	4"	36" 3
SECOND FLOOR	20	4"	36" 4

3. NUMBER OF EXITS REQUIRED: OCCUPANCY LOAD
TABLE 1014.1 OR LESS
TABLE 1015.1 TO 500
501 - 1000
OVER 1000

MAXIMUM LENGTH OF EXIT ACCESS TRAVEL
TABLE 1015.1 250' WHEN SPRINKLERED

MINIMUM EXIT SEPARATION DISTANCE
TABLE 1014.2 MINIMUM ONE-THIRD OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF AREA SERVED, WHEN SPRINKLERED

4. DEAD END CORRIDOR MIN. NO. EXITS
MAXIMUM DEAD-END CORRIDOR LENGTH (1016.3) 20 FT. OR 2.5 TIMES THE WIDTH OF THE CORRIDOR, OR 50 FT. IN GROUPS B WHEN SPRINKLERED (NFPA 13)

5. CORRIDOR WIDTH OCCUPANCY LOAD
MIN. EGRESS PASSAGE WIDTH (SECTION 1016.2) 44"

6. EXIT PASSAGEWAYS (1020.2)

44" MINIMUM WIDTH

1. EXIT DOORS

A. DOOR LEAF (SECTION 1008.1.1) MIN. WIDTH 34" (32" CLEAR), MAX. WIDTH: 48" DOOR OPENINGS TO BE MIN. 80" HIGH

B. DOOR SWING IN DIRECTION OF TRAVEL FOR OCCUPANT LOAD OF 50 OR MORE (1008.1.2)

B. STAIRWAYS (SECTION 1009.0).

A. MINIMUM EGRESS WIDTH: 36 INCHES WHEN SERVING AN OCCUPANCY LOAD OF 50 OR LESS
B. MINIMUM LANDING WIDTH: NOT LESS THAN REQUIRED STAIR WIDTH; NEED NOT EGGED 4'-0" WHEN STAIR HAS STRAIGHT RUN
C. HEADROOM: 80" MAXIMUM
D. VERTICAL RISE PER RUN: 12" MAXIMUM
E. RISER HEIGHT: 6 1/2" MAXIMUM 4" MINIMUM
F. TREAD DEPTH: 4" MINIMUM
G. DIMENSIONAL VARIATION: 3/8" MAXIMUM IN FLIGHT OF STAIRS
H. HANDRAILS AND GUARDRAILS: SEE SECTION 4 & 10 BELOW
I. EGRESS DOORS: 36" MIN GOVERNS PER ADA 48" MAX DOOR LEAF WIDTH NOT TO ENCR OACH EGRESS WIDTH MORE THAN ONE-HALF WHEN OPENING 7' MAX. PROJECTION INTO EGRESS WIDTH WHEN FULLY OPEN

J. ROOF ACCESS STAIR (1009.12)

REQUIRED IN BUILDINGS GREATER THAN 3 STORIES IN HEIGHT

9. HANDRAILS (SECTION 1009.12)

A. MAXIMUM HANDRAIL PROJECTION: 4 1/2"
B. HANDRAIL HEIGHT: 34" - 38"
C. STAIRWAY HANDRAIL GRIP: 1 1/4" MAXIMUM MINIMUM 2" MAXIMUM

10. GUARDRAILS (1021.0)

A. HEIGHT: 42" MINIMUM TO TOP OF RAIL
B. OPENING LIMITS: 4" SPHERE NOT TO PASS THRU ANY OPENING UP TO A HEIGHT OF 34" (34" - 42" 8") 6" SPHERE NOT TO PASS THRU TRIANGULAR OPENING AT STAIR RISER, TREAD AND BOTTOM RAIL.

