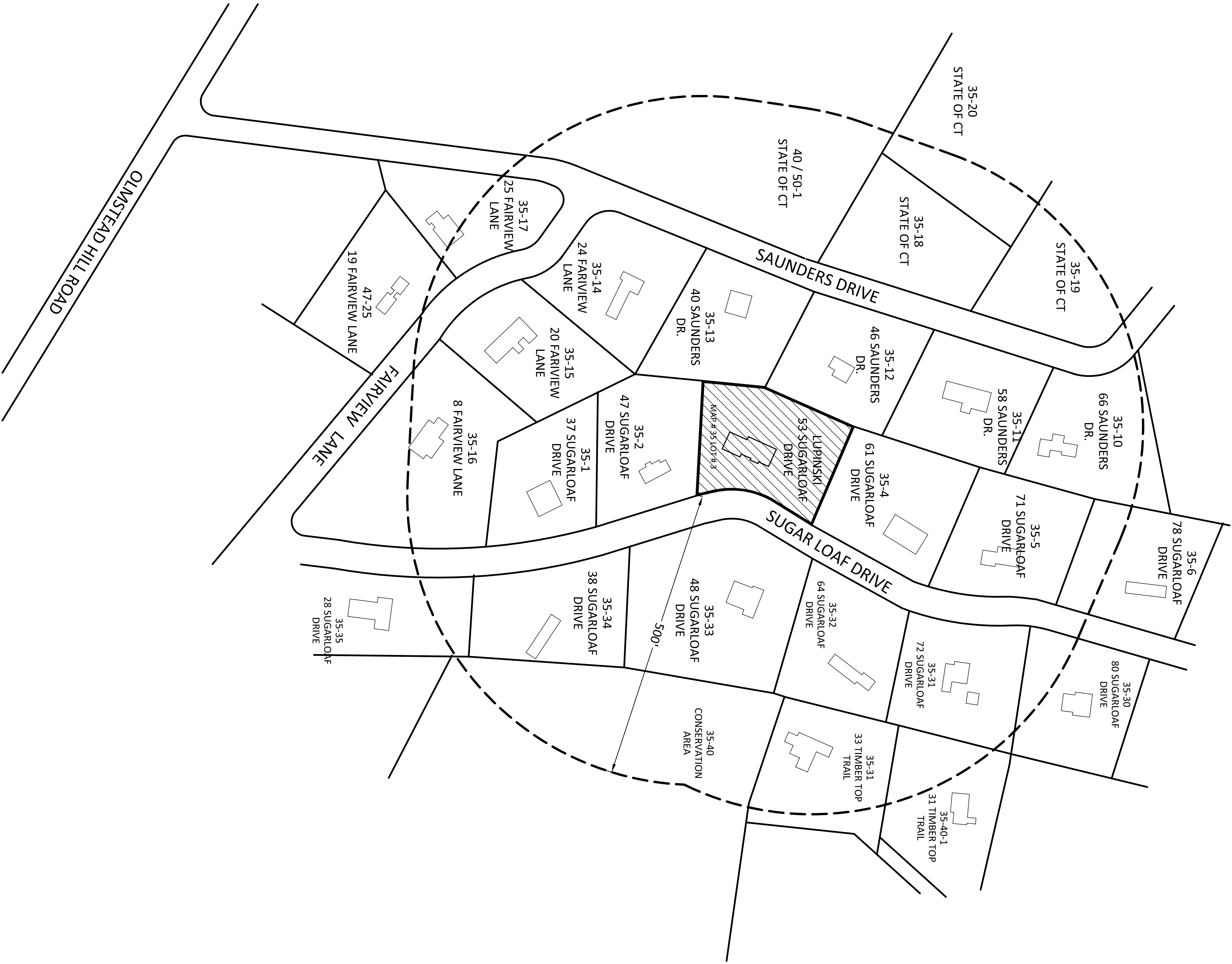
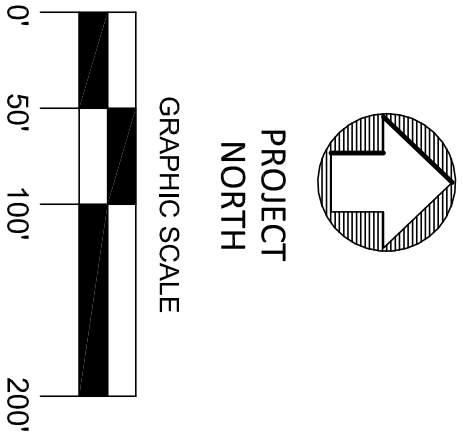




GENERAL NOTES:

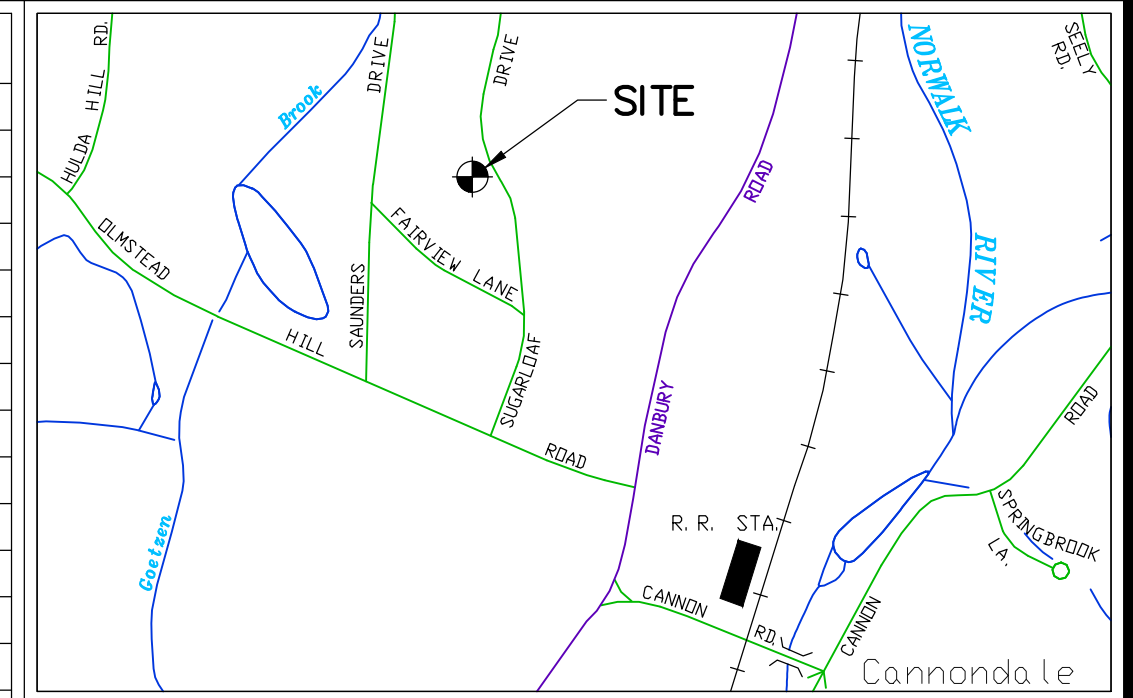
1. PLAN INFORMATION TAKEN FROM A TOWN GIS MAPPING. PROPERTY LINES AND STRUCTURES ARE APPROXIMATE AND DO NOT REFLECTS ACTUAL SURVEY INFORMATION.



