

**WILTON PLANNING AND
ZONING COMMISSION****SITE DEVELOPMENT
PLAN****SDP#**

SITE DEVELOPMENT PLAN: Cite specific section(s) of the Zoning Regulations and provide a detailed description of the proposed development. Attach additional sheets as required.
Section 29 -

SECTION 29-9.c "FILLING OF LAND"
SECTION 29-9.i "SLOPE PROTECTION"
REFER TO PROJECT NARRATIVE FOR ADDITIONAL DETAILS

ROBERT LUPINSKI 53 SUGAR LOAF DRIVE
APPLICANT'S NAME ADDRESS

SAME SAME
OWNER'S NAME ADDRESS

53 SUGAR LOAF DRIVE R-2A
PROPERTY LOCATION ZONING DISTRICT

WLR	VOLUME	PAGE	TAX MAP #	LOT #	ACREAGE
	2155	269	35	3	1.0

THE FOLLOWING MATERIALS ARE REQUIRED:

* Please see [redacted] at:

* All submitted plans and documents shall bear an **original signature, seal, and license number** of the professional responsible for preparing each item. Maps should be **folded, not rolled**.

☒ **VICINITY SKETCH** at a scale of 1"=100' or 1"=200'. Said map shall show all existing zone boundaries, existing buildings and parcels, labeled by their corresponding Tax Map and Lot Number. within 500' of the subject property.

☒ **CLASS A-2 SURVEY MAP** of the subject property.

☒ **SITE DEVELOPMENT PLAN** pursuant to Section 29-11 of the Zoning Regulations.

☒ **FORM B - ZONING DATA.**

☒ **LIST OF PROJECT PROFESSIONALS** including name, firm, address and telephone.

☒ **LETTER OF TITLE** certifying owner of record as of date of the application.

☒ **PROOF OF APPLICANT'S LEGAL INTEREST** in property.

☒ **ANY OTHER PLAN OR DOCUMENT** as required by Zoning Regulations.

☒ **ELECTRONIC SUBMISSION** of all materials, **emailed to**
[redacted] **and** [redacted]

☒ **\$360 FILING FEE + \$50/Unit or \$50/2000 sq. ft.** payable to: **Town of Wilton.**

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted and is responsible for the payment of all legal notices incurred.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

APPLICANT'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE
<i>Robert L. [illegible]</i>	<i>12/22/2013</i>	<i>[illegible]</i>	<i>[illegible]</i>
OWNER'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE

For Planning and Zoning Department Use Only:

Mandatory Referrals - Jurisdiction/Agency		
	Yes	No
Village District Design Advisory Committee (VDDAC):	☐	☐
Architectural Review Board (ARB):	☐	☐
Western Connecticut Council of Governments (WestCOG):	☐	☐
South Norwalk Electric and Water Company (SNEW) Designated Public Watershed:	☐	☐
First Taxing District Water Department Designated Public Watershed:	☐	☐
State-Designated Aquifer Protection Area:	☐	☐
Adjoining Community Notification:	☐	☐

WILTON PLANNING AND ZONING COMMISSION

FORM B - ZONING DATA

Include the following data on the required Site Development Plan, as well.

53 SUGAR LOAF DRIVE

PROPERTY ADDRESS

1.0 AC ± (43,651 ± SF)

LOT ACREAGE

R2A

ZONING DISTRICT

211.36'

LOT FRONTAGE

	PER ZONING REGS (MAX OR MIN ALLOWED)	EXISTING	PROPOSED	TOTAL
GROSS FLOOR AREA [SF]	N/A	10,576 ± SF	- 0 -	10,576 ± SF
BUILDING FOOTPRINT [SF]	N/A	2,845 ± SF		2,845 ± SF
BUILDING COVERAGE [SF/%] (round up)	3055.57 SF (7%)	7.56% 3299 ± SF	(6.79%) 2963 SF	(6.79%) 2963 SF
BUILDING HEIGHT [FT - Story]	2 1/2 STORY (35' ±)	26.07'	-	26.07'
FLOOR AREA RATIO (F.A.R.)	N/A			
PARKING SPACES (round up)	N/A			
LOADING SPACES	N/A			
SITE COVERAGE [SF/%]	5238 SF (12%)	(7.5%) 3300 SF	(6.7%) 2963 SF	(6.7%) 2963 SF

OFF-STREET PARKING AND LOADING CALCULATIONS

Please provide the specific calculation used to determine the minimum required off-street parking and loading spaces pursuant to the Zoning Regulations.

PARKING CALCULATION (Use separate page, if necessary)

N/A

LOADING CALCULATION (Use separate page, if necessary)

N/A

PLAN OF CONSERVATION AND DEVELOPMENT

Please indicate on separate page how this proposal complies with the Plan of Conservation and Development.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein:

Robert Lupinski
APPLICANT'S SIGNATURE

11/02/2020
DATE



Environmental Land Solutions, LLC
Environmental Analysis, Landscape Architecture & Planning

November 15, 2023

Wilton Planning & Zoning Commission
Town Hall Annex
238 Danbury Road
Wilton, CT 06897

Re: Proposed Site Development Plan for Lupinski Residence
Compliance of Existing Retaining Walls and Regrading
53 Sugarloaf Drive, Wilton, CT

Dear Commission Members:

Environmental Land Solutions, LLC (ELS) has been retained by Robert Lupinski to provide this narrative for the Site Development Plan application. This report describes the existing site conditions and the proposed sitework that will bring the site into zoning compliance. Applicable sections of the Zoning Regulations include 29-9.c "Filling of Land," and 29-9-I "Slope Protection."