- DETAIL INDICATOR
SECTION INDICATOR
WINDOW NUMBER
DOOR NUMBER
LINE ABOVE
CENTER LINE


ABBREVIATIONS:

A.C.T.	ACOUSTIC TILE	GA.	GAUGE	PL.	PLATE
A.F.F.	ABOVE FINISH FLOOR	GALV.	SALVANIZED	PLY'D	PLYWOOD
ASPH.	ASPHALT	GL.	GLASS	PTD.	PAINTED
BLK.	BLOCK	GYP. BD.	GYP. BOARD	REQ'D	REQUIRED
BLK'G	BLOCKING	HB.	HOSE BIBB	RM	ROOM
C.H.	CEILING HEIGHT	HC.	HANDICAPPED	SHT	SHEET
C.J.	CONTROL JOINTS	H.M.	HOLLOW METAL	SIM	SIMILAR
CLG.	CEILING	H.P.	HIGH POINT	STL	STEEL
CONC.	CONCRETE	HR.	HOUR	SUSP. CLG	SUSPENDED CEILING
CONT.	CONTINUOUS	H.V.A.C	HEATING VENTILATING AIR-CONDITIONING	T.O.M.	TOP OF MASONRY
C.T.	CERAMIC TILE	JT.	JOINT	T.O.S.	TOP OF STEEL
DIA.	DIAMETER	L.P.	LOW POINT	T.O.SLAB.	TOP OF SLAB
DN.	DOWN	MAX.	MAXIMUM	TYP.	TYPICAL
DWG.	DRAWING	MIN.	MINIMUM	U.L.	UNDERWRITERS LABORATORY
EL.	ELEVATION	MTL.	METAL	U.O.N.	UNLESS OTHERWISE NOTED
ELEC.	ELECTRICAL	MO.	MASONRY OPENING	V.I.F.	VERIFY IN FIELD
EXIST.	EXISTING	N.I.C.	NOT IN CONTRACT	V.C.T.	VINYL COMPOSITION
EXP. JT	EXPANTION JOINT	N.T.S.	NOT TO SCALE		
F.P.	FIRE PROOF	O.C.	ON CENTER		
FIN.	FINISHED	O.H.	OPPOSITE HAND	W/	WITH
FL.	FLOOR	OP'G	OPENING	WD	WOOD
				CL	CENTER LINE

LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION
	ISSUED FOR PERMIT

Project	PROPOSED AFFORDABLE 8-30G RESIDENTIAL CONVERSION FOR
	CLARK HOLDINGS LLC
	2 HOLLY HOCK ROAD, WILTON, CT

	Douglas Cutler
	221 Danbury Road, Wilton, CT 06897

Architects A.I.A.