REVISIONS		DRAWING TITLE	
		VICINITY SKETCH	
		PROJECT	
		LUPINSKI RESIDENCE	
		53 SUGAR LOAF DRIVE	
		WILTON, CONNECTICUT	
		SCALE:	DATE: JUNE 5, 2023
ENVIRONMENTAL LAND SOLUTIONS, LLC		SCALE: 1"=100'	DRAWING NO.: VIN
Landscape Architecture and Environmental Planning			
8 KNIGHT STREET, SUITE 203			
NORWALK, CONNECTICUT 06851			
Tel: (203) 855-7879 Fax: (203) 855-7836			
info@elsllc.net www.elsllc.net			
LANDSCAPE ARCHITECTURE			
ENVIRONMENTAL PLANNING			
ELS			

- 1) THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996.
- 2) THE TYPE OF SURVEY PERFORMED IS A BUILDING LOCATION MAP, ZONING, THE MAIN PURPOSE OF THE SURVEY IS TO SHOW THE INFORMATION NECESSARY TO ENABLE DETERMINATION OF COMPLIANCE OR NON-COMPLIANCE WITH THE APPLICABLE ZONING SETBACK REQUIREMENTS. AS SUCH, IT MAY BE NECESSARY TO DEPICT ONLY A PORTION OF THE PROPERTY. THE ONLY IMPROVEMENT THAT NEED BE SHOWN IS THE EXISTING OR PROPOSED BUILDING RELATING TO THE MATTER OF ZONING COMPLIANCE BEING ADDRESSED.
- 3) THE BOUNDARY DETERMINATION IS BASED UPON THE DEPENDENT RESURVEY METHOD.
- 4) THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS. VERTICAL DATA CONFORMS TO A CLASS T-2 STANDARDS. REFERS TO APPROXIMATE NAVD '88 DATUM.
- 5) THE SUBJECT PROPERTY IS SHOWN AS TAX LOT 03 ON ASSESSOR'S MAP 35.
- 6) THE SUBJECT PROPERTY IS LOCATED IN 'R-2A' RESIDENCE ZONE.
- 7) THE SUBJECT PROPERTY IS OWNED BY ROBERT LUPINSKI & ANNA LUPINSKI REFER TO RECORD DEED VOL. 2155, PG. 269 ON FILE IN THE OFFICE OF THE WILTON TOWN CLERK.

ZONING DISTRICT	R-2A	MIN./ MAX. REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS	UNDER CONST. CONDITIONS	AS-BUILT CONDITIONS
MINIMUM AREA	(Acres)	2	1.0021	1.0021		
MAXIMUM DENSITY	(Dw./Acre)	NA	--	--		
% of Units Reg. to be Affordable		NA	--	--		
MINIMUM FRONTAGE	(feet)	25	211.35	211.35		
MIN. LOT WIDTH and DEPTH	(feet)	200	235.84 Width 176.20 Depth	235.84 Width 176.20 Depth		
MAXIMUM AREA	(acres)	NA	--	--		
MINIMUM PRIVATE OPEN SPACE	(sq. ft. per DU)	NA	--	--		
FRONT YARD	(feet)	50	52.0	52.0		
SIDE YARD	(feet)	40	40.1	40.1		
REAR YARD	(feet)	50	78.8	78.8		
MIN. PARKING & LOADING SETBACK	(feet)	NA	--	--		
MAXIMUM BUILDING HEIGHT	(stories/feet)	2 1/2 / 35	2 1/2 Sty / 26.07 Ft	2 1/2 Sty / 26.07 Ft		
MAXIMUM AVERAGE UNIT SIZE	(sq. ft. per dwelling unit)	NA	--	--		
MAXIMUM R1 BUILDING COVERAGE	(percentage of lot area)	7	7.56 %	6.79 %		
MAXIMUM SITE COVERAGE	(building & paved areas as % of lot area)	12	7.56 %	6.79 %		



LOCATION MAP

$$\frac{291.8+299.9+300.4+301.1+300.9+300.6+300.6+300.4+299.8+292.1+292.0+291.7+291.5+291.3}{14} = 4,154.1/14 = 305.3$$

ELEVATION OF ROOF PEAK = 339.03
ELEVATION OF ROOF EAVE = 323.71
ELEVATION OF ROOF MIDPOINT = $339.03 + 323.71 = 66.274 / 2 = 331.37$

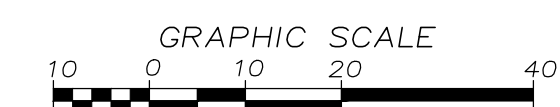
ELEVATION OF ROOF MIDPOINT - AVERAGE GRADE = $331.37 - 305.3 = 26.07$ FEET

ELEVATION OF DOOR SILL = 303.35
ELEVATION OF GARAGE FLOOR = 300.59
ELEVATION OF LOWER FLOOR DOOR SILL = 292.74

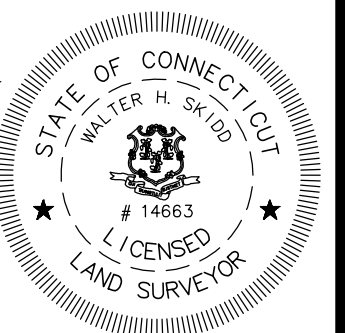
BUILDING COVERAGE:
RESIDENCE, PORCH, DECK & PATIO w/ CONC. STRUCTURE BELOW 3,298.5 SQ. FT./43,651 SQ. FT. = 7.56 %

PROPOSED BUILDING COVERAGE:
RESIDENCE, PORCH & DECK 2,965.5 SQ. FT./43,651 SQ. FT. = 6.79 %

To the best of my knowledge and belief this map is substantially correct as noted hereon.