BACKGROUND

In 2011, ELS was retained to prepare a Site Development Plan application for filling (1000 ± CY) in the rear yard of the site with the formation of a 2:1 (H:V) slope along the western portion of the site. According to Mr. Lupinski, this work commenced in 2011 and has continued to date. The work area now includes several retaining walls along the south, west and northern property lines, varying 3' to 20' ± in height. Some portions of the walls extend off the site by 12-18". These walls were not included in the 2011 approval. The town GIS mapping information reflects that earth filling commenced in 2012 and continued through 2016. Wall construction appears to have started in 2016. The existing walls are visible in the 2019 aerial.

Mr. Lupinski received a "Notice of Violation," from the Zoning Enforcement Officer, on February 22, 2023, for the construction of a retaining wall without a permit. ELS was retained to assist in resolving the matter. A new survey was obtained reflecting the current site condition and Structural and Civil Engineers were retained. A Site Development application and plan have been prepared by ELS that accompanies this narrative.

In July 2023, an application was submitted, and subsequently withdrawn in October 2023. Since that time the team has met with the three of the four adjoining neighbors to discuss their specific concerns regarding their section of the shared wall, its design, and the details on how the wall will be deconstructed. The plans have been revised to include input and accommodations for the neighbor's concerns.

PROPOSED CONDITIONS

The applicant proposes to bring the existing retaining walls and earth fill areas on the property in compliance with the zoning regulation Sections 29-9.C. "Filling of Land" and 29-9.I. "Slope Protection."

The proposed plans have been revised after meetings with each neighbor to create a plan that addresses each of their concerns and needs. The wall is proposed to be deconstructed over a period of 90 days and is proposed to have the following results.

1. The north wall adjoining Crowell's property is 169' ± in length. The eastern portion of the wall will remain where it is 4'-11' or less, except for 80' ± of wall which extends 0-6" ± onto Crowell's property. Wall section extending off the Lupinski's property will be pulled back and align with the remainder of the wall. The remaining taller western portion of the wall will be deconstructed and lowered to a maximum height of 4'-11" in its current location.
2. The western slope and wall, adjoining the Viser's property is 168' ± in length. The existing wall and slope will be deconstructed and removed. A new 65' wall (4'-11" high) will be constructed 10' inside the property line, where no wall exists. This proposed wall will connect the northern wall to a large existing stone that will remain. The existing wall sections will be removed down to the line of base stones. The base stones will be moved back on to the Lupinski property and remain as a property line demarcation, and to aid in supporting the erosion controls during and post construction. Two pine trees will be planted to replace trees previously damaged by the prior site work.
3. The southwestern section of the wall, adjoining the Gromley's property is 104' ± in length. This wall will be deconstructed to a maximum height of 4'-11" and remain in its current location. This wall is located within the Lupinski property.
4. The southern walls adjoining the Cappel's property consist of two separate walls, one 22' ± section in the southwest corner. This wall will be deconstructed to a 4'-11" height and remain in its current location. The second 52' ± section, located midway along the property line, is less than 4'-11" in height and is proposed to remain in place. Parts of these walls extend into the Cappel's site by 0-18".

Additional drainage work is included in this proposal. The existing footing drains will be intercepted and pumped into infiltrator trenches in the northeastern property of the site. Site plans and a drainage report prepared by Peak Engineers, LLC, provide additional details on this element. The result of the new infiltration trenches will eliminate the existing point discharge and provide an overall reduction of stormwater sheet flow leaving the site.

The affected soil areas will be regraded to a 2:1 (H:V) slope. These changes will result in site conditions that will conform to Zoning Regulations Sections 29-9.C. and 29-9.I. During this process, soil will be required to be removed from the site, and topsoil will be imported to finish the slope. Some of the existing soil stockpiles will be removed from the site to enable this work. It is estimated that 1,500 CY will be exported from the site, and 140 CY of topsoil will be imported to the site.

The site plans include two immediate actions that will be done before the spring work begins. These action items are noted on ELS's plan LP-3. With the town's permission item #1 has been completed. Item #2 is expected to be implemented before the ground freezes. These items include.

1. Cutting and capping the existing pipe that is discharging water on to the Viser's property.
2. Install a line of chain link fence and added silt fence on the Viser's property.

ELS' Site Development Plan includes sedimentation and erosion controls (S&E), and a construction sequence for the project. Wall details have been provided by Structural Consulting Services, PC. The property S&E controls will primarily be located at the top of the wall to reduce disruption to the neighbors' properties. The outer silt fence row will be a wire back fencing. However, a section of chain link fence will be installed below the work area in accordance with the locations noted on Structural Consulting Services, P.C. The perimeter controls, when properly installed and maintained, are expected to control sediment and erosion controls, and contain small rocks. All machines used for the sitework will remain within the Lupinski property.

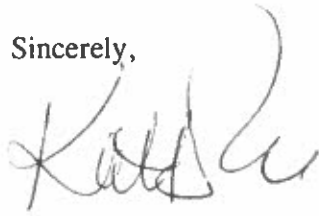
The walls will be deconstructed, in accordance with the phasing plan prepared by ELS and Structural Consulting Services, P.C. beginning at the northern wall and working counterclockwise around the site, until the site is in conformance with the plans. The wall deconstruction will be initiated by removing earth behind the wall and removing stone by shifting the stone into the lowered area and removing the stones off the site. This will be completed in 5' lifts. All walls will be reduced to a maximum height of 4'-11." Site work will be reviewed during construction by the project's Engineers, and Landscape Architect to provided needed compliance for site and wall certification.