(203) 761-9561

Drawing Title	TITLE PAGE
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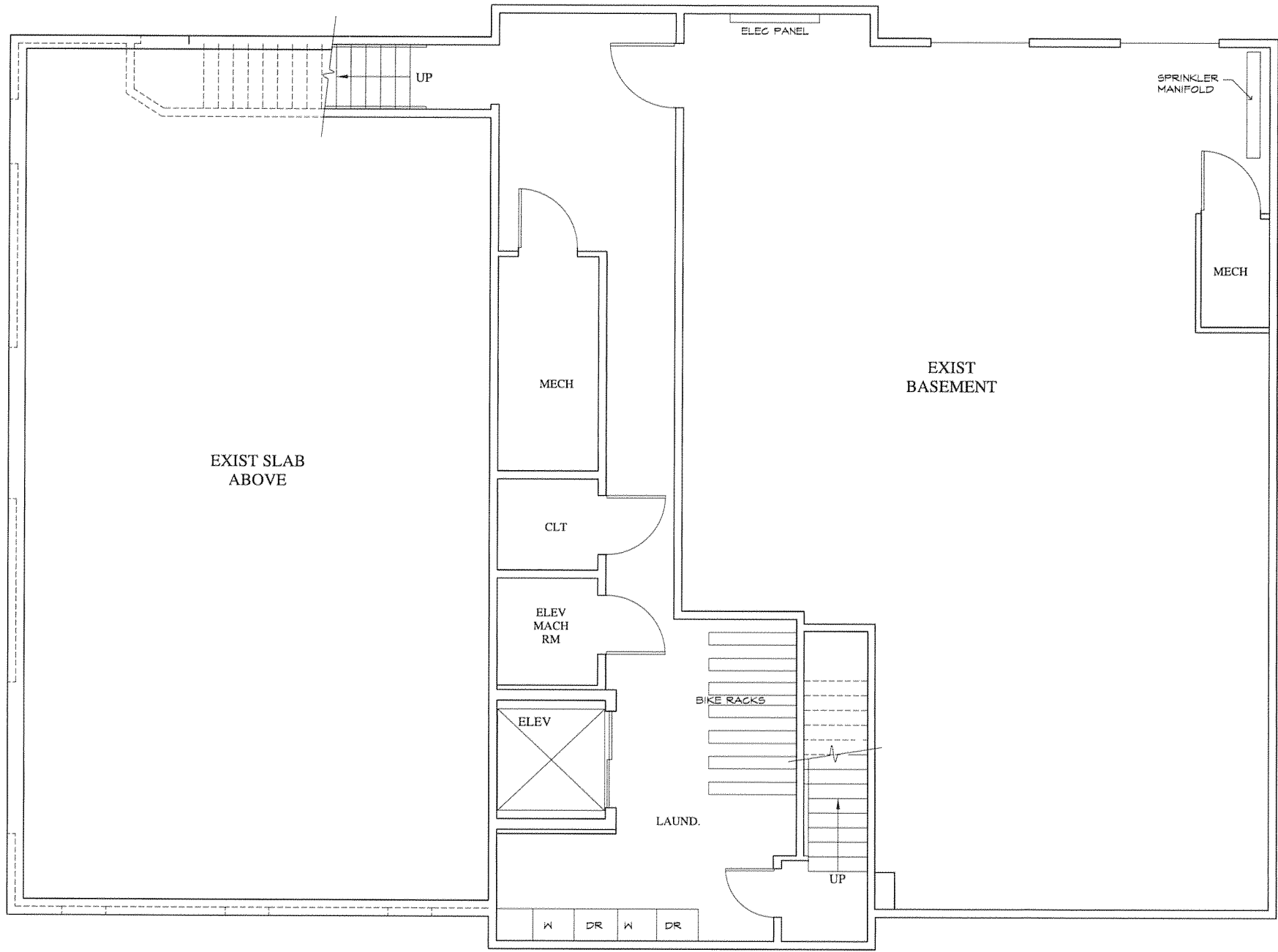
Project No.	Date Drawn	Date Revised
	3/29/20	
Drawn By	Scale	
	1/4" = 1'-0"	

Drawing No.	T1
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FIRE RESISTANCE RATING OF STRUCTURAL MEMBERS (SECTION 714.1):

714.1 REQUIREMENTS: THE FIRE RESISTANCE RATING OF STRUCTURAL MEMBERS AND ASSEMBLIES SHALL NOT BE LESS THAN THE RATING FOR THE ASSEMBLIES SUPPORTED.

714.2 PROTECTION OF STRUCTURAL MEMBERS: COLUMNS, BEAMS OR OTHER STUCTURAL MEMBERS WHICH ARE REQUIRED TO HAVE A FIVE RESISTIVE RATING AND SUPPORT MORE THAN TWO FLOORS SHALL BE INDIVIDUALLY PROTECTED ON ALL SIDES FOR THE FULL LENGTH AND HEIGHT WITH MATERIALS HAVING THE REQUIRED FIRE RESISTANCE RATING. ALL OTHER STRUCTURAL MEMBERS SHALL BE PROTECTED BY INDIVIDUAL ENCASEMENTS, OR BY MEMBRANE OR CEILING PROTECTION.