FOUNDATION LOC.: MAY 2, 2011
UPDATE LOC.: MARCH 17, 2023
AMENDED: JUNE 8, 2023



RECORD MAP # 1183, W.L.R. ENTITLED "MAP SHOWING LAYOUT OF FAIRVIEW LANE, A PORTION OF SURGE LOAF DRIVE AND A PORTION OF SAUNDERS DRIVE AT WILTON, CONN. SCALE 1" = 100' DEC. 1951" CERTIFIED SUBSTANTIALLY CORRECT BY HARRY E. BRYAN, VICE PRES. CIVIL ENGINEER AND SURVEYOR SAMUEL W. HOYT, JR., CO., INC. So. NORWALK, CONN.

RECORD MAP # 1250, W.L.R. ENTITLED "MAP OF SECTION 1 OF SUGAR LOAF ACRES WILTON, CONN. SCALE 1" = 100' SEPT. 1952" CERTIFIED SUBSTANTIALLY CORRECT BY HARRY E. BRYAN, VICE PRES. CIVIL ENGINEER AND SURVEYOR SAMUEL W. HOYT, JR., CO., INC. So. NORWALK, CONN.

RECORD MAP # 1394, W.L.R. ENTITLED "MAP OF SECTION 2 OF SUGAR LOAF ACRES WILTON, CONN.
SCALE 1" = 100' MAY 4, 1954" CERTIFIED SUBSTANTIALLY CORRECT BY HARRY E. BRYAN, VICE PRES.
CIVIL ENGINEER AND SURVEYOR SAMUEL W. HOYT, JR., CO., INC. So. NORWALK, CONN.

THIS SURVEY WAS PREPARED FOR A SPECIFIED PURPOSED.
ANY USE OTHER THAN THAT WHICH IT WAS ORIGINALLY
INTENDED IS A MISUSE OF THIS INFORMATION AND
RENDERS THE PREPARER'S DECLARATION NULL AND VOID.

UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY
ARE NOT SHOWN.

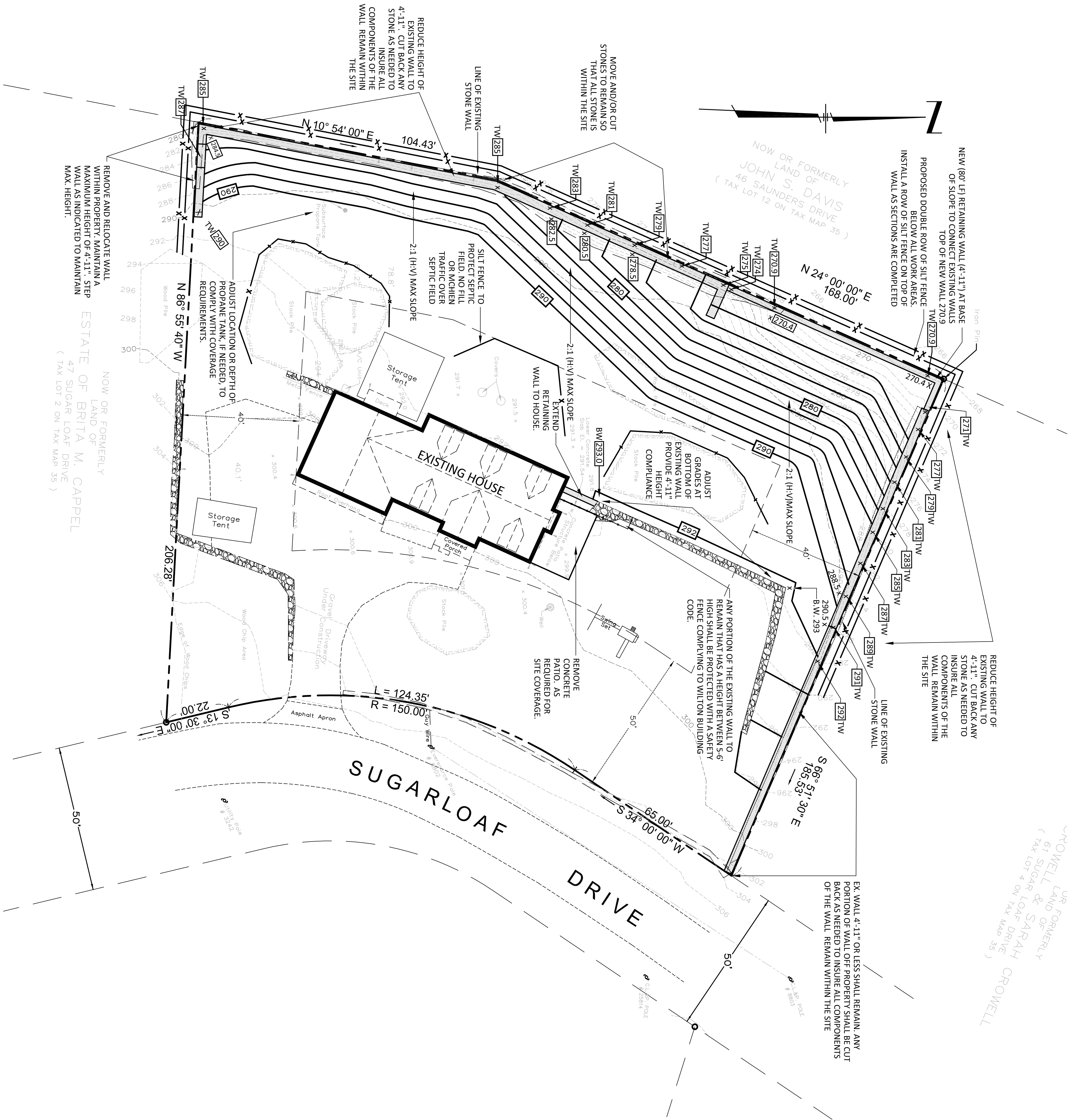
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS
SURVEY, WHICH BEARS THE SURVEYORS STAMP OR SEAL,
RENDERS ANY DECLARATION SHOWN HEREON NULL AND VOID.

THE DECLARATION SHOWN RUNS TO THE PERSON, OR PERSONS
FOR WHOM THE SURVEY WAS PREPARED FOR. THE DECLARATION
IS NOT TRANSFERABLE.

THE SURVEY AND DECLARATION SHOWN HEREON IS
NULL AND VOID WITHOUT THE LICENSED SURVEYORS
LIVE SIGNATURE OR EMBOSSED SEAL.

