

1 DEMOLITION PLAN - (GROSS AREA = ±1,700 SQ. FT.)
SCALE: 1/4" = 1'-0"

- LEGEND:**
- EXISTING WALL (TO REMAIN)
 - ELEMENTS TO BE DEMOLISHED
 - NEW WALL TO BE CONSTRUCTED/INFILLED

DRAWN: RK		CHECKED: RK	
<p>NOTES:</p> <p>1. THESE DRAWINGS MAY BE A SUBJECT OF UNAUTHORIZED MODIFICATIONS PERFORMED BY AN UNAUTHORIZED INDIVIDUAL AND/OR AGENT AND CAN NOT BE VERIFIED FOR ACCURACY OR COMPLETENESS. THE INFORMATION SHOWN ON THESE DRAWINGS SHALL BE DEEMED NULL (VOID) AND INVALID IF PRESENTED AND/OR FILED WITHOUT A VERIFIABLE SEAL AND SIGNATURE OF THE ARCHITECT.</p>			
NO.	REVISION/ISSUE		DATE

SEALS:

STATE OF CONNECTICUT
RAMIZ KHODA
No. 14055
LICENSED ARCHITECT

SealPact 2024-04-05 10:09:57 EST
Click seal or scan QR Code for verification; otherwise not valid.

ARCHITECT:

RK
Ramiz Khoda
Consulting & Design, LLC
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TAMPA, FL 33647
TEL.: (860) 880-1786

OWNER:

CALITRI PROPERTIES LLC
46 DANBURY ROAD
WILTON, CT 06897

APPLICANT:

AM GROUP US, LLC
7 NORTH WASHINGTON STREET - SUITE 200
PLAINVILLE, CT 06062
(860) 937-9040

PROJECT:

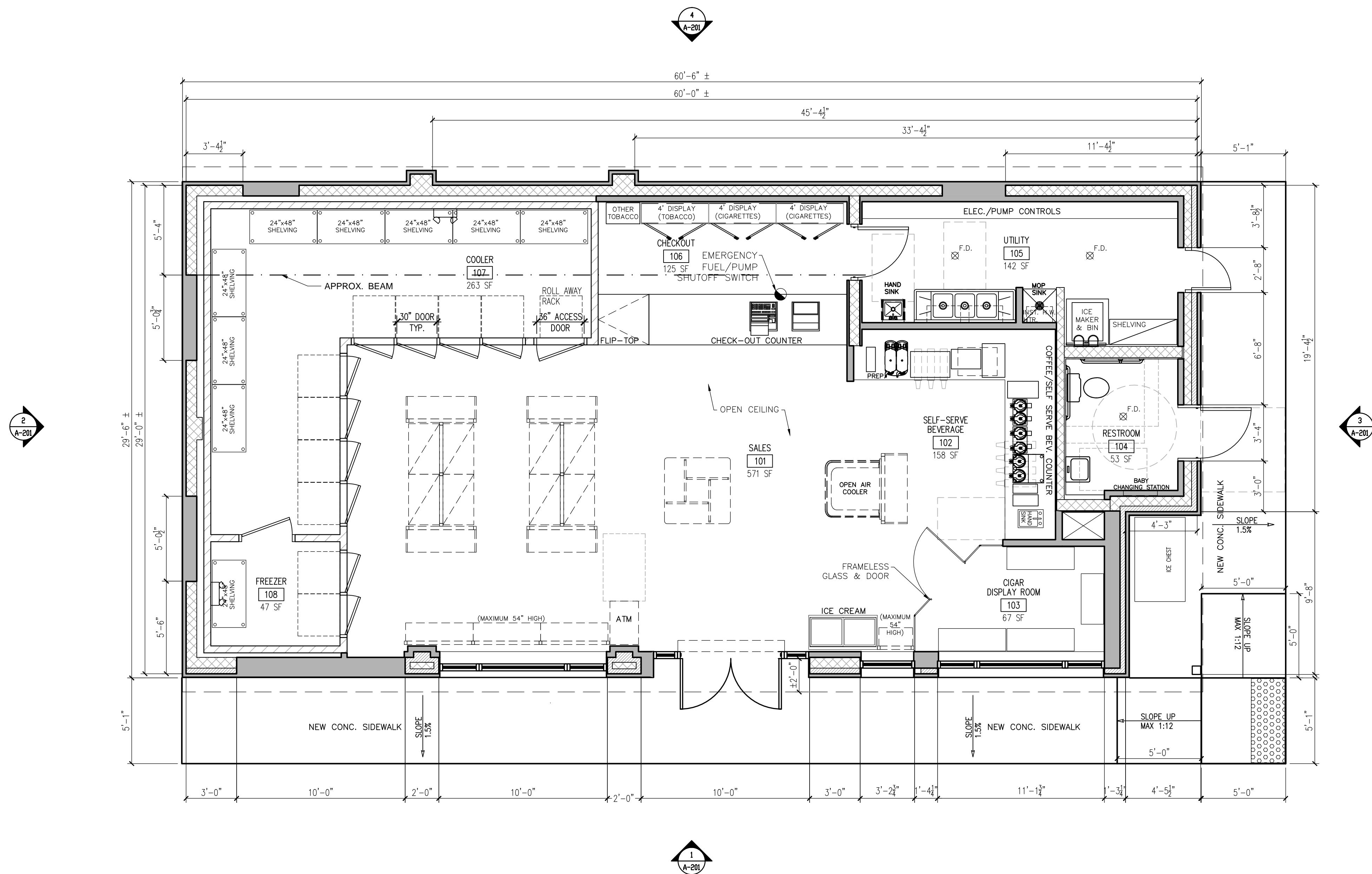
CONVENIENCE STORE
RENOVATIONS

46 DANBURY ROAD
WILTON, CT 06897

DRAWING TITLE:

DEMOLITION PLAN

RKCD PROJECT #: 23-18		DRAWING NO. A-100
ISSUE DATE: 03/08/2024		
SCALE: AS NOTED		



1 PROPOSED FLOOR PLAN - (GROSS AREA = ±1,700 SQ. FT.)
SCALE: 1/4" = 1'-0"

LEGEND:

- EXISTING WALL (TO REMAIN)
- ELEMENTS TO BE DEMOLISHED
- NEW WALL TO BE CONSTRUCTED/INFILLED

DRAWN: RK CHECKED: RK

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(860) 937-9040

PROJECT:

CONVENIENCE STORE
RENOVATIONS

46 DANBURY ROAD
WILTON, CT 06897

DRAWING TITLE:

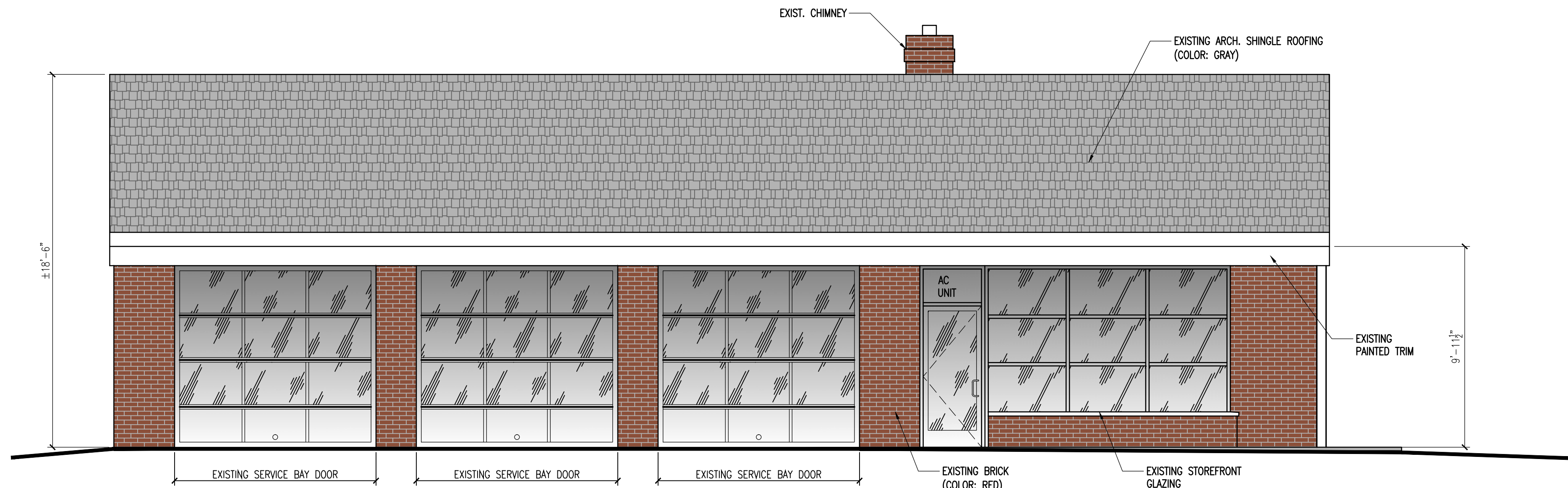
PROPOSED
FLOOR PLAN

RKCD PROJECT #:
23-18

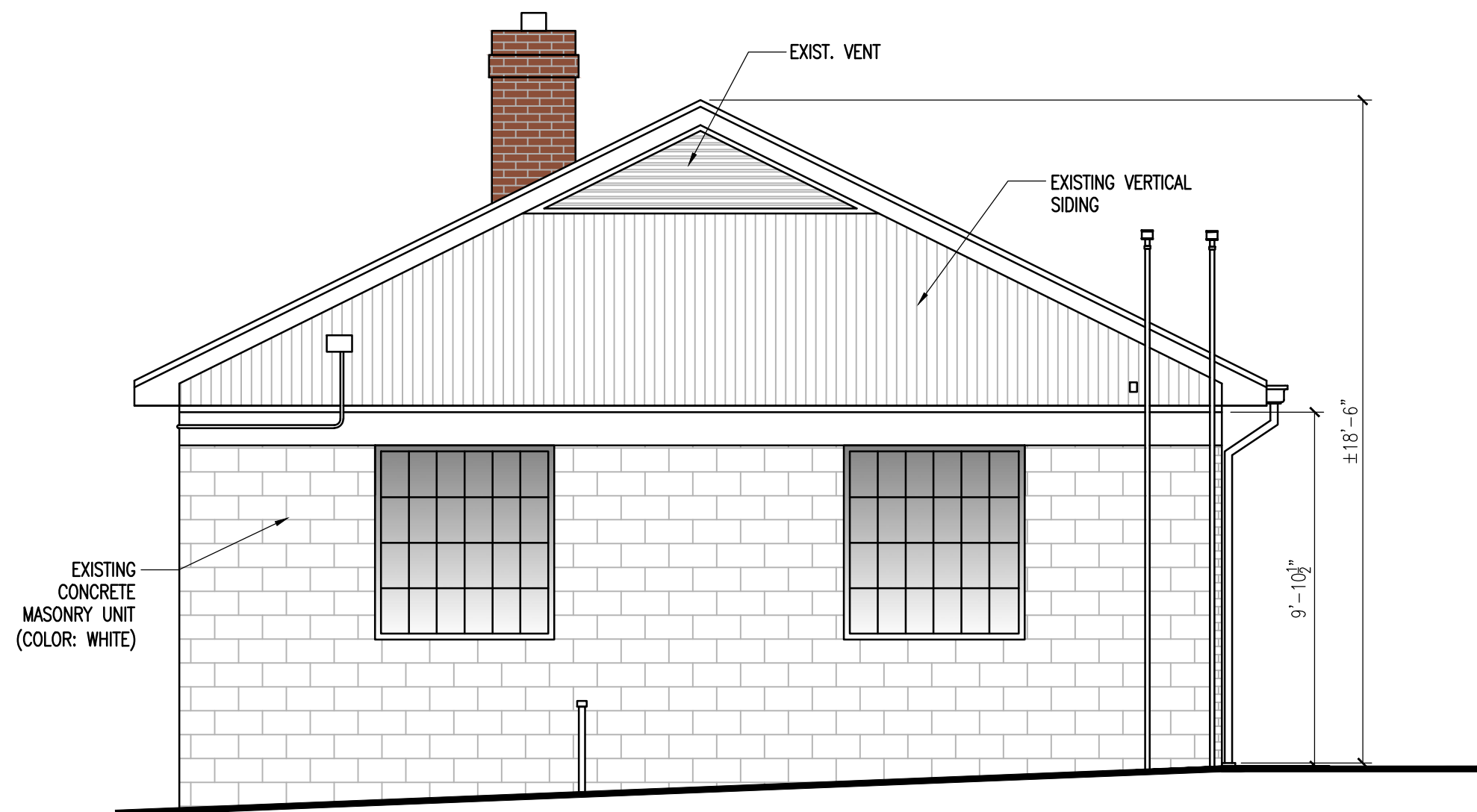
ISSUE DATE:
03/08/2024

SCALE:
AS NOTED

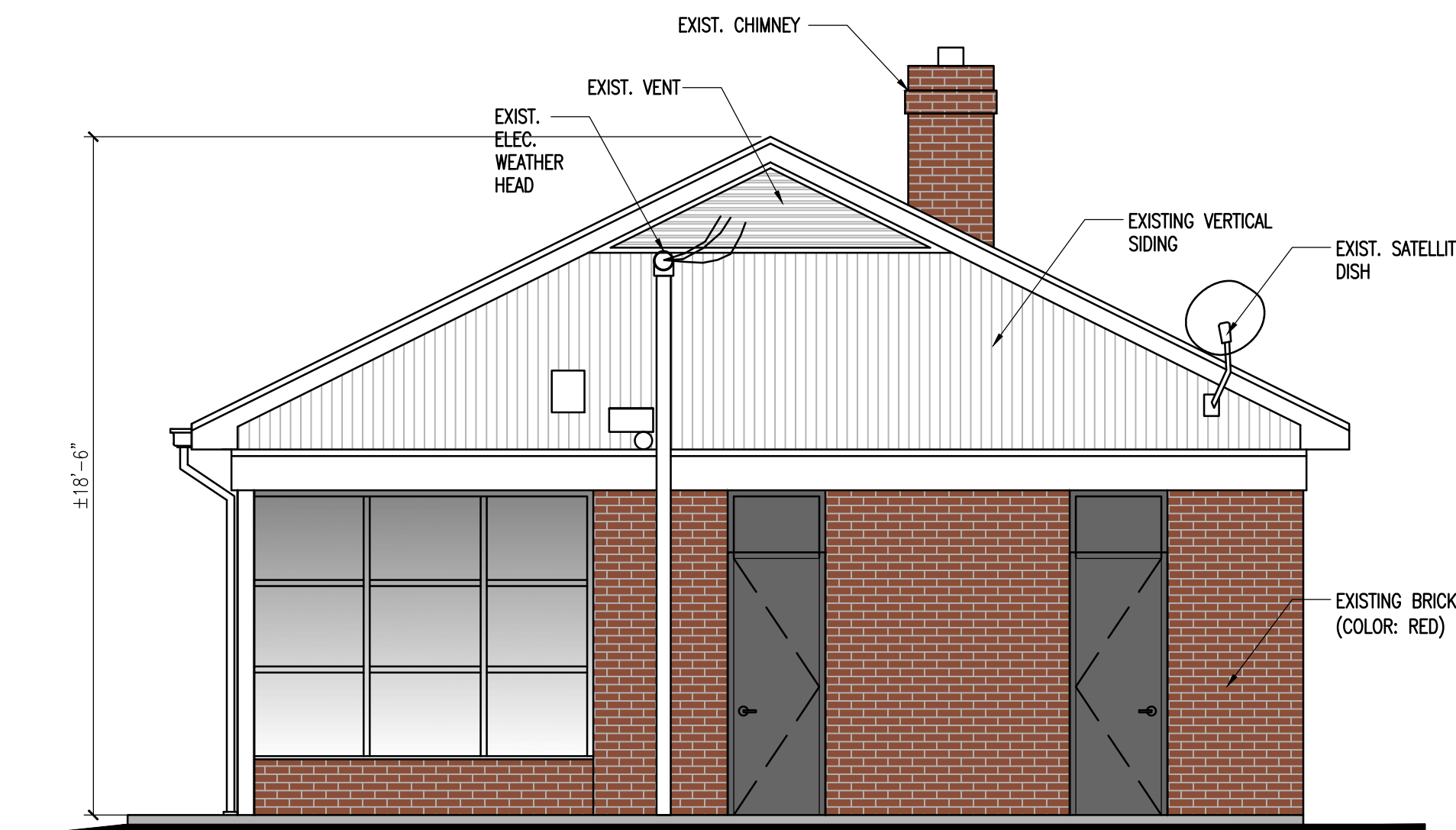
DRAWING NO.
A-101



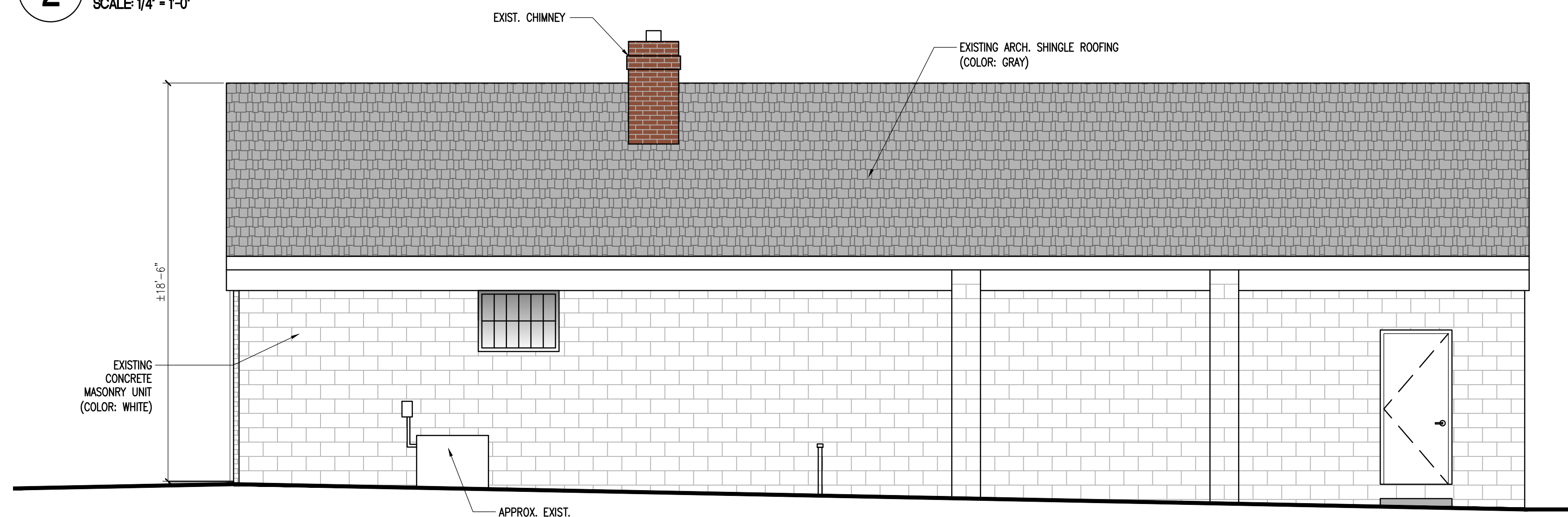
1 EXISTING WEST ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION (LEFT)
SCALE: 1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION (RIGHT)
SCALE: 1/4" = 1'-0"