EXIST BASEMNT PLAN
SCALE: 3/16" = 1'-0"

LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION
	ISSUED FOR PERMIT

Project
PROPOSED AFFORDABLE 8-300 RESIDENTIAL CONVERSION FOR
CLARK HOLDINGS LLC
2 HOLLY HOCK ROAD, WILTON, CT

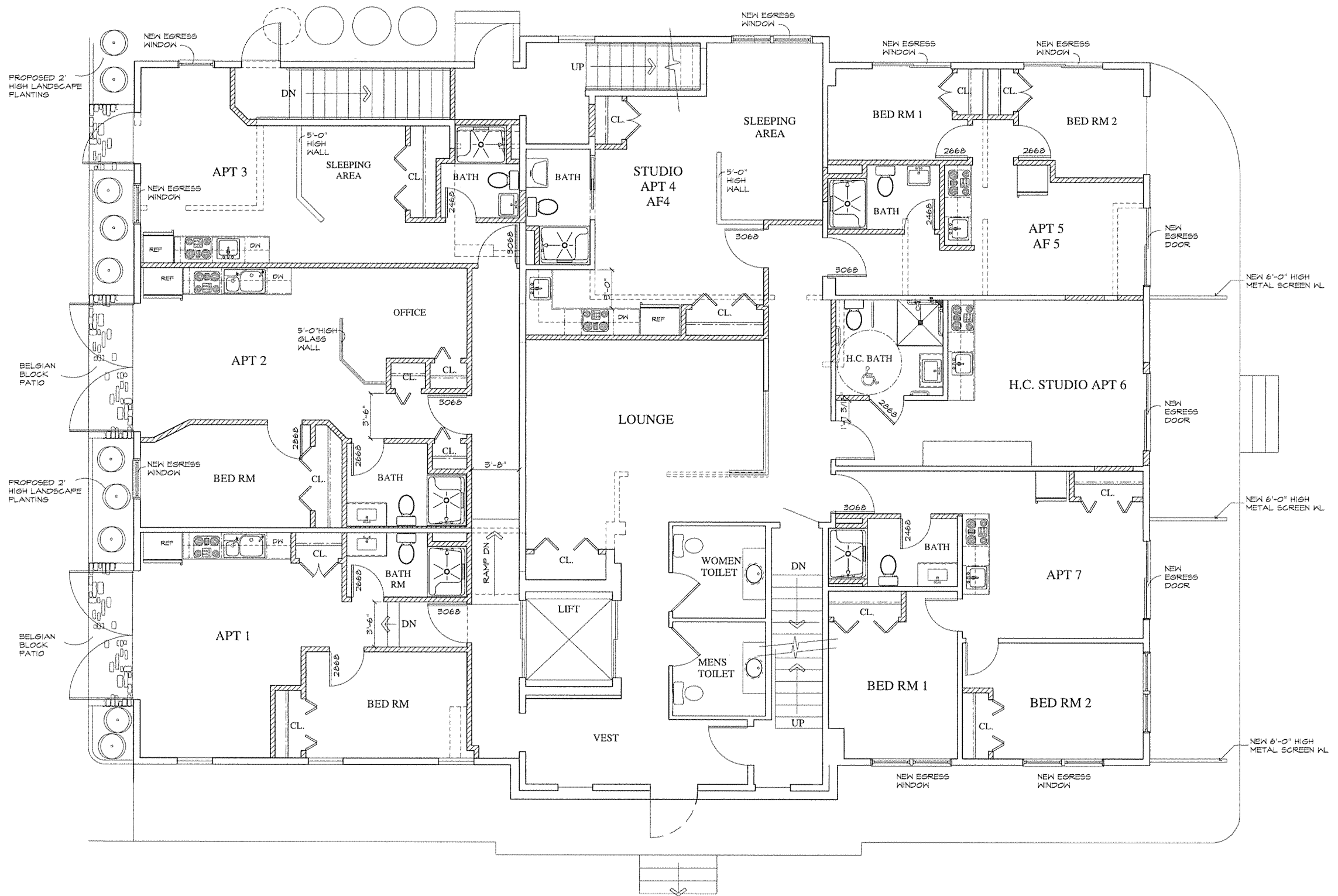
	Douglas Cutler	Architects A.I.A.
221 Danbury Road, Wilton, CT 06897		(203) 761-0561

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Drawing Title
EXIST BASEMENT PLAN

Project No.	Date Drawn	Date Revised
	3/24/20	
Drawn By	Scale	
	1/4" = 1'-0"	