LOT "21"
AREA = 43,651 SQ. FT.
or 1.0021 ACRES

EMBOSSSED SEAL



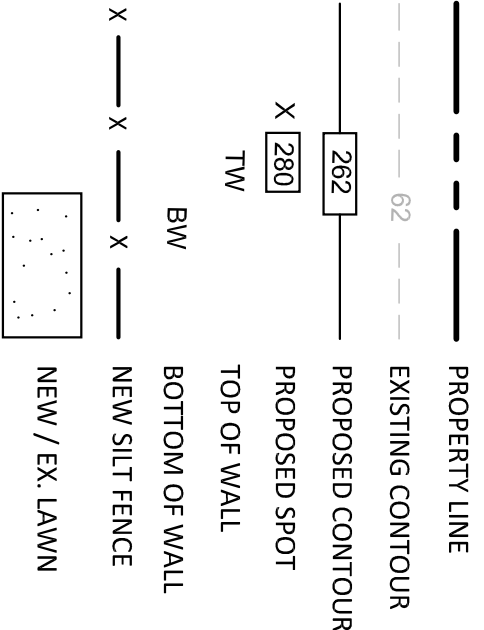
CONSTRUCTION SEQUENCE (GENERAL):

1. THE CONTRACTOR SHALL READ AND COMPLY WITH ALL REQUIRED PRE-CONSTRUCTION PERMIT CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL VERIFYING THE LOCATION OF THE PROPERTY LINE BEFORE START OF WORK.
3. INSTALL A DOUBLE ROW OF SILT FENCE (EROSION CONTROL) AS NOTED AT LIMITS OF SITE WORK PER SITE PLAN. CHECK EROSION CONTROL MEASURES WEEKLY. REPAIR AS NEEDED.
4. WALL DECONSTRUCTION AND SOIL REMOVAL IS EXPECTED TO BEGIN IN THE NORTHWEST CORNER AND PROGRESS SOUTH.
5. FOLLOW CONSTRUCTION SEQUENCE AND SPECIFICATIONS FOR WALL DECONSTRUCTION BY STRUCTURAL CONSULTING SERVICES, P.C. REFER TO PLANS DATED MAY 2023.
6. TEMPORARY SOIL STOCK PILES SHALL BE CONFINED TO EXISTING AREAS ON MAP. ALL STOCK PILES SHALL BE SURROUNDED BY SILT FENCE. ANY EXCESS MATERIAL SHALL BE REMOVED FROM SITE. EXISTING STOCK PILES MAY BE REMOVED TO ADD DECONSTRUCTION SEQUENCE.
7. ESTABLISH NEW WALL HEIGHTS. ALL NEW WALLS ARE PROPOSED AT 4'-11" MAX. HEIGHT. ANY PORTION OF WALLS BETWEEN 5'-6" WILL REQUIRE SAFETY FENCING IN STRUCTURAL ENGINEER FOR NEEDED CERTIFICATIONS.
8. NEWLY CONSTRUCTED AND RECONSTRUCTED WALLS SHALL BE A MINIMUM OF 6" INSIDE OF PROPERTY LINE.
9. REMOVAL ALL EXCESS STONE OFF SITE.
10. ESTABLISH NEW 1:2 (V:H) SLOPE AS NOTED ON PLAN.
11. SPREAD TOPSOIL AND FINE GRADE SITE.
12. PROVIDE STRAW FABRIC OR HYDROSEED FINISHED SLOPE TO ENHANCE GERMINATION VEGETATION GROWTH FOR FINAL STABILIZATION.
13. REMOVE EROSION CONTROLS WHEN SITE SOILS ARE STABLE.
14. SITE CLEAN-UP.

EROSION CONTROL NOTES:

1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION OF DISTURBED SOILS SHALL BE COMPLETED AS SOON AS POSSIBLE.
2. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS NOTED IN THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DEP BULLETIN 34, 2002.
3. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD AS NEEDED AT THE CONTRACTOR'S EXPENSE. THE TOWN WETLAND DEPARTMENT STAFF AND THE PROJECT LANDSCAPE ARCHITECT SHALL HAVE THE AUTHORITY IN DETERMINING THE NEED FOR ADDITIONAL CONTROLS.
4. DISTURBED AREAS TO BE LEFT EXPOSED FOR MORE THAN 21 DAYS SHALL BE SEEDED WITH PERGRASS AT THE RATE OF 1 LB5 PER 1000 SQUARE FEET WITHIN SEVEN DAYS OF THE OCCURRENCE OF THE DISTURBANCE. APPLY SOIL AMENDMENTS AND MULCH AS NEEDED TO ESTABLISH A DENSE, UNIFORM AND HEALTHY VEGETATION STAND OVER SEEDD AREAS.
5. THE SITE CONTRACTOR SHALL UTILIZE METHODS AND MATERIALS FOR THE PREVENTING OF DUST (SOIL) BLOWING ONTO OFFSITE AREAS.
6. THE SITE CONTRACTOR SHALL MAINTAIN AN EXTRA SUPPLY OF SILT FENCE (50' MIN.) AND HAY BALES (25' MIN.) ON THE SITE FOR EMERGENCY REPAIRS.
7. EROSION CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER DURING THE CONSTRUCTION PERIOD AND UNTIL THE SITE SOILS ARE STABILIZED. EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL AND REPAIRED WITHIN 24 HOURS.
8. WHEN POSSIBLE, EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
9. IF CONSTRUCTION OPERATIONS ARE DELAYED FOR ANY REASON ONCE SITE DISTURBANCE HAS OCCURRED, THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER ROUTINE MAINTENANCE AND INSPECTION OF THE EROSION CONTROL MEASURES DURING THIS PERIOD.
10. HYDRO SEED DISTURBED LANDSCAPE AREAS WITH A HYDRAULIC MULCH (SUCH AS FLEXTERIA BY PROFILE) AND A HIGH QUALITY FAST GROWING TURF MIXTURE.
11. SWEEP SITE AND ADJACENT ROADWAYS AS NEEDED TO KEEP THEM CLEAN OF ACCUMULATED SITE SEDIMENTS THROUGHOUT THE PROJECT PERIOD.
12. SEEDD AREAS THAT ARE ON SLOPES ON OR GREATER THAN 10% SHALL BE COVERED WITH AN EROSION CONTROL BLANKET (INCLUDING ANCHOR STAPLES) THAT IS PLASTIC-FREE AND 100% BIODEGRADABLE OR PHOTODEGRADABLE WITHIN TWO YEARS.