Site work will begin by removing the soil stockpiles in the back yard off the site. Onsite soil stockpile will be restricted to these existing areas. The wall deconstruction will begin by reducing the existing soil slope in the northwestern corner of the site and creating a machine

access route to the northwest corner of the site. The wall work will begin with the construction of the new 4'-11" high retaining, 65' length along the northwest corner of the site where a wall is not constructed today. The site work will progress south from there. The footing drain infiltrators will be installed after the wall is completed.

Work is expected to take place in the spring of 2024, as soon as the weather permits. Sitework is expected to be completed within 90 days from the start date. Seeding and mulching over the finished soil surface will occur as the work is complete and will be allowed to naturalize into a wooded vegetated cover. Finished areas will be seeded and mulched with an erosion control blanket to aid germination and vegetation growth.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Kate Throckmorton', written in a cursive style.

Kate Throckmorton, ASLA
Landscape Architect

Sugarloaf Drive 53-Wilton nar3.wpd

Project Processionals

Proposed Site Development Plan for Wall compliance & Site Grading

Lupinski Residence
53 Sugar Loaf Drive
Wilton, CT 06897
Map# 35, Lot #3

1. Kate Throckmorton, Landscape Architect
Environmental Land Solutions
8 Knight Street, Ste# 203
Norwalk , CT 06851
2. Andrew P. McConnell, Principle
Structural Consulting Services, PC
67 Federal Road
Brookfield, CT 06804
3. Walter Skidd
WALTER H. SKIDD - LAND SURVEYOR LLC
1992 Stratfield Road
Fairfield, CT 06825
4. James D'Alton Murphy, Esq
Gregory & Adams
190 Old Ridgefield Road
Wilton, Connecticut 06897

Environmental Land Solutions, LLC

Landscape Architecture & Environmental Planning
8 Knight St., Suite 203, Norwalk, CT 06851
Tel: (203) 855-7879 Fax: (203) 855-7836

35-1
PRESTA ANTHONY & SHANNON
37 SUGAR LOAF DR
WILTON CT 06897

35-4
CROWELL DAVID & SARAH SV
61 SUGAR LOAF DR
WILTON CT 06897

35-10
DUFFY A P
66 SAUNDERS DR
WILTON CT 06897

35-13
GORMLEY MARGARET WELZ
130 SAUNDERS DR
FAIRFIELD CT 06824

35-16
OGRADY RICHARD M
8 FAIRVIEW LA
WILTON CT 06897

35-19
CONNECTICUT STATE OF
2800 BERLIN TPKE
NEWINGTON CT 06131

35-31
SOCCI PHILIP D JR &
72 SUGAR LOAF DR
WILTON CT 06897

35-34
SANTARSIERO JOSEPH III
38 SUGAR LOAF DR
WILTON CT 06897

35-40-2
BISCEGLIE JUSTIN & KAITLIN &
33 TIMBER TOP TR
WILTON CT 06897

48-50-1
CONNECTICUT STATE OF
2800 BERLIN TPKE
NEWINGTON CT 06131

35-2
CAPPEL BRITA M EST OF
2161 CAPES COVE DR
SHERRILLS FRD NC 28673-9

35-5
HINSHAW JOHN T & LESLIE C
71 SUGAR LOAF DR
WILTON CT 06897

35-11
MOTYKA ELENA L
58 SAUNDERS DR
WILTON CT 06897

35-14
GOLDBAS JAKE &
24 FAIRVIEW LA
WILTON CT 06897

35-17
BRIAN LAPREZIOSA WC
25 FAIRVIEW LA
WILTON CT 06897

35-20
CONNECTICUT STATE OF
2800 BERLIN TPKE
NEWINGTON CT 06131

35-32
MARCONE SUE
64 SUGAR LOAF DR
WILTON CT 06897

35-35
ANDRIUK ALEXANDER
28 SUGAR LOAF DR
WILTON CT 06897

35-41-1
GABRIELE RICHARD & JONNA MARIE
PO BOX 7014
WILTON CT 06897

35-3
LUPINSKI ROBERT & ANNA
53 SUGAR LOAF DR
WILTON CT 06897

35-6
JOHNSON DAVID L & ROBIN A
79 SUGAR LOAF DR
WILTON CT 06897

35-12
DAVIS JOHN S
46 SAUNDERS DR
WILTON CT 06897

35-15
KANG JUDITH & MEI TOMMY & SV
20 FAIRVIEW LA
WILTON CT 06897

35-18
CONNECTICUT STATE OF
2800 BERLIN TPKE
NEWINGTON CT 06131

35-30
GUNDELL CAROLYN R
80 SUGAR LOAF DR
WILTON CT 06897

35-33
MUPPALLA NARASIMHA &
48 SUGAR LOAF DR
WILTON CT 06897

35-40-1
SUH SUN D
31 TIMBER TOP TR
WILTON CT 06897

47-25
PRIEST JOHN E & HEATHER L
19 FAIRVIEW LA
WILTON CT 06897

RETURN TO
DAVID B. HERSCHORN, ESQ.
138 GOODHILL ROAD
WESTON, CT 06893

CONFEEDIT WARRANTY DEED SURVIVORSHIP

To all People to Whom these Presents Shall Come,
Greetings: *Know Ye, That*

ELIZABETH A. QUINN of Lincolnton, NJ, acting herein by William Martin, her
attorney-in-fact

for the consideration of Three Hundred Forty-five Thousand One Hundred Fifty and no/100
(\$345,150.00) DOLLARS

received to my full satisfaction of

ROBERT LUPINSKI and ANNA LUPINSKI of 7 Mallard Road,
Norwalk, CT

do give, grant, bargain, sell and confirm unto the said
ROBERT LUPINSKI and ANNA LUPINSKI

and unto the survivor of them, and unto such survivor's heirs and assigns forever