Drawing No.
A1



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION TO BE REMAIN
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- LINE OF ROOF ABOVE
- 4 X 4 MIN. POST SIZE EXCEPT OTHERWISE NOTED
- 4- 2 X 4 WD. POST

LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION ISSUED FOR PERMIT

Project
PROPOSED AFFORDABLE 8-30G RESIDENTIAL CONVERSION FOR
CLARK HOLDINGS LLC
2 HOLLY HOCK ROAD, WILTON, CT

Douglas Cutler
231 Danbury Road, Wilton, CT 06897

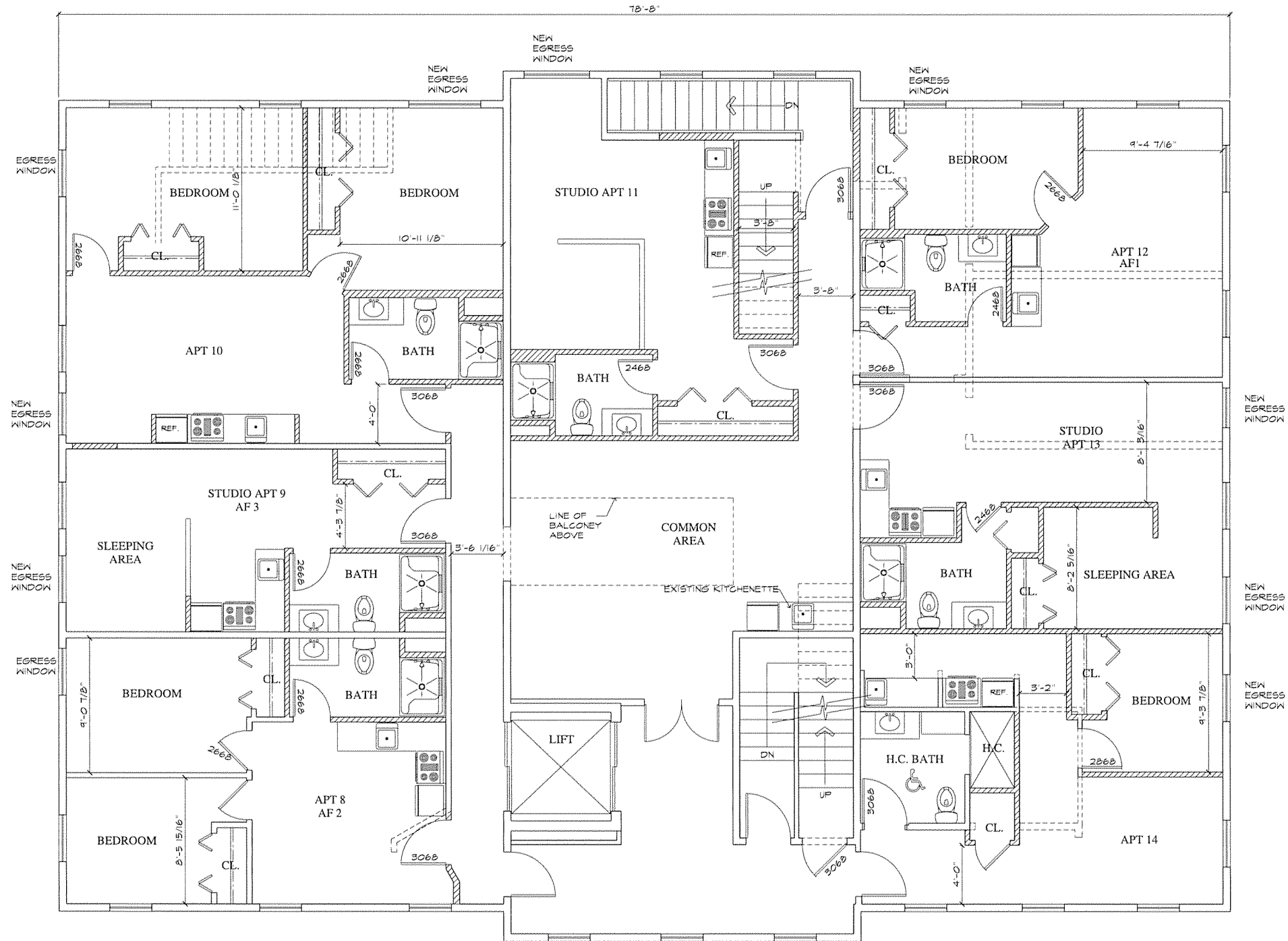
Architects A.I.A.
(203) 761-0561

Drawing Title
FIRST FLOOR PLAN

Project No. Date Drawn Date Revised
3/29/20