LEGEND

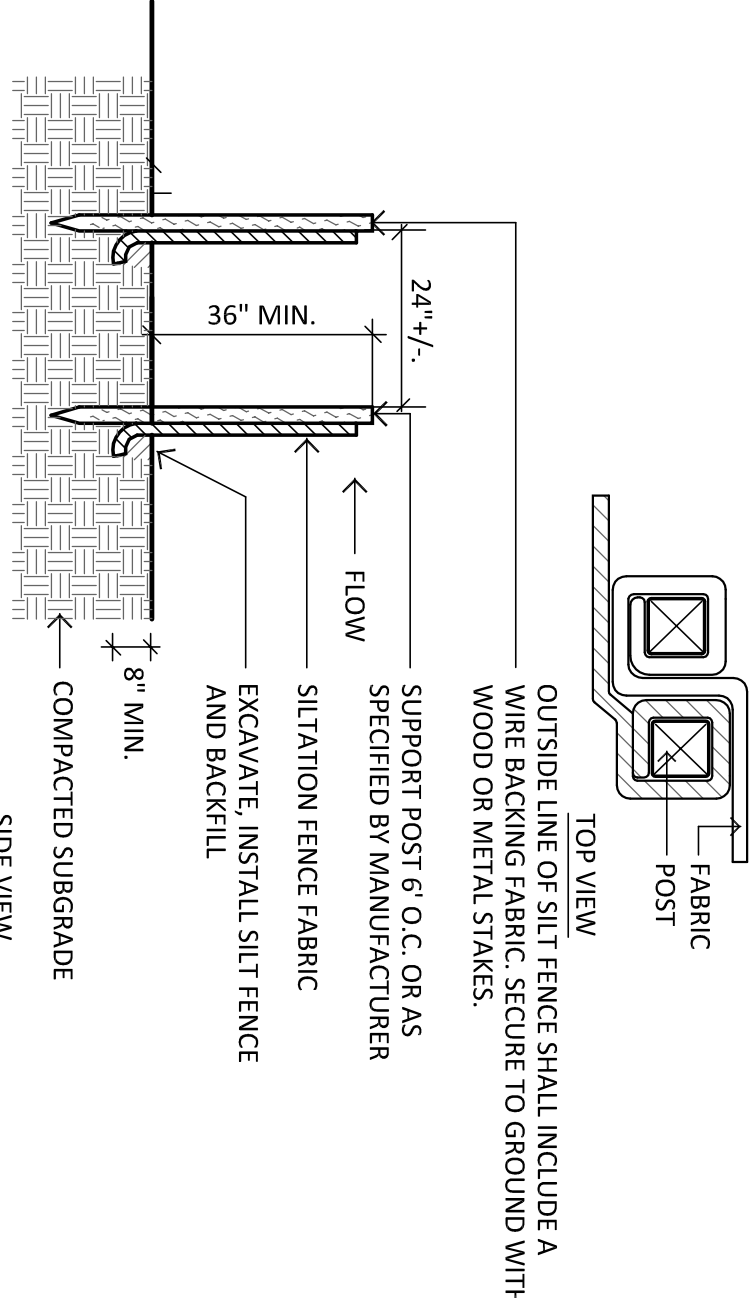


GENERAL NOTES:

1. SURVEY INFORMATION TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC/LOCATION SURVEY", PREPARED BY WALTER SKIDD-LAND SURVEYOR, LLC, REVISED TO MARCH 17, 2023. SEE THIS PLAN FOR ADDITIONAL INFORMATION AND NOTES PRIOR TO THE START OF SITE WORK.
2. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) AND HAVE THE EXISTING UTILITIES LOCATED PRIOR TO THE START OF SITE WORK.
3. PITCH ALL AREAS TO DRAIN.
4. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF THE SITE. NOTIFY THE PROJECT LANDSCAPE ARCHITECT OF ANY DIFFERENCE WITH THAT NOTED ON THE SITE PLANS.

SLOPE STABILIZATION SPECIFICATIONS

1. REGRADE SLOPE TO A MAXIMUM GRADE OF 1:2 (V:H) SLOPE.
2. PROVIDE A MINIMUM OF 4" OF TOPSOIL OVER ENTIRE SLOPE THAT IS TO BE STABILIZED.
3. SOIL TEST: ADD LIME AND FERTILIZER AS RECOMMENDED BY SOIL ANALYSIS. INCORPORATE ANY AMENDMENTS INTO THE SOIL. ALL INCORPORATING ACTIVITIES SHOULD BE DONE IN A MANNER THAT WILL LEAVE THE SOIL ROUGH, WHICH WILL MINIMIZE SOIL EROSION AND RAND RUN-OFF.
4. SEEDING METHOD: HAND SEED, BROADCAST, OR HYDROSEED. ONCE THE SEED HAS BEEN BROADCAST, LIGHTLY RAKE TO COVER THE SEED (APPROX. 1/4"-1/2" DEEP). SEED ENTIRE AREA WITH EQUAL PARTS OF THE FOLLOWING TWO SEED MIXES, BOTH AVAILABLE FROM ERNST CONSERVATION SEEDS (WWW.ERNSTSEED.COM) "QUICK EROSION CONTROL MIX" (ERNMX-104) AND "WARM SEASON GRASS MIX" (ERNMX-117).
5. SEED APPLICATION (WITHOUT HYDROSEEDING) SHALL INCLUDE A STRAW EROSION CONTROL BLANKET. PROVIDE "EC252" STRAW & COIR BLANKET PROVIDED BY PINELANDS NURSERY & SUPPLY (800-667-2729 OR WWW.PINELANDSNURSERY.COM) OR APPROVED EQUAL.



NOTES:

1. POSITION POSTS TO OVERLAP AS SHOWN ABOVE, MAKING CERTAIN THAT FABRIC FOLDS AROUND EACH POST ONE FULL TURN.
2. DRIVE POSTS TIGHTLY TOGETHER AND SECURE TOPS OF POSTS BY TINGING WITH CORRO OR WIRE TO PREVENT FLOW-THROUGH OF BUILT-UP SEDIMENT AT JOINT.

SILT FENCE-DOUBLE ROW

SCALE: NOT TO SCALE

REVISIONS		DRAWING TITLE:
		SITE DEVELOPMENT PLAN
		PROJECT:
		LUPINSKI RESIDENCE
		53 SUGAR LOAF DRIVE
		WILTON, CONNECTICUT
1	6-5-23	REVISE DETAILS, UPDATE WALL HEIGHT.

