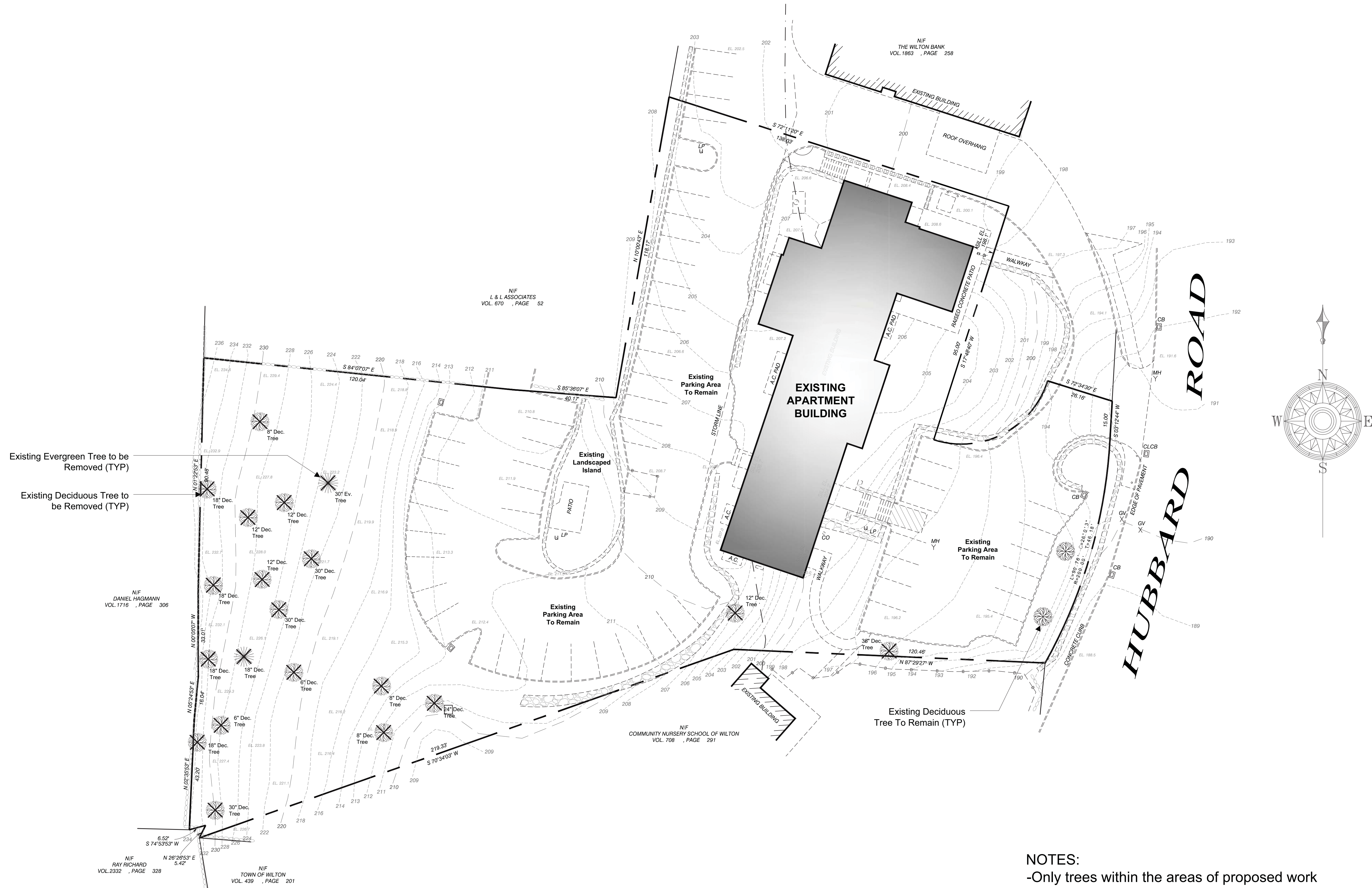




NOTES:
-Only trees within the areas of proposed work were surveyed and illustrated on this plan.
-This plan shows 20 existing trees to be removed.
-As per the planting plan on Sheet SP-2, there are 23 new trees proposed to be planted.