Drawn By Scale
1/4" = 1'-0"

Drawing No.
A2

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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION TO BE REMAIN
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- LINE OF ROOF ABOVE
- 4 X 4 MIN. POST SIZE EXCEPT OTHERWISE NOTED
- 4- 2 X 4 WD. POST

LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION
12-18-20	AS PER OWNER
12-30-20	AS PER OWNER
	ISSUED FOR PERMIT

Project
PROPOSED AFFORDABLE 8-30G RESIDENTIAL CONVERSION FOR
CLARK HOLDINGS LLC
2 HOLLY HOCK ROAD, WILTON, CT

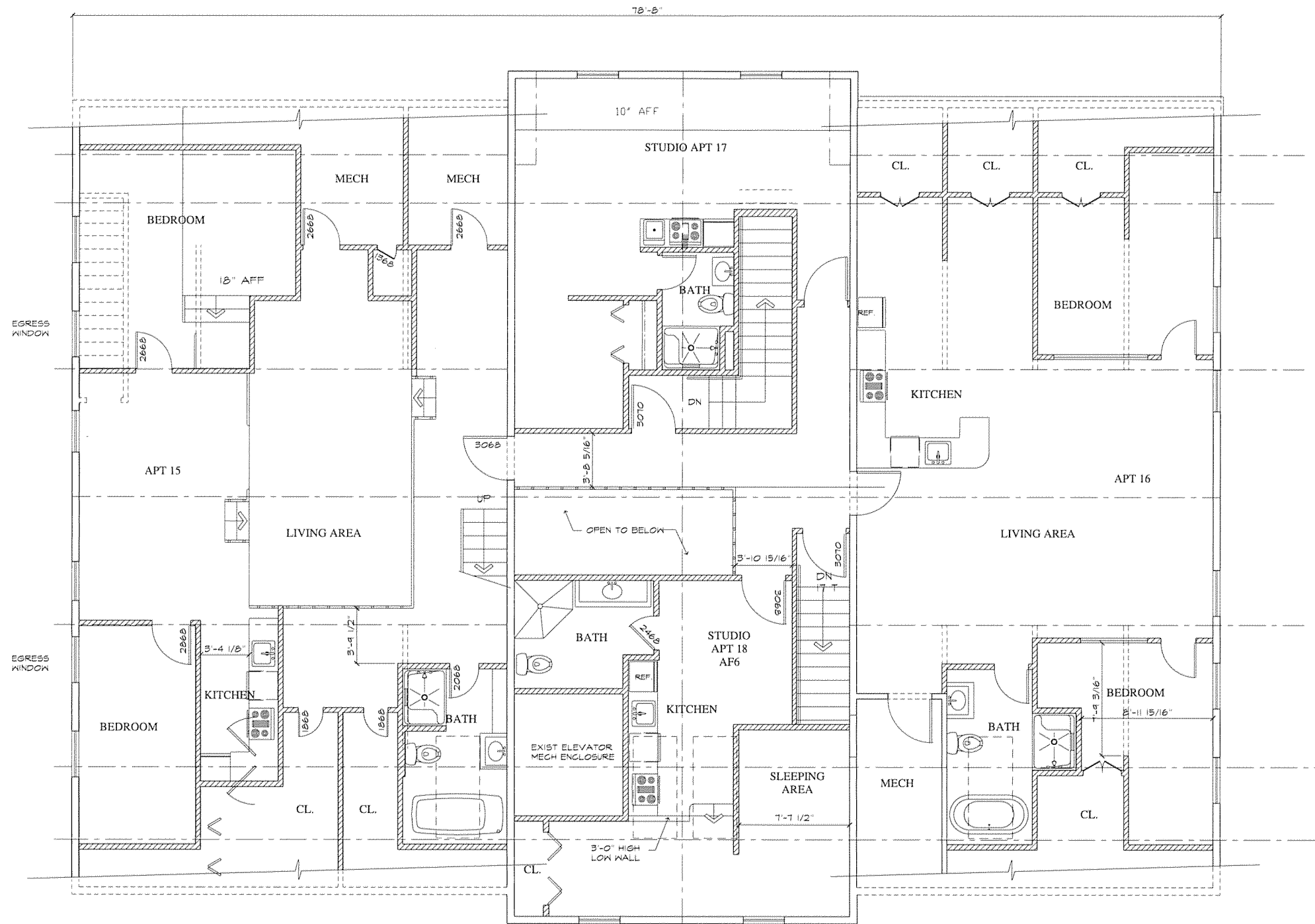
Douglas Cutler
Architects A.I.A.