ENVIRONMENTAL LAND SOLUTIONS, LLC

Landscape Architecture and Environmental Planning

8 KNIGHT STREET, SUITE 203
NORWALK, CONNECTICUT 06851

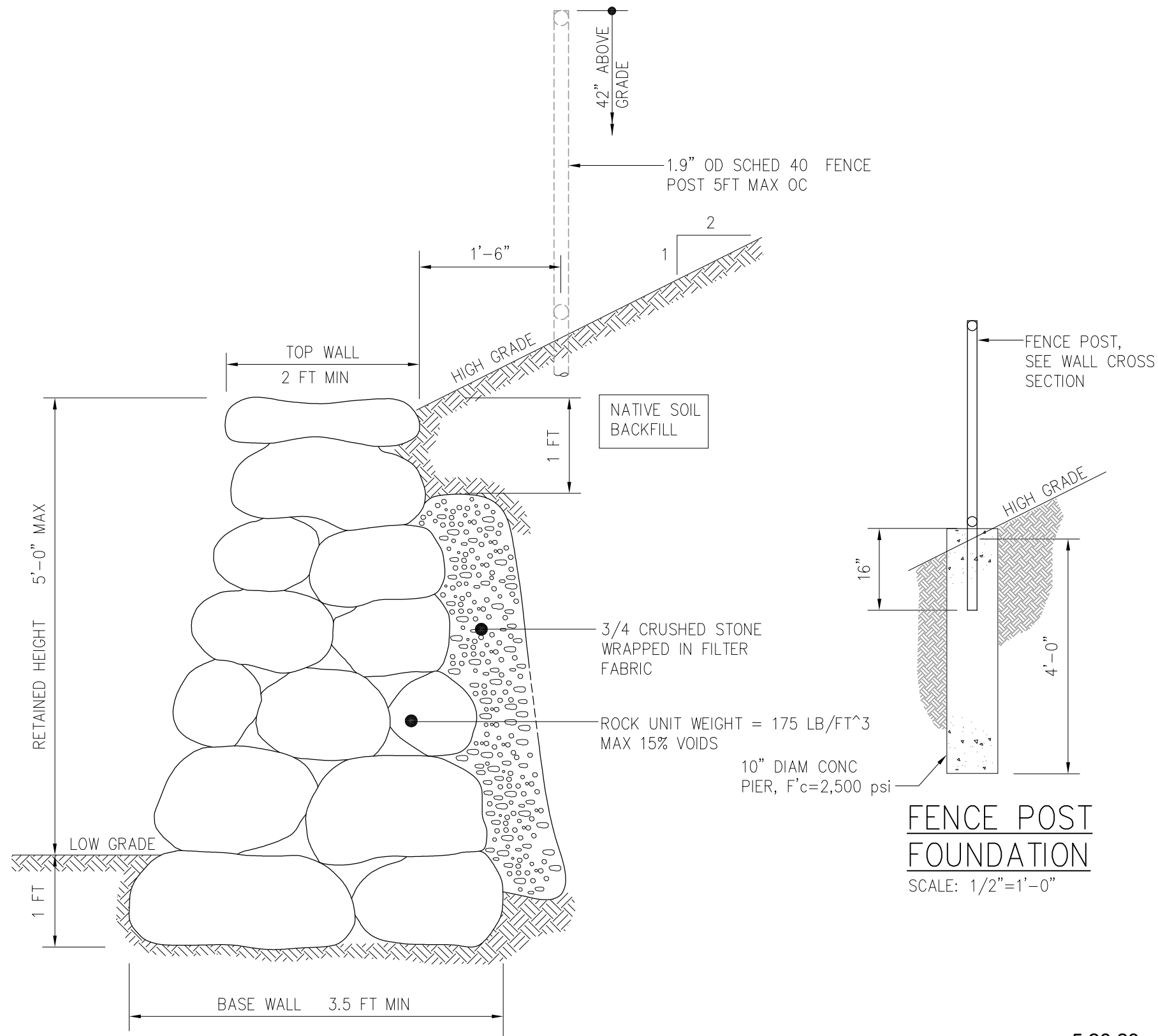
Tel: (203) 855-7879 Fax: (203) 855-7836
info@elslinc.net www.elslinc.net



DATE: MAY 18, 2023

SCALE: 1"=20'