NO. REVISION DATE



Workforce Partners

11 Day Street
Norwalk, CT 06854
203.517.0545

Symbol Legend

- Property Line
- Setback Line
- Existing Dec. Tree To Remain
- Existing Dec. Tree To Remain
- Existing Ev. Tree To Remain
- Existing Ev. Tree To Remain
- Existing Building
- Exist. Retaining Walls To Remain

NOTE:
-See sheet SP-1 for General Notes, Planting Notes and Overall Site Plan
-See sheet SP-2 for Landscape and Lighting Enlargement Plan
-See sheet SP-3 for Lighting and Landscape Details
-See sheet SP-4 for Photometrics
-See Civil Drawings for Grading, Drainage, and Erosion Control Plans
-See Architectural Drawings for Building Information

Site Improvements

Three Hubbard Road

3 Hubbard Road
Wilton, CT

Tree Removal Plan

SCALE: 1" = 20'-0"

SP-0

SHEET:

DATE: 01/21/2020

1. Existing conditions survey information taken from drawing by Land Surveying Services, Fairfield, CT.
2. Prior to the start of any work, contact "Call Before You Dig", 1-800-922-4455 at least 72 hours prior to any earthwork activities to locate utilities. Contractor shall be responsible for repair of existing utilities damaged, without further charge to the owner.
3. Contractor limit lines are property lines. Contractor is responsible for repair of, damage, or disturbance to other areas which may occur as the result of his or her work whether within or outside of the contract limit lines.
4. All development activities to be undertaken with street rights-of-way and other public lands shall comply fully with applicable state and/or town standards. Notify appropriate agency at least 72 hours prior to any excavation or clearing or construction on state or town property.
5. Verify locations, elevations and dimensions in field prior to construction. Notify the owner and construction manager of any discrepancies.
6. Layout all paving and curbing prior to construction. Receive owner or construction manager approval on layout prior to starting work.
10. Install all necessary erosion controls and tree protection prior to any excavation and/or clearing.
11. Removal and disposal of all materials shall comply with any all state and/or local codes.
12. Existing plant material to be saved and protected where possible and where indicated. Consult owner or construction manager with all field queries.
13. Contractor responsible for securing all construction permits and licenses required to complete the work.
14. Contractor shall be aware of all subsurface drainage and all utilities. Protect lines from damage and debris. Contractor shall be responsible for repair of all damaged lines at no additional cost to the owner.
15. Final grade in all cases shall slope away from the building a minimum of 1/4" per foot and all paved areas shall have a minimum wash of 1/8" per foot.
16. Blend new work smoothly with existing grades. Avoid sharp breaks in grade. Round tops and bottoms of slopes.
17. Protect trees to remain with a 4 ft. ht. snow or construction fence in accordance with the tree protection detail. Maintain protection throughout construction period. Do not store materials or equipment within fence or drip line of tree. Install tree protection prior to any earthwork or clearing.
18. All disturbed areas shall be topsoiled, reseeded and stabilized.
19. Fill shall be clean and have no foreign material, or stone larger than 3" in any dimension.
20. Paving dimensions are from the face of curb or edging to face of curb or edging opposite.
21. **Staves Where Indicated on Plans:** Provide sleeves at indicated areas. Provide 2 pvc schedule 40 pipes - 1 @ 2" and 1 @ 4" diameter at each location. Cap and mark ends. Extend sleeves 12" beyond pavement edge @ 12" +/- depth. Mark end with 12" long #3 rebar driven to 6" below finish grade.