SEE SCHEDULE A ATTACHED HERETO AND MADE A PART HEREOF

Conveyance Tax Received
TOWN \$ 862.88 STATE \$ 1725.75

Betty Joan Rasognetti
Town Clerk of Milton

info

10-14-15

**Mike's Septic Service
11 Maurice Street
Norwalk, CT 06851
(203) 852-8885**

April 18, 2023

rlupinskillc@gmail.com

Premises: 53 Sugarloaf Drive
Wilton, Connecticut

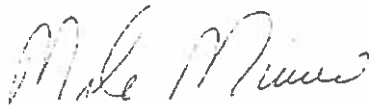
After being requested to complete a septic inspection at the above address, my findings are as follows:

I found a 1,000 gallon septic tank in the rear of the house. I exposed the access cover and found that the septic tank was structurally sound and in good condition.

I pumped the septic tank at the time of the inspection.

I walked and probed where the existing leaching fields are located and found nothing wet. At this time, the leaching fields are working properly and show no visible signs of failure.

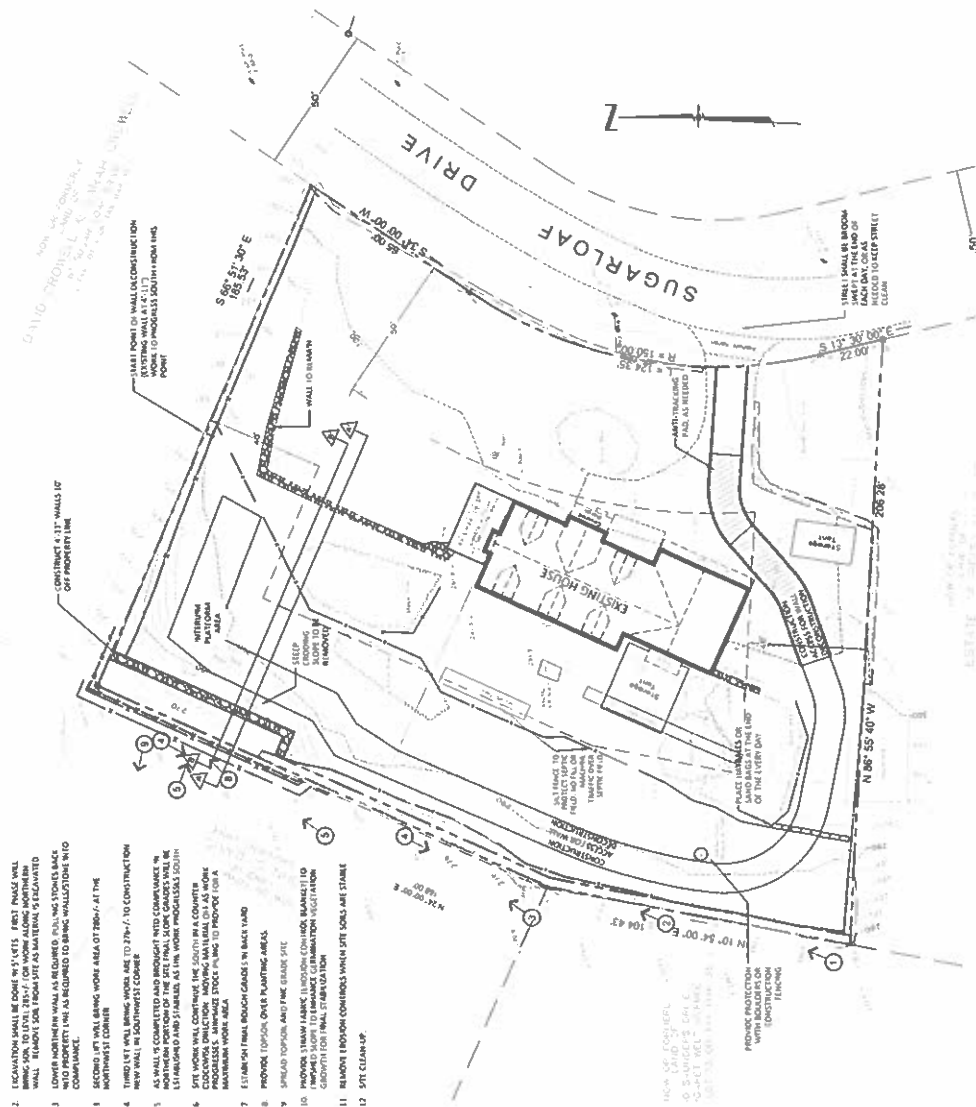
Respectfully Submitted



Michael Maiorino
CT Lic#5548

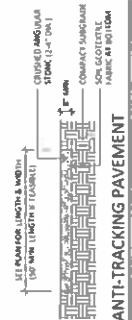
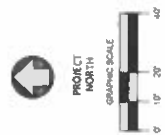