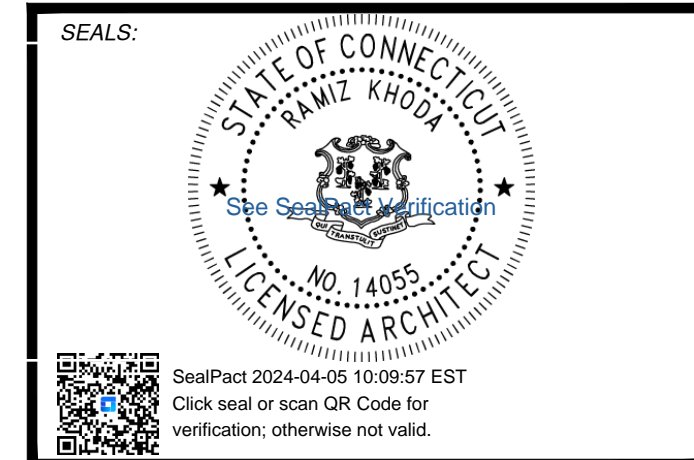


4 EXISTING EAST ELEVATION (REAR)
SCALE: 1/4" = 1'-0"

DRAWN: RK CHECKED: RK

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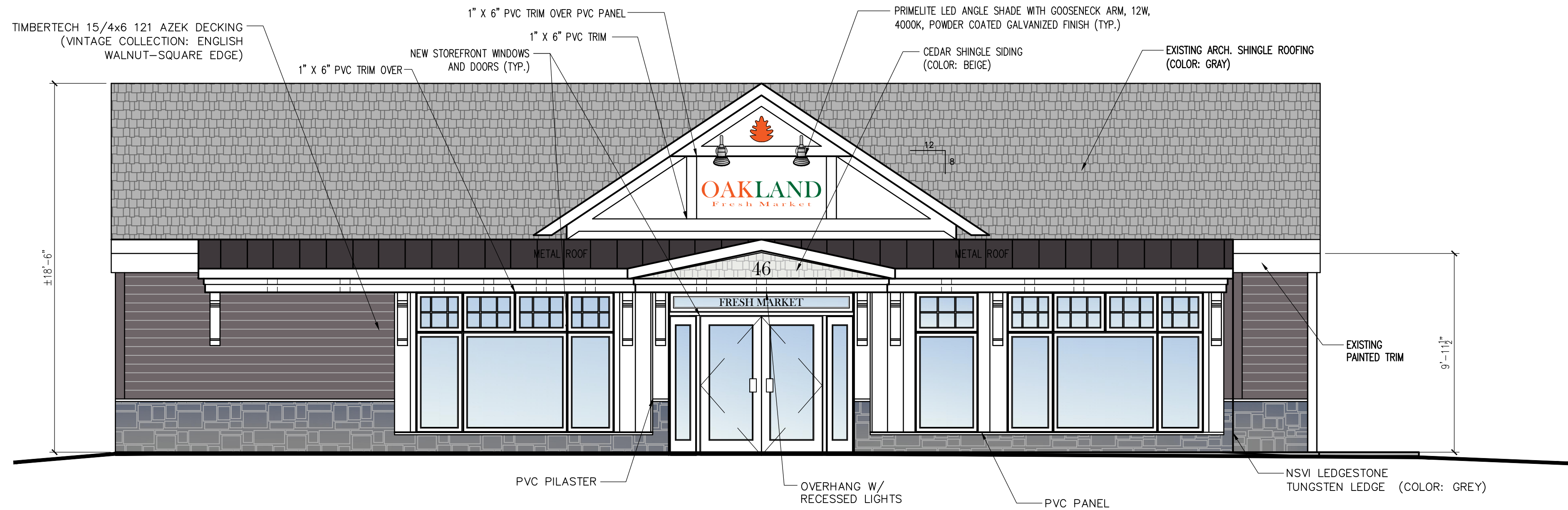
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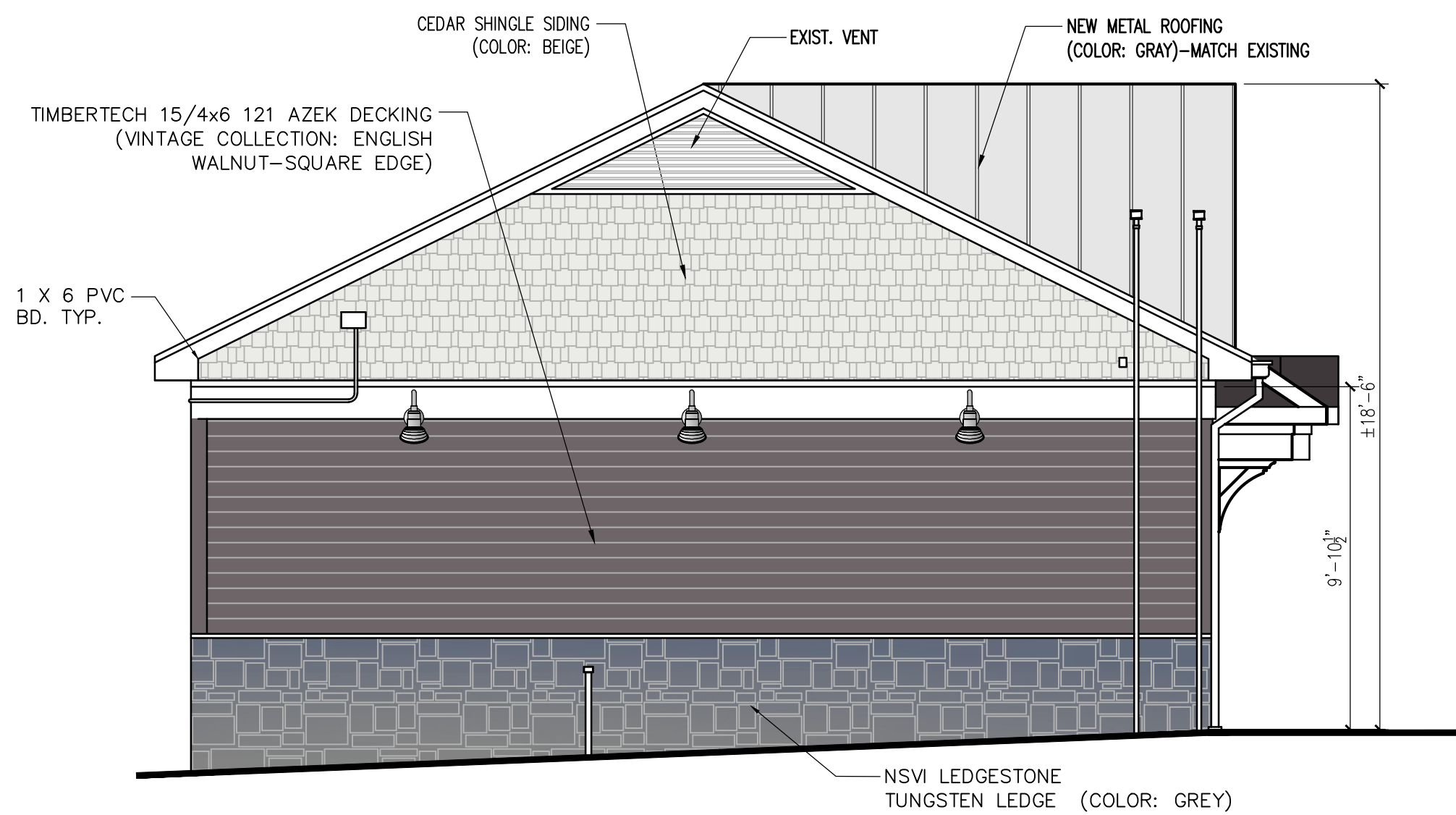
DRAWING TITLE:

EXISTING
EXTERIOR
ELEVATIONS

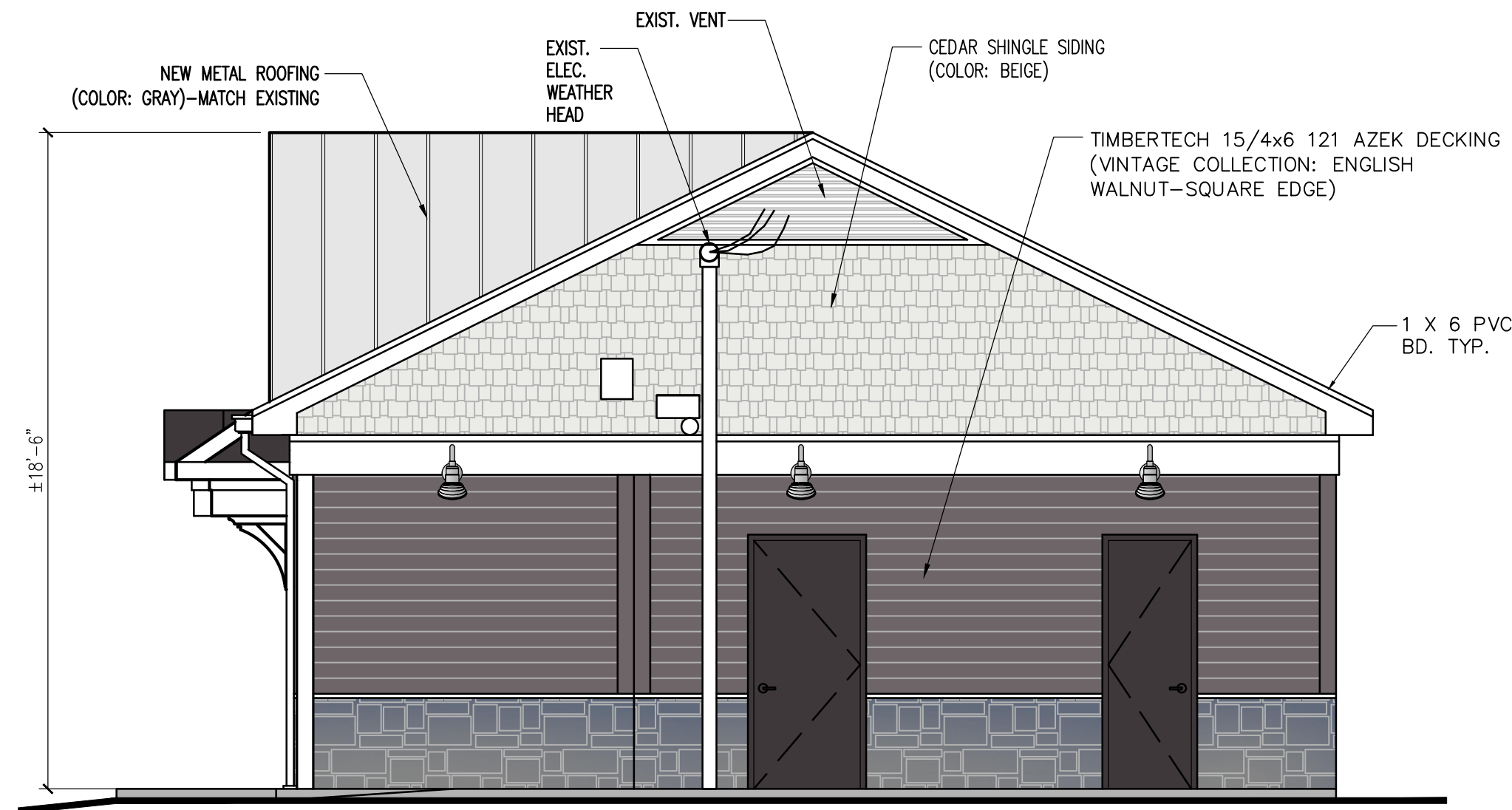
RKCD PROJECT #: 23-18	DRAWING NO. A-200
ISSUE DATE: 03/08/2024	
SCALE: AS NOTED	