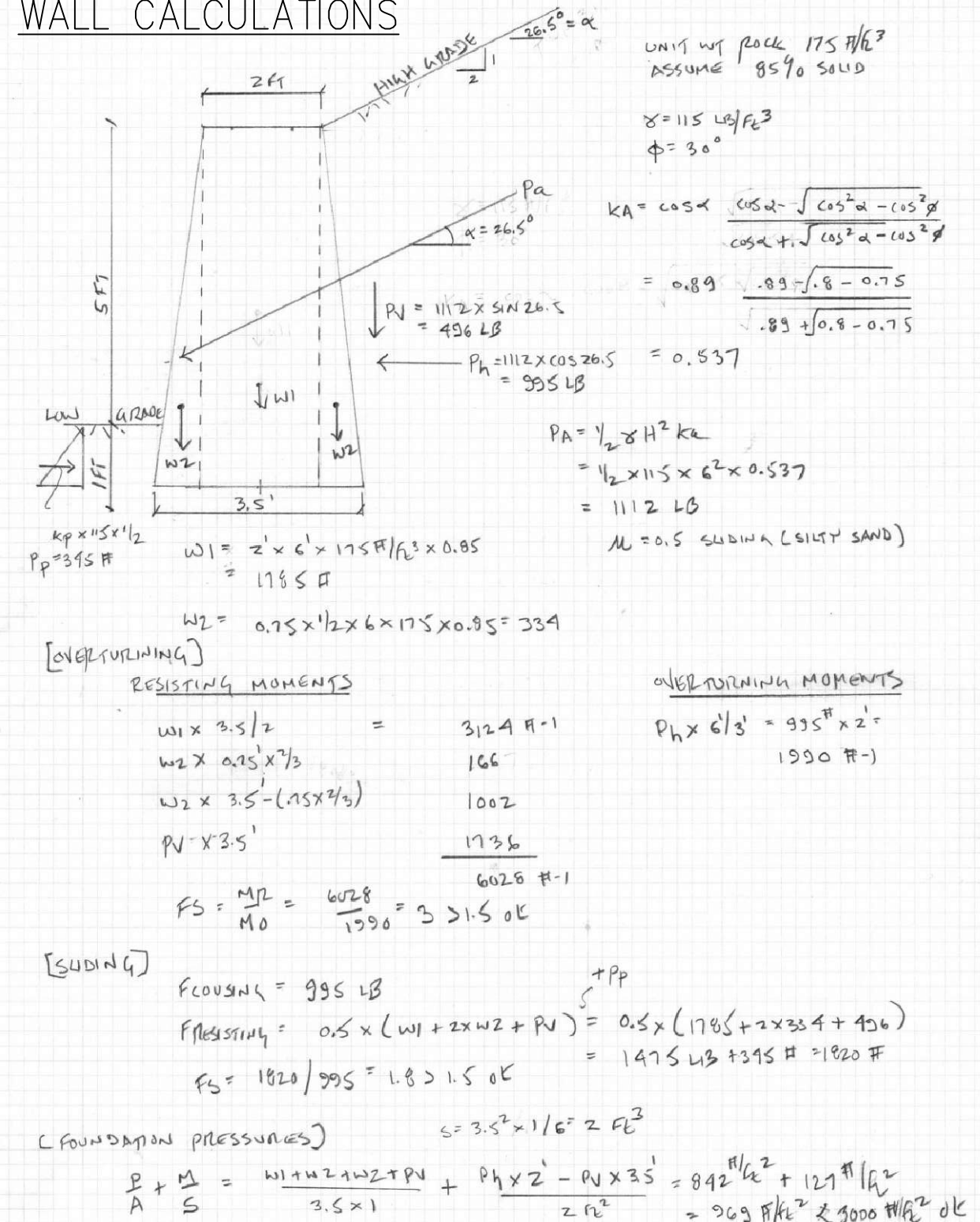
DRAWING NO.: LP.1



WALL CROSS SECTION

SCALE: 3/4"=1'-0"

WALL CALCULATIONS



5.26.23

**S
C
S**

**STRUCTURAL
CONSULTING
SERVICES, P.C.**

67 FEDERAL ROAD, BROOKFIELD, CT 06804
TEL: 203.740.7578 FAX: 203.775.5670

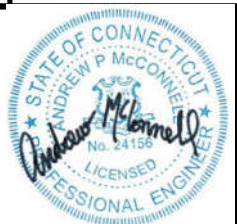
REVISIONS		DRAWING TITLE	
		RETAINING WALL CROSS SECTION	
PROJECT		PROJECT	
		LIPINSKI RESIDENCE	
		53 SUGAR LOAF DRIVE	
		WILTON, CONNECTICUT	
DATE		DATE	
		MAY 2023	
SCALE		SCALE	
		AS NOTED	
DRAWING NO.		DRAWING NO.	
		S-1	

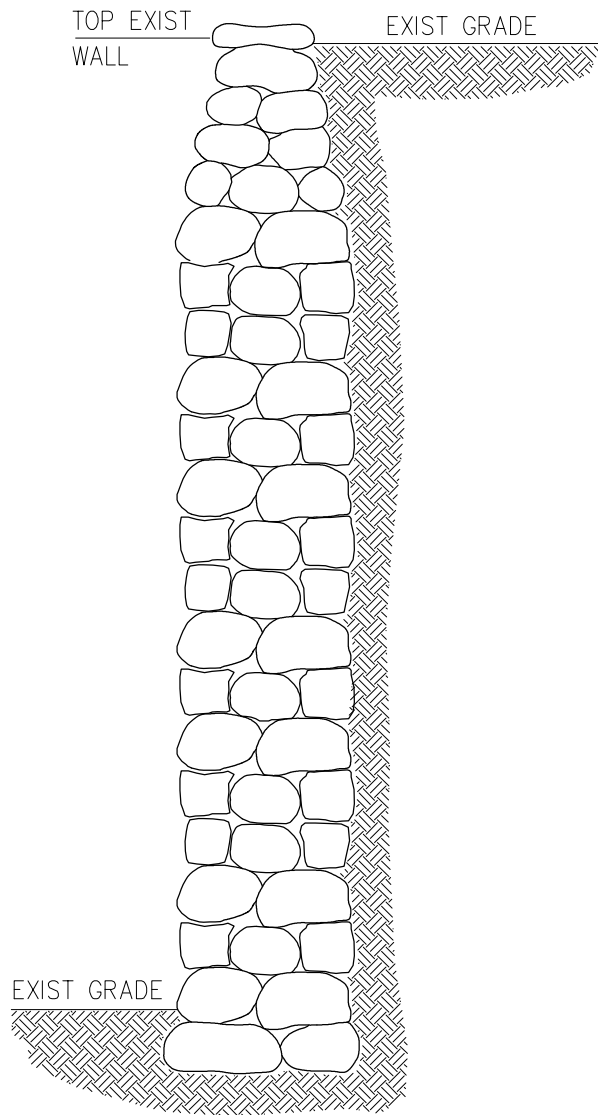


ENVIRONMENTAL LAND SOLUTIONS, LLC
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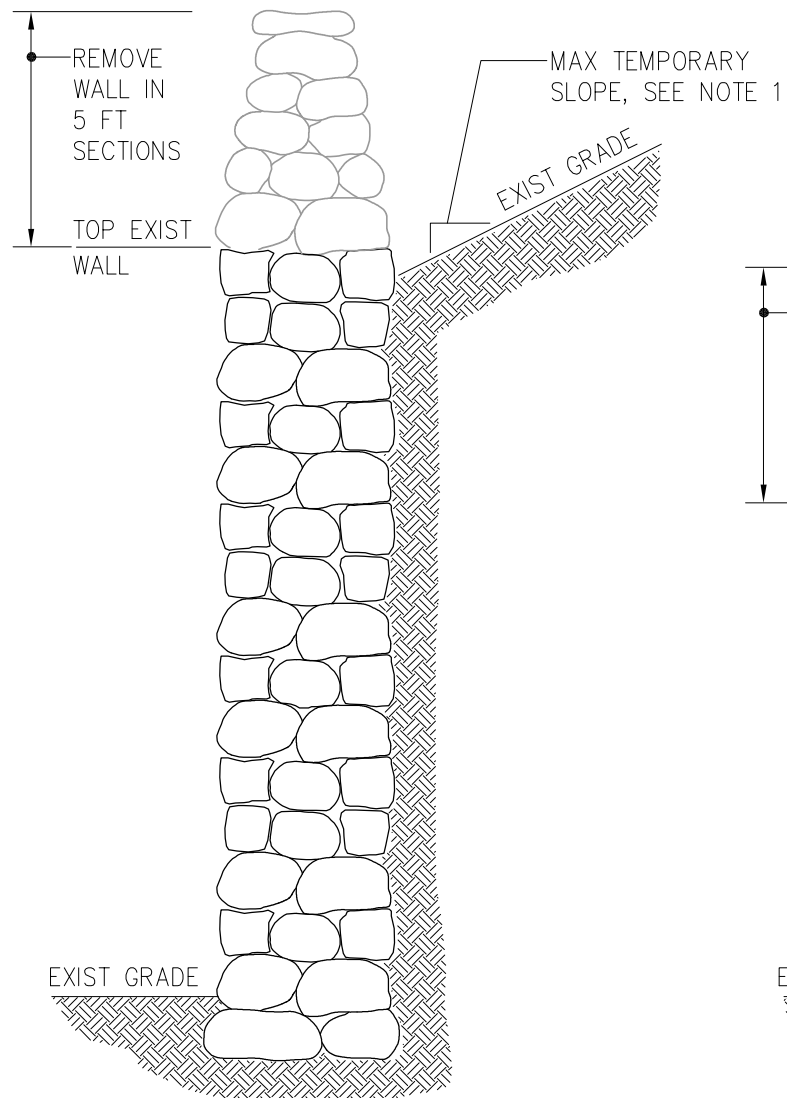
Tel: (203) 855-7879 Fax: (203) 855-7836
Info@elsilc.net www.elsilc.net