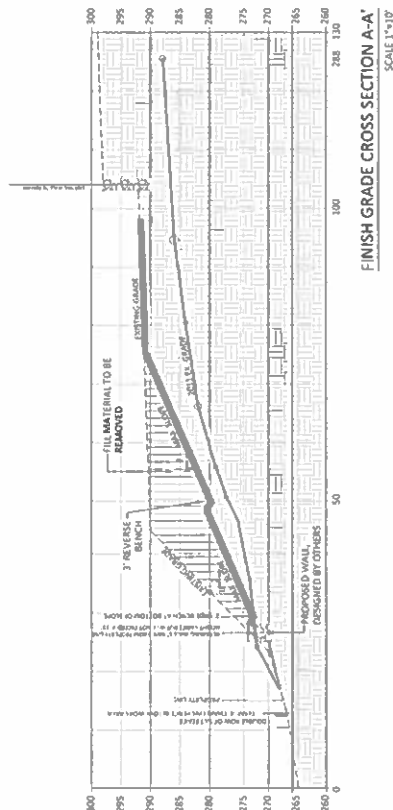
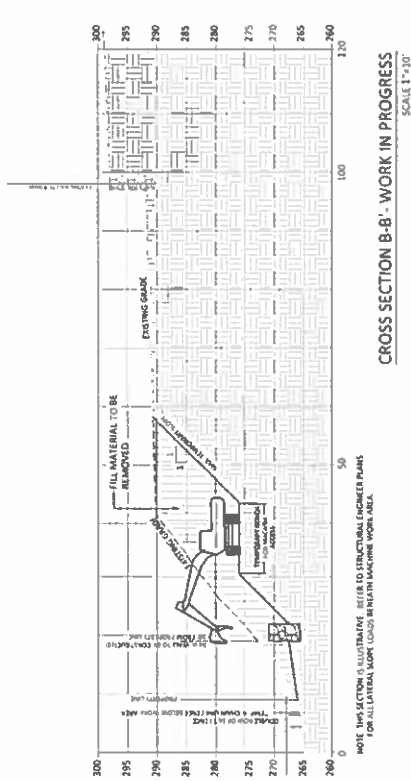
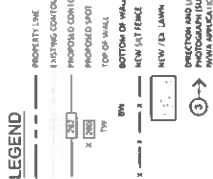
1. MACHINE ACCESS SHALL BE AROUND THE SOUTH SIDE OF THE HOUSE OVER PREVIOUS ACCESS ROUTE.

- [illegible]



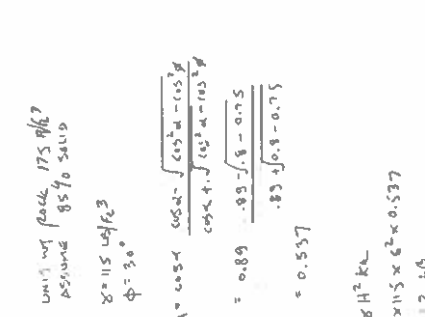
1. SURVEY INFORMATION TAKEN FROM A PLAN ENTITLED "PROPOSED RECONSTRUCTION OF THE WESTERN AVENUE OVERPASS AND RAMP" BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION, DATED MARCH 12, 2013. SEE THIS PLAN FOR ADDITIONAL INFORMATION AND NOTES PRIOR TO THE START OF SITE WORK.
2. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 1-800-952-4685 AND OBTAIN THE LATEST UTILITY LOCATIONS PRIOR TO THE START OF SITE WORK.
3. PREPARE ALL AREAS TO DRAIN.
4. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF THE SITE. NOTIFY THE PROJECT LANDSCAPE ARCHITECT OF ANY DIFFERENCE WITH THAT NOTED ON THE SITE PLANS.

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[illegible]

LP.2

WALL CALCULATIONS



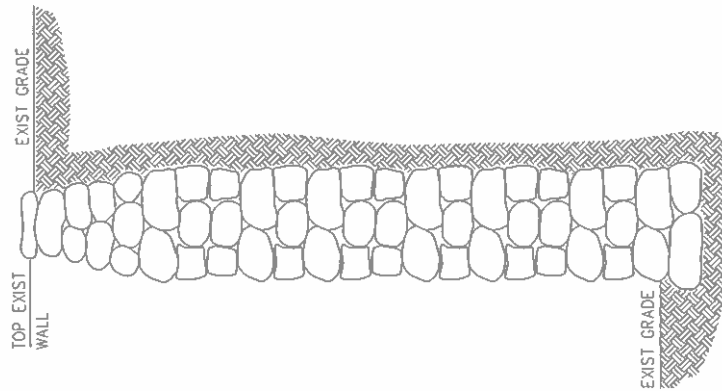
OTL REPORT
CONTAINING MATERIAL CONCERNING