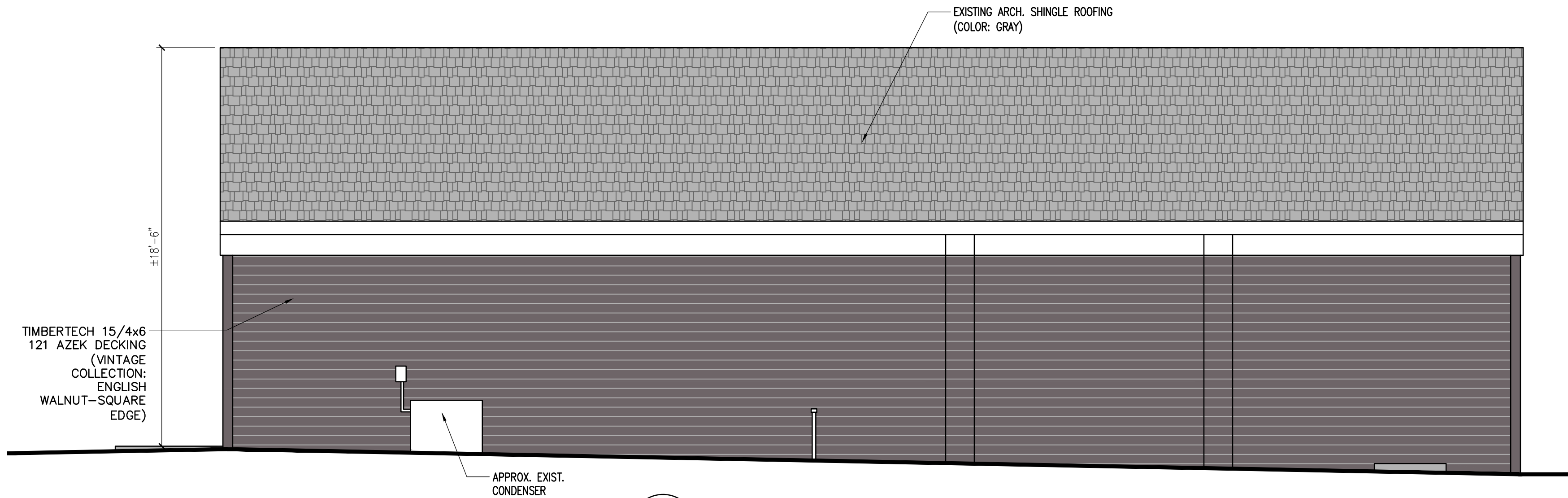
1 PROPOSED WEST ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION (LEFT)
SCALE: 1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION (RIGHT)
SCALE: 1/4" = 1'-0"



4 PROPOSED EAST ELEVATION (REAR)
SCALE: 1/4" = 1'-0"

DRAWN: RK CHECKED: RK

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PROJECT:

CONVENIENCE STORE
RENOVATIONS

46 DANBURY ROAD
WILTON, CT 06897

DRAWING TITLE:

PROPOSED
EXTERIOR
ELEVATIONS

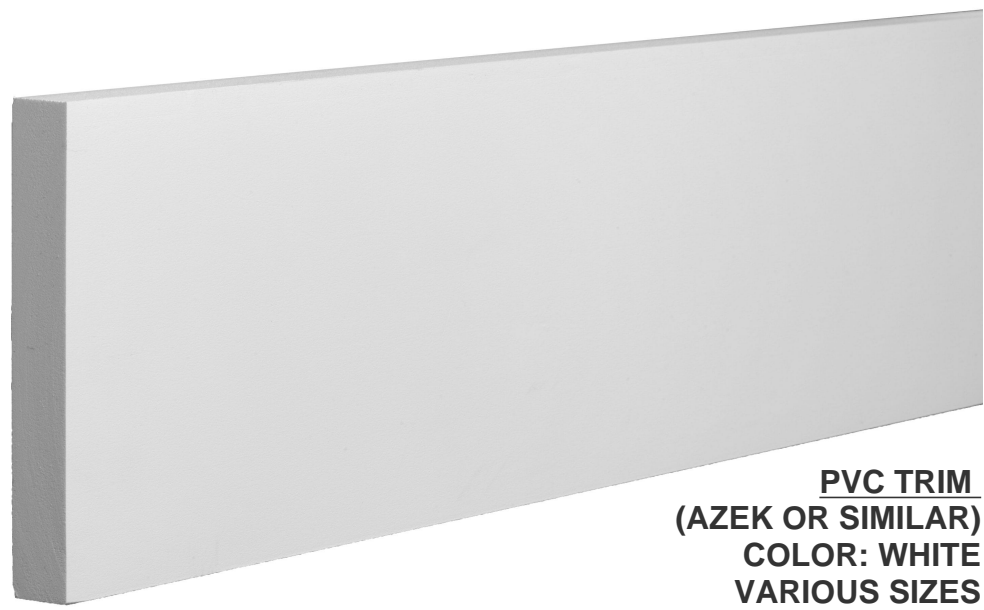
RKCD PROJECT #: 23-18	DRAWING NO. A-201
ISSUE DATE: 03/08/2024	
SCALE: AS NOTED	