EXISTING WALL SECTION

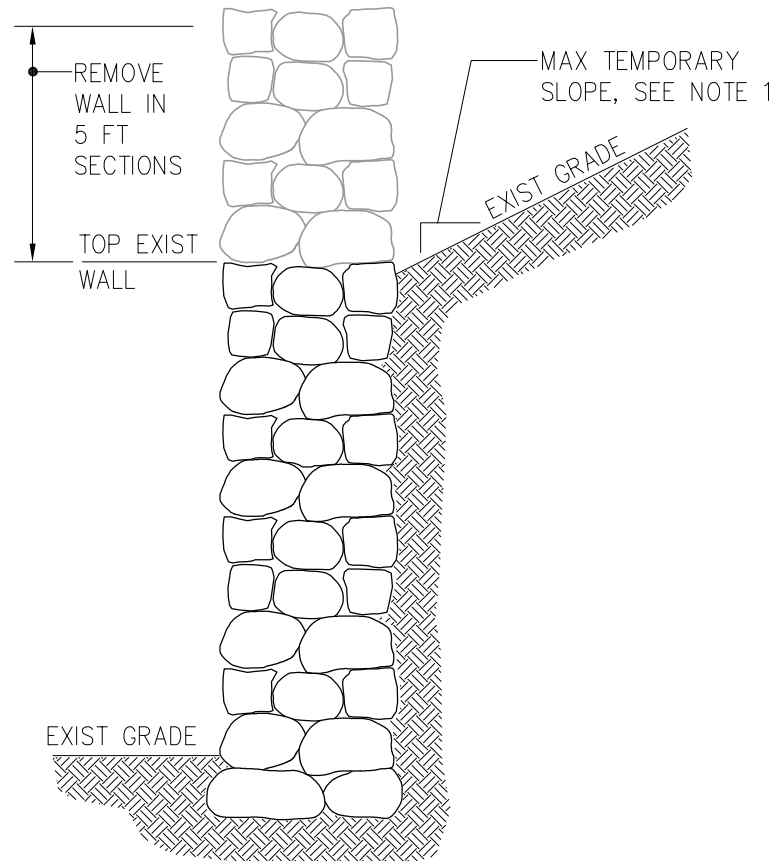
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STAGE 1

EXISTING WALL REMOVAL SECTION

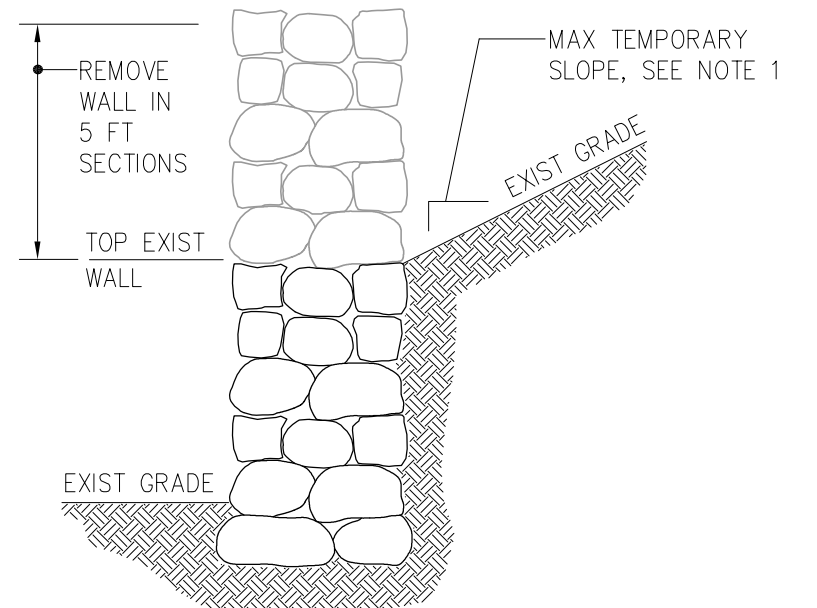
SCALE: 1/4"=1'-0"



STAGE 2

EXISTING WALL REMOVAL SECTION

SCALE: 1/4"=1'-0"



STAGE 3

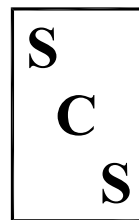
EXISTING WALL REMOVAL SECTION

SCALE: 1/4"=1'-0"

NOTES:

1. MAX SOIL SLOPE 1:1 PER OSHA 1926 SUBPART P APP B "SLOPING AND BENCHING" TYPE B SOIL

5.15.23



**STRUCTURAL
CONSULTING
SERVICES, P.C.**

67 FEDERAL ROAD, BROOKFIELD, CT 06804
TEL: 203.740.7578 FAX: 203.775.5670

REVISIONS			DRAWING TITLE	
			RETAINING WALL REMOVAL	
			PROJECT	
			LIPINSKI RESIDENCE	
			53 SUGAR LOAF DRIVE	
			WILTON, CONNECTICUT	
			DATE	MAY 2023
			SCALE	AS NOTED
			DRAWING NO.	S-2
ENVIRONMENTAL LAND SOLUTIONS, LLC Landscape Architecture and Environmental Planning 8 KNIGHT STREET, SUITE 203 NORWALK, CONNECTICUT 06851 Tel: (203) 855-7879 Fax: (203) 855-7836 Info@elsllc.net www.elsllc.net			STATE OF CONNECTICUT ANDREW P. MCCONNELL No. 24158 LICENSED PROFESSIONAL ENGINEER	