RETAINING WALL CROSS SECTION

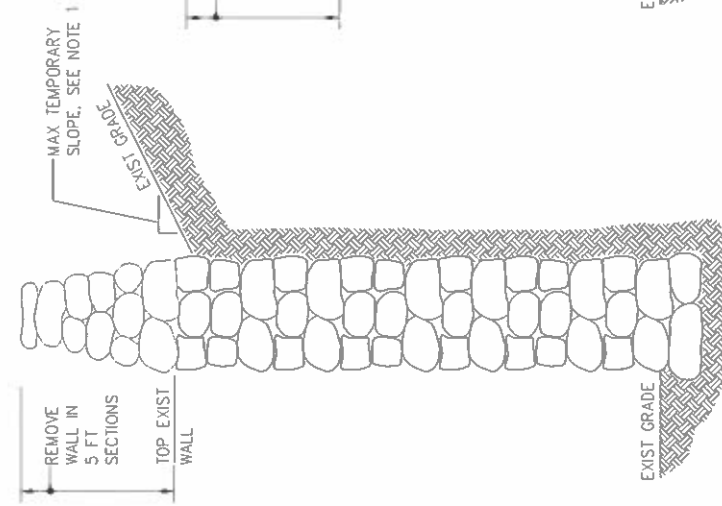
LIPINSKI RESIDENCE

L'IPINSKI RESIDENCE

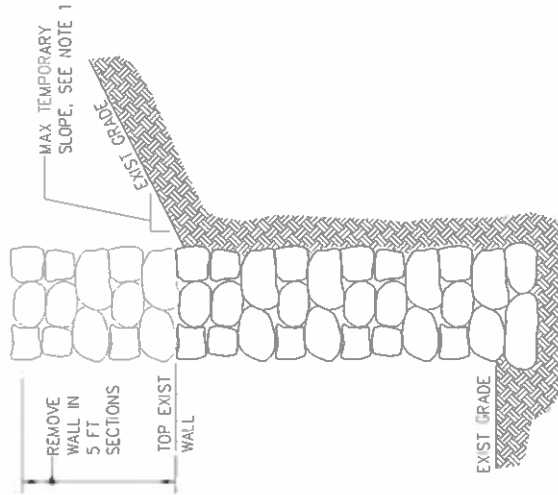
PROJECTED	LUPINSKI RESIDENCE 63 SUGAR LOAF DRIVE WILTON, CONNECTICUT
DATE	MAY 2023
STATUS	AS NOTED
DESIGNER	BRADLEY BSA



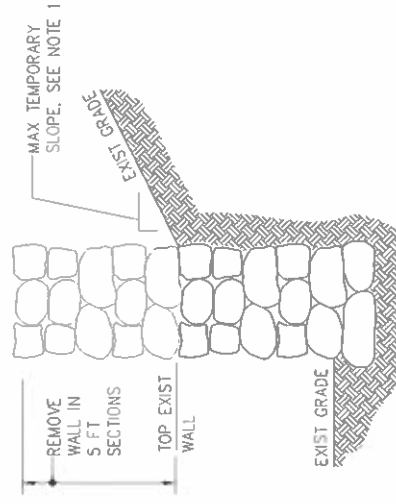
EXISTING WALL SECTION
SCALE: 1/4"=1'-0"



EXISTING WALL REMOVAL SECTION



EXISTING WALL REMOVAL SECTION



EXISTING WALL REMOVAL SECTION
SCALE: 1/4"=1'-0"

NOTES:

1. MAX SOIL SLOPE 1:1 PER OSHA 1926 SUBPART P APP B
"SLOPING AND BENCHING" TYPE B SOIL.

5.15.23

S C S
**STRUCTURAL
CONSULTING
SERVICES, P.C.**
67 FEDERAL ROAD, BROOKFIELD, CT 06804
TEL: 203.740.7578 FAX: 203.775.5670

DATE	MAY 2023
REMARKS	AS NOTED
MEASURED BY	measured by
S-2	

LIPINSKI RESIDENCE
63 SUGAR LOAF DRIVE
WILTON, CONNECTICUT



ENVIRONMENTAL LAND SOLUTIONS, LLC
 Landscape Architecture and Environmental Planning
 8 DOWNTOWN STREET, SUITE 303
 NORWALK, CONNECTICUT 06851
 Tel: (203) 855-7879 Fax: (203) 855-7850
 info@elsllc.com www.elsllc.com