1. Be aware of all underground utilities prior to any planting operations. Contact "CALL BEFORE YOU DIG" prior to excavation.
2. All plantings are to be installed by a qualified landscape contractor.
3. The contractor shall be responsible to call for and obtain all compensation insurance and comprehensive general liability insurance. Certificates will be required prior to signing contracts.
4. Notify owner or landscape architect 72 hours minimum in advance of starting any planting operations. Request approval for layout of all bed lines and material locations prior to installation.
5. The landscape architect reserves the right to reject inferior plant materials and substitutions. The landscape architect is willing to make two trips to suppliers to review and approve materials. Previously unapproved materials may be rejected without penalty. Minimum acceptable standard is "American Standard for Nursery Stock" (ANSI Z60.1 - 2004) of the American Association of Nurserymen.
6. All plant material shall have a nursery tag depicting plant species and variety.
7. When there is a discrepancy between plant quantities shown on the plant list & the plan, use the quantities from the plant list.
8. Test soil for pH and nutrients, adjust as required and receive approval prior to planting.
9. Pit to be 2 times wider than root ball or widest spread of container or bare roots.
10. Set crown of root ball 2" above finished grade.
11. Do not add fertilizers or soil amendments to plantings.
12. All plant material shall be guaranteed by the contractor to be in good, healthy and flourishing condition for a period of one year from the date of acceptance. The contractor shall replace, as soon as weather and seasonal conditions permit, all dead plants and all plants not in a vigorous, thriving condition, as determined by the landscape architect and client. The replacement shall be made within 30 days of the date of acceptance. Warranty replacement will be provided at no cost to the owner and include materials and labor. Contractor is responsible for repair of any damage incurred during replacement of warranty materials. Warranty period to begin at the final approval of the Landscape Architect and client. Contractor is responsible for maintaining the plant material until final approval is given. This will include watering the plants.



NO.	REVISION	DATE
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11 Day Street
Norwalk, CT 06854
203.517.0545

	Property Line
	Setback Line
	Existing Building
	Proposed Building
	Existing Curb To Remain
	Exist. Retaining Walls To Remain
	Proposed Retaining Wall
	Proposed Concrete Paving
	Proposed Curb
	Proposed Deciduous Trees / Shrubs
	Proposed Ev. Trees / Shrubs
	Proposed Shrubs / Perennials
	Existing Post Light to Remain
	Proposed Bollard Lights
	Proposed Pole Lights

NOTE:

- See sheet SP-0 for Tree Removal Plan
- See sheet SP-2 for Landscape and Lighting Enlargement Plan
- See sheet SP-3 for Lighting and Landscape Details
- See sheet SP-4 for Photometrics
- See Civil Drawings for Grading, Drainage and Erosion Control Plans
- See Architectural Drawings for Building Information

Three Hubbard
Road

3 Hubbard Road
Wilton, CT

Overall Landscape & Lighting Plan

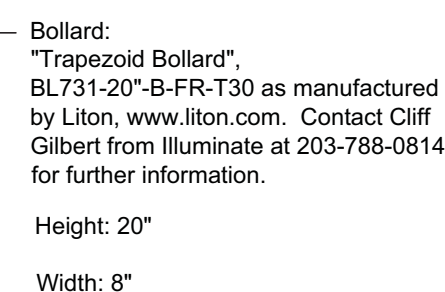
SCALE: 1" = 20'-0"

SHEET:

DATE: 01/21/2020

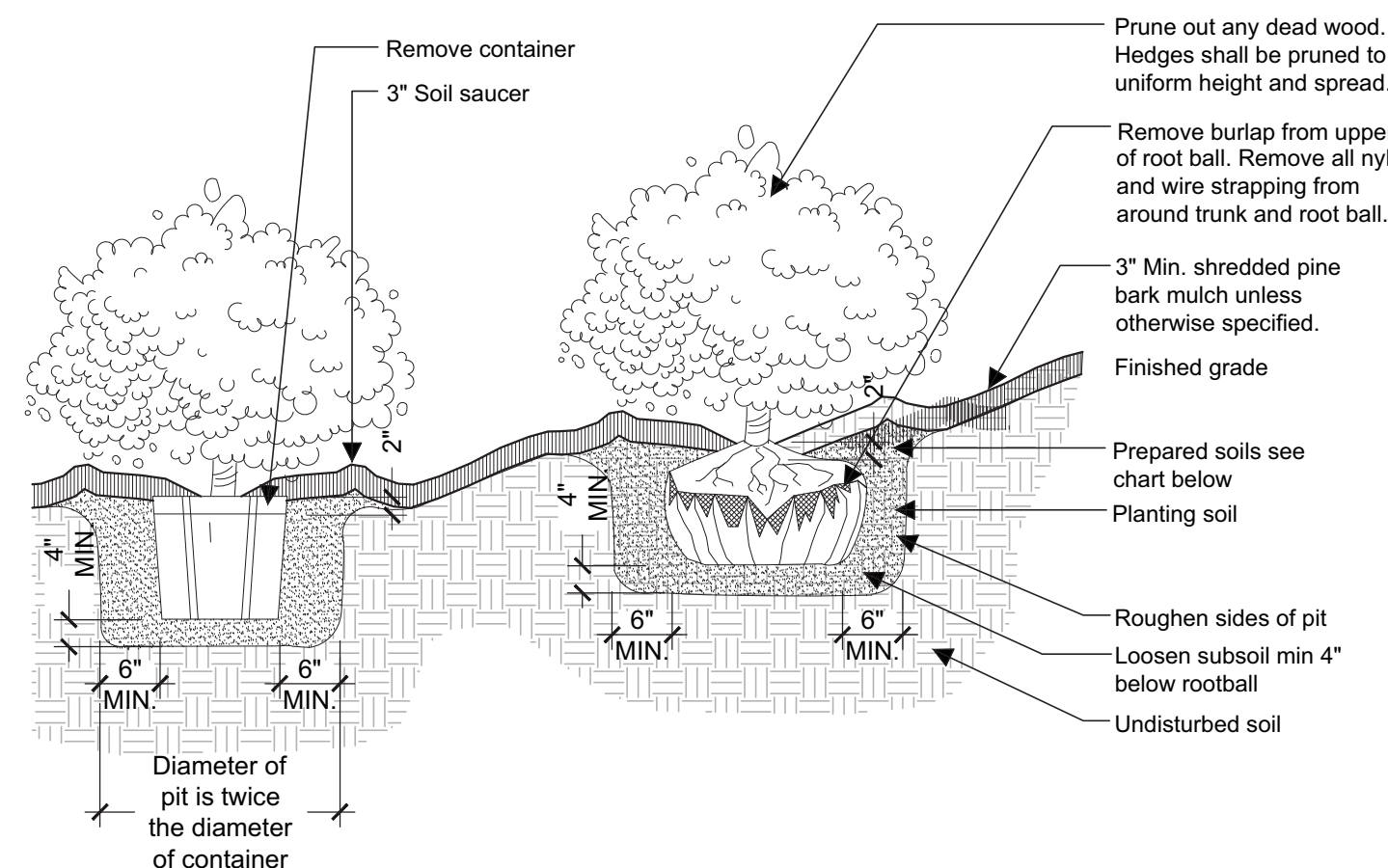
SP-1

SP-2



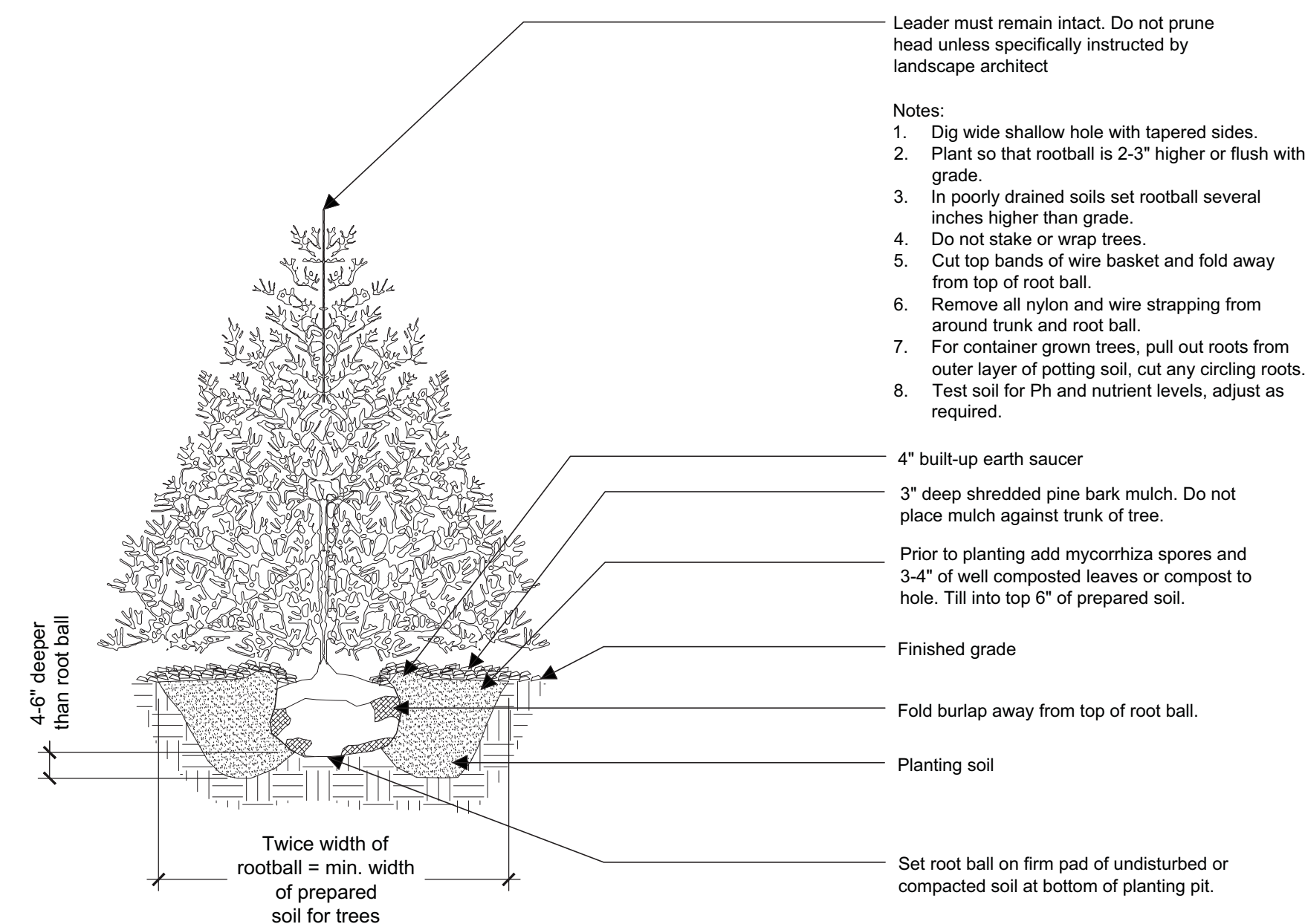
SP-3

Not to Scale



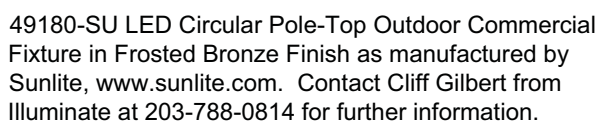
SP-3

Not to Scale



SP-3

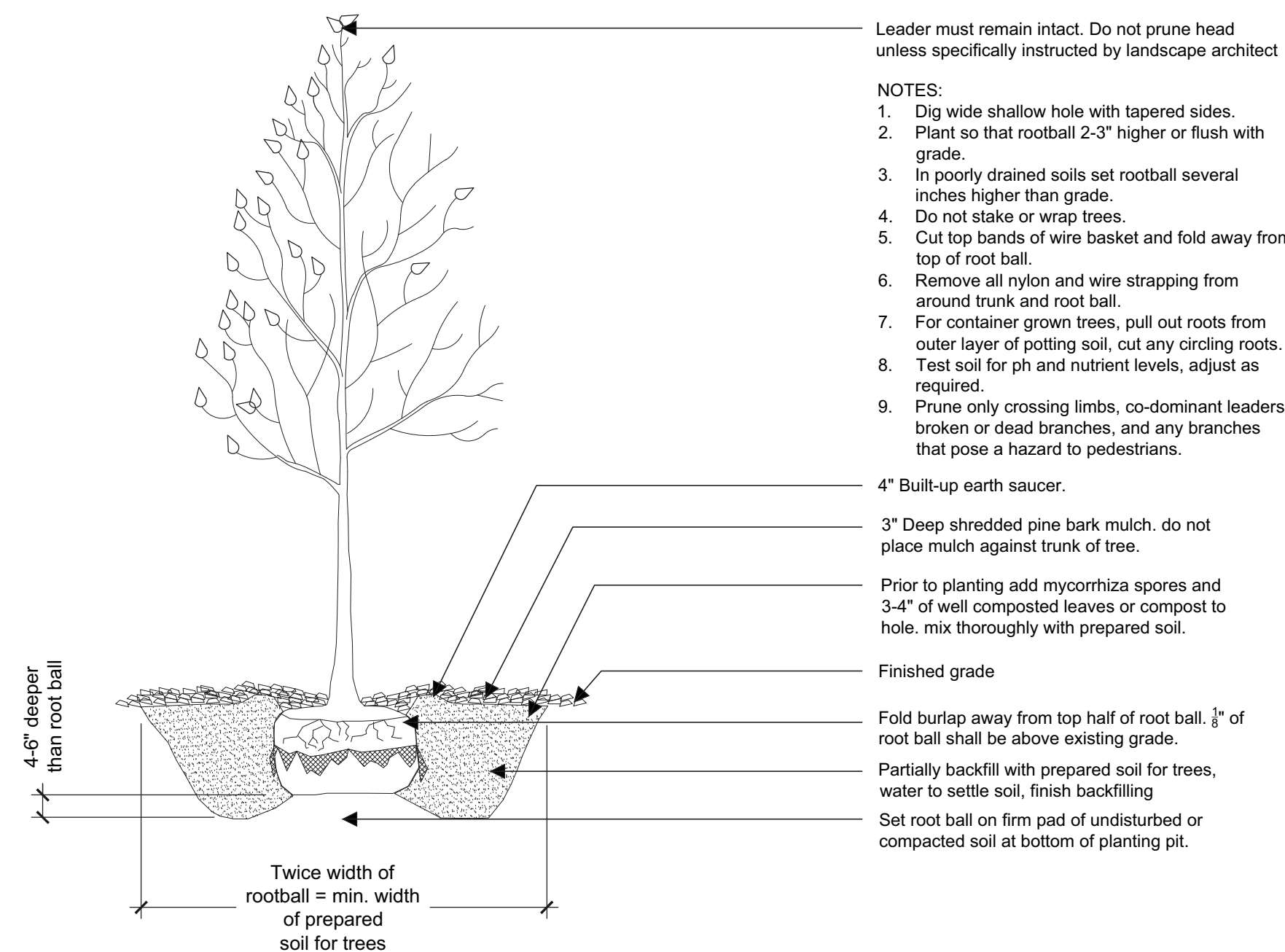
Not to Scale



SP-3

Submit Shop Drawings for Approval

Not to Scale



SP-3

Not to Scale



Workforce Partners

11 Day Street
Norwalk, CT 06854
203.517.0545

Symbol Legend

NOTE:

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- See sheet SP-1 for General Notes, Planting Notes and Overall Site Plan
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Site Improvements

Three Hubbard Road

3 Hubbard Road
Wilton, CT

Lighting and Landscape Details

SCALE: As Noted

SHEET:

DATE: 01/21/2020

SP-3

SHEET:

DATE: 01/21/2020