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Drawing Title
SECOND FLOOR PLAN

Project No.
Date Drawn
3/29/20
Date Revised
Scale
1/4" = 1'-0"

Drawing No.
A3



THIRD FLOOR PLAN

SCALE: 3/16" = 1'-0"

LEGEND

	EXISTING CONSTRUCTION TO BE REMAIN
	NEW CONSTRUCTION
	EXISTING CONSTRUCTION TO BE REMOVED
	LINE OF ROOF ABOVE
	4 X 4 MIN. POST SIZE EXCEPT OTHERWISE NOTED
	4- 2 X 4 WD. POST

LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION
	ISSUED FOR PERMIT

Project
PROPOSED AFFORDABLE 8-30G RESIDENTIAL CONVERSION FOR
CLARK HOLDINGS LLC
2 HOLLY HOCK ROAD, WILTON, CT

Douglas Cutler
221 Danbury Road, Wilton, CT 06897

Architects A.I.A.
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Drawing Title THIRD FLOOR PLAN		Drawing No.
Project No.	Date Drawn 3/29/20	Date Revised
Drawn By	Scale 1/4" = 1'-0"	

A4



Exterior sliding doors to match existing custom windows



Existing Exterior Finishes



Interior sliding doors to match existing custom woodwork in Mahogany

<div>Project</div> <div>PROPOSED 8-30g AFFORDABLE RESIDENTIAL UNITS</div> <div>CLARK HOLDINGS, LLC</div> <div>2 HOLLYHOCK ROAD, WILTON CT</div>	<div>Drawing Title</div> <div>ART HOUSE</div> <div>2 HOLLYHOCK ROAD, WILTON CT</div>	<div>Drawing No.</div> <div>GC -5</div>
<div>Douglas Cutler Architect, AIA - Code Consultant</div> <div>(203)761-9561</div> <div>Gregory Clark Designer, Industrial Designer,</div> <div>(203)515-1122</div>	<div>Date Prepared</div> <div>5./20/2020</div> <div>Date Revised</div> <div>11/10/2020</div>	



PRELIMINARY SIGNAGE

<p>PROPOSED 8-30g AFFORDABLE RESIDENTIAL UNITS</p> <p>CLARK HOLDINGS, LLC</p> <p>2 HOLLYHOCK ROAD, WILTON CT</p>	<p>Drawing Title</p> <p>ART HOUSE</p> <p>2 HOLLYHOCK ROAD, WILTON CT</p>	<p>Drawing No.</p> <p>GC-6</p>
<p>Douglas Cutler Architect, AIA - Code Consultant (203)761-9561</p> <p>Gregory Clark Designer, Industrial Designer, (203)515-1122</p>	<p>Date Prepared 3/20/2020</p> <p>Date Revised 11/10/2020</p>	