© 2023 ELS ARCHITECTURE
 ALL RIGHTS RESERVED

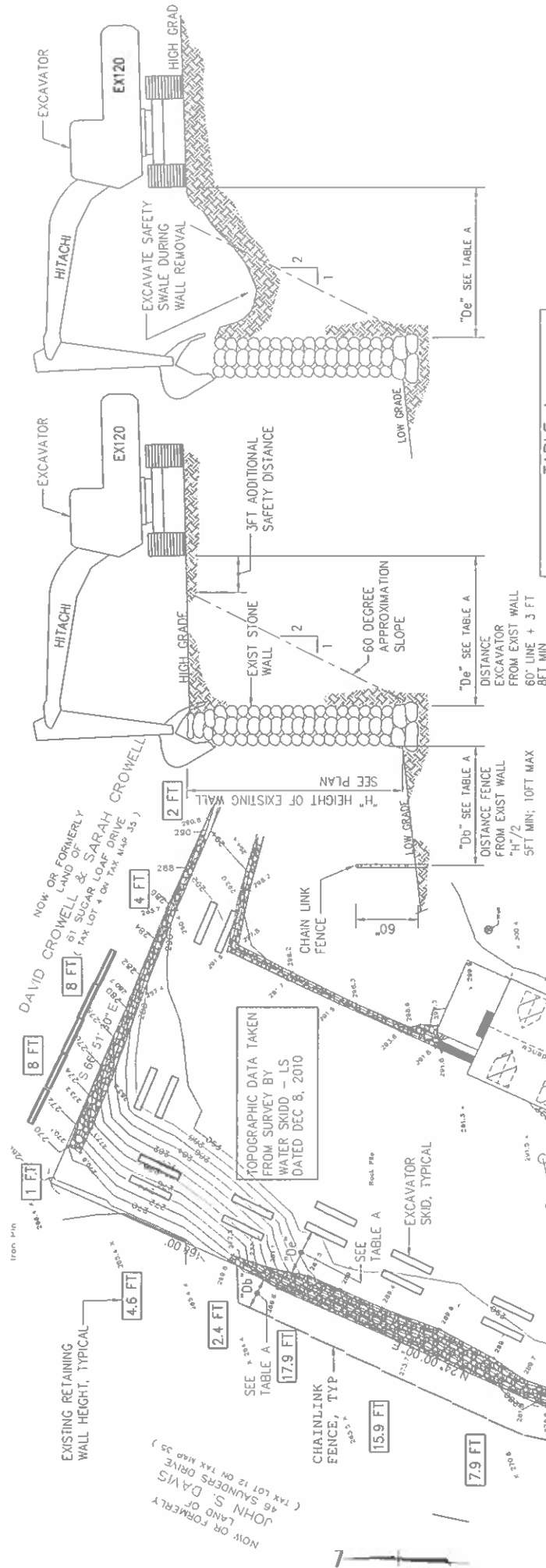


TABLE A

FENCE DISTANCE IN FRONT WALL & EXCAVATOR DISTANCE BEHIND WALL

"H"	"Db"	"De"
18 FT	9 FT	12.5 FT
15 FT	7.5 FT	11 FT
12 FT	6 FT	9.5 FT
9 FT	5 FT	8 FT

EXCAVATOR & FENCE CLEARANCE
SECTION FROM EXISTING STONE WALL
SCALE: 1/8" = 1'-0"

STRUCTURAL CONSULTING SERVICES, P.C.
67 FEDERAL ROAD, BROOKFIELD, CT 06804
TEL: 203.740.7578 FAX: 203.775.5670

EXCAVATOR & SAFETY BARRIER CLEARANCE PLAN
SCALE: 1" = 30 FT

ENVIRONMENTAL LAND SOLUTIONS, LLC
6 EIGHT STREET SUITE 200
NORWALK, CONNECTICUT 06851
TEL: (203) 255-7878 FAX: (203) 835-7858
info@els.net www.els.net



PROJECT	RETAINING WALL CLEARANCES
CLIENT	LIPINSKI RES DENCE 53 SUGARLOAF DRIVE WILTON, CONNECTICUT
DATE	AUG 2023
STATUS	AS NOTED
DESIGNER	S-3

9.10.23



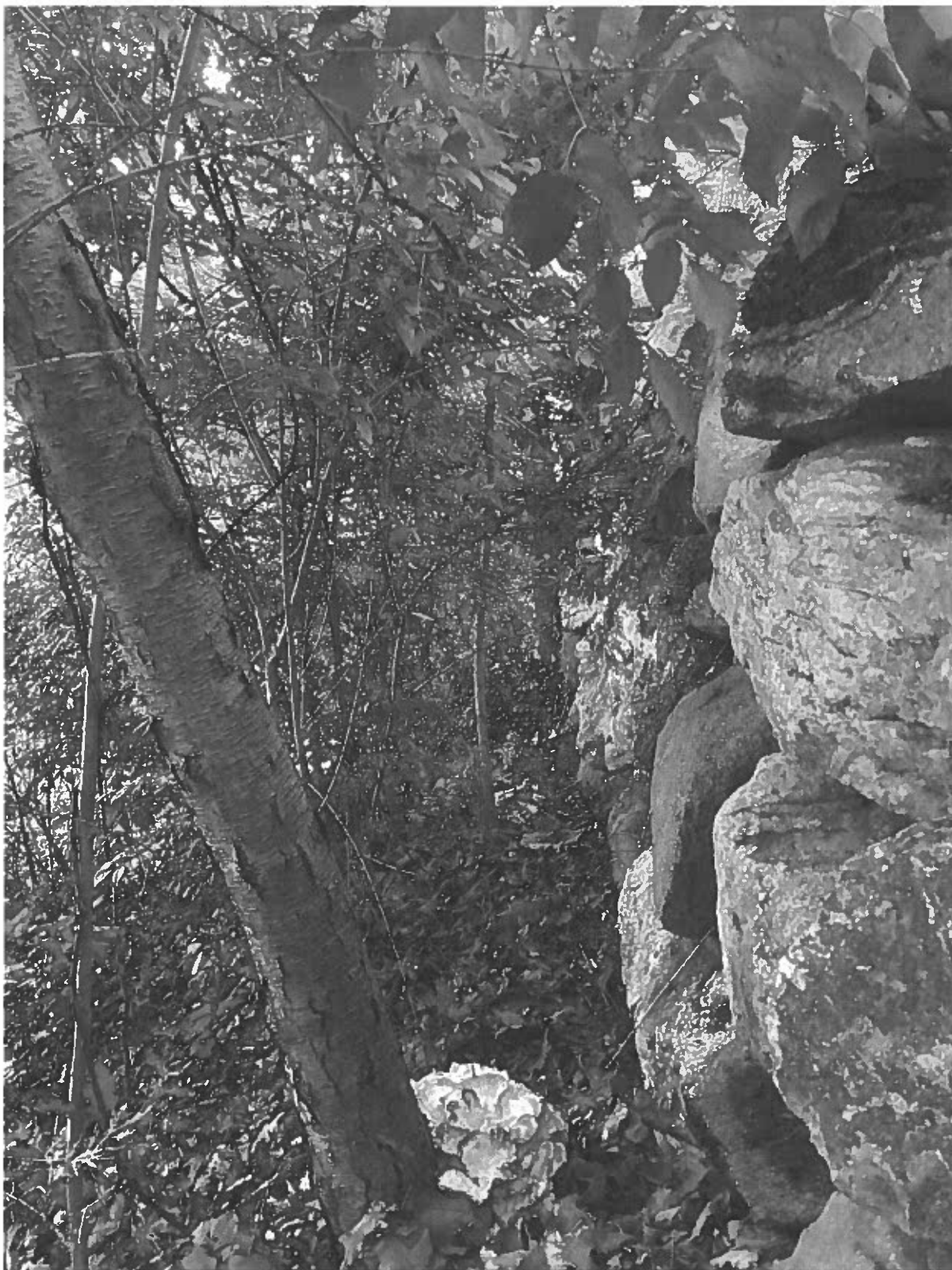


Photo #1: Wall at southwest property corner.

Photo Date: 8-2-23
Environmental Land Solutions, LLC

Site Photos
53 Sugar Loaf Drive, Wilton

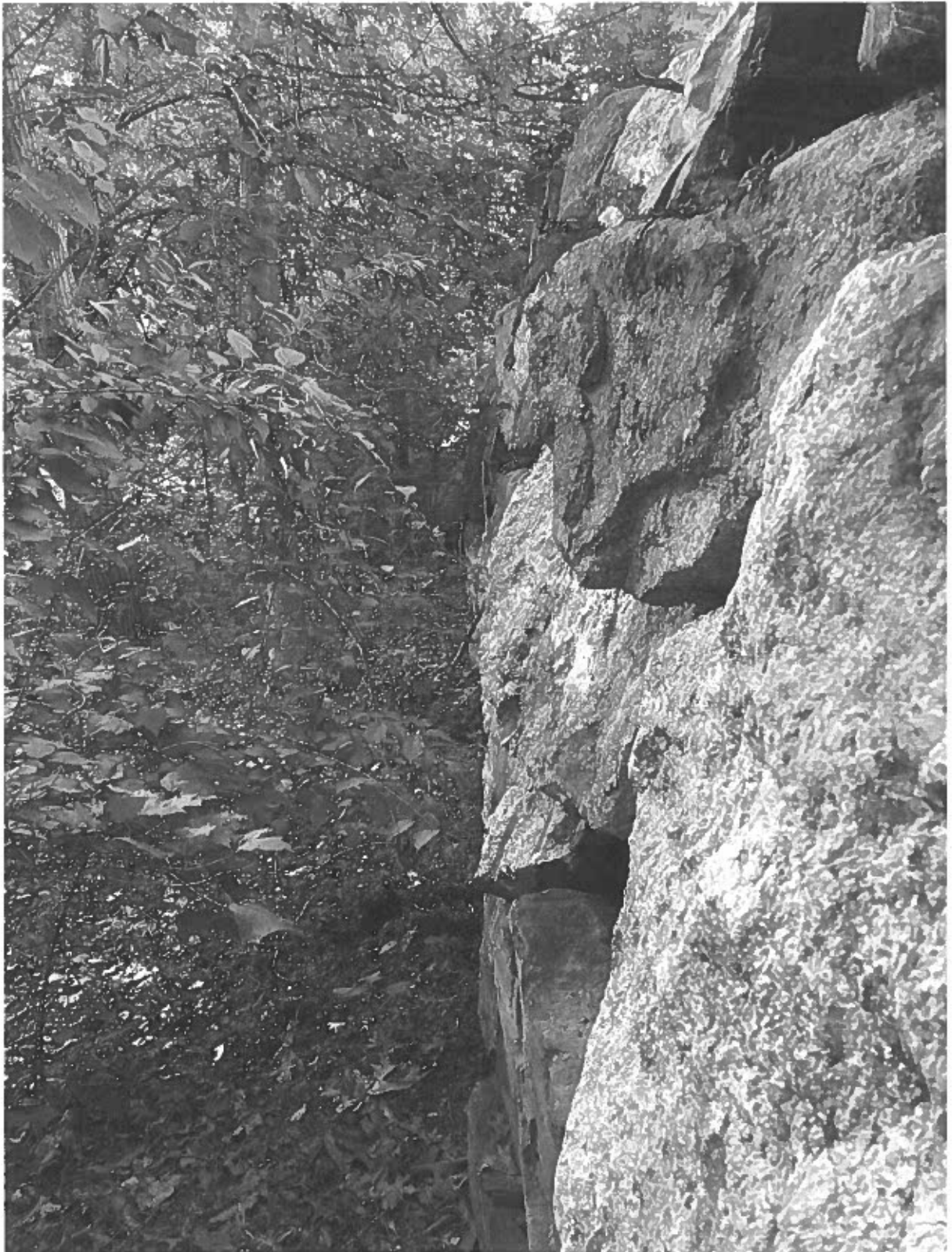


Photo #2: Looking north along western property line.

Photo Date: 8-2-23
Environmental Land Solutions, LLC

Site Photos
53 Sugar Loaf Drive, Wilton



Photo #3: Looking north along 53 western property line near the 40/46 Sugar loaf Drive corner.

Photo Date: 8-2-23
Environmental Land Solutions, LLC

Site Photos
53 Sugar Loaf Drive, Wilton



Photo #4: Looking south along property line near 40/46 Sugar Loaf Drive corner of completed portion of wall.

Photo Date: 8-2-23
Environmental Land Solutions, LLC

Site Photos
53 Sugar Loaf Drive, Wilton



Photo #5: Looking north along property line, one impacted tree from wall.

Photo Date: 8-2-23
Environmental Land Solutions, LLC

Site Photos
53 Sugar Loaf Drive, Wilton



Photo #6: Looking east from 46 Sugare Loaf Drive - misc. fill in unfinished wall to be removed.



Photo #7: Looking south along 46/53 Sugar Loaf of property line.

Photo Date: 8-2-23
Environmental Land Solutions, LLC

Site Photos
53 Sugar Loaf Drive, Wilton



Photo #8: Taken from 46 Sugar Loaf Drive, looking north along property line.



Photo #9: Soil sedimentation at 46 Sugar Loaf Drive.

Photo Date: 8-2-23
Environmental Land Solutions, LLC

Site Photos
53 Sugar Loaf Drive, Wilton