METAL ROOFING SYSTEM
(KINGSPAN KINGRIB)
COLOR: CHARCOAL GREY



NSVI LEDGESTONE
(TUNGSTEN LEDGE)
COLOR: GREY



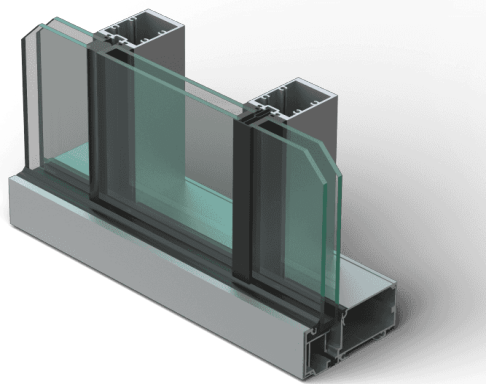
PVC TRIM
(AZEK OR SIMILAR)
COLOR: WHITE
VARIOUS SIZES



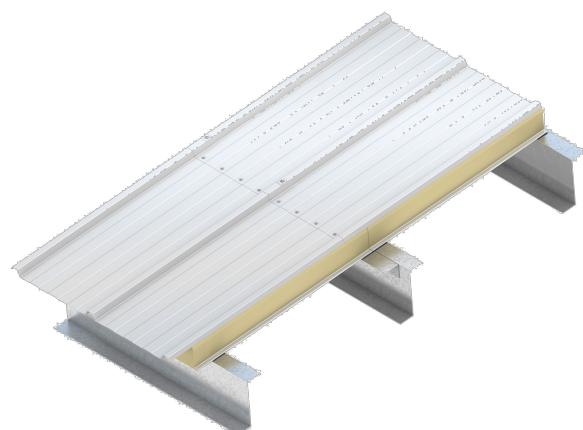
ARCHITECTURAL SHINGLE ROOFING
(TIMBERLINE HD)
COLOR: FOX HOLLOW GRAY



EXOTIC HARDWOOD PVC DECKING
(TIMBERTECH 15/4x6 121)
COLOR: VINTAGE COLLECTION /
ENGLISH WALNUT-SQUARE EDGE



ALUMINUM STOREFRONT SYSTEM
(KAWNEER MODEL 451T)
FRAMES COLOR: KYNAR FINISH IN
CHARCOAL GREY



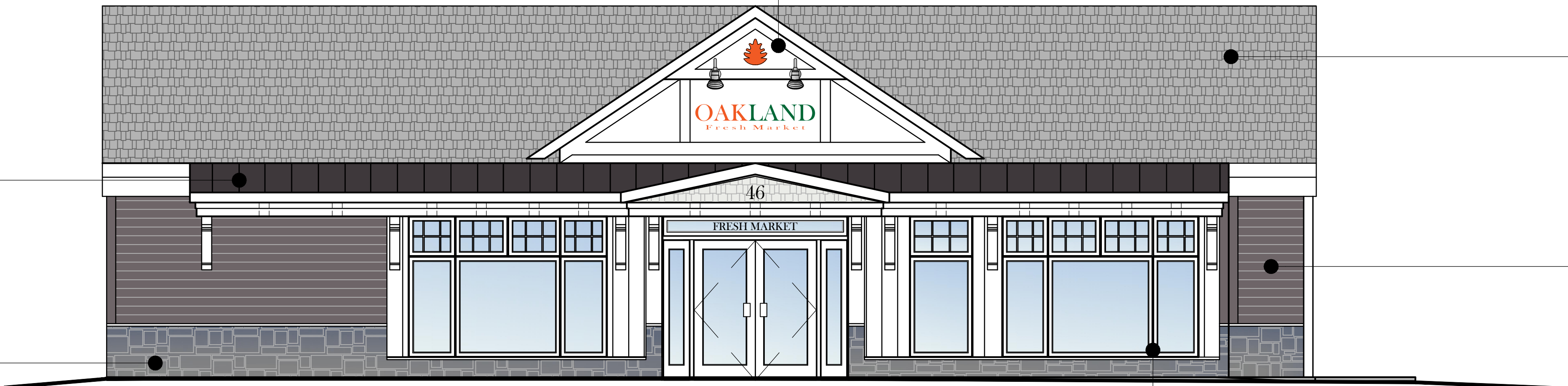
METAL ROOFING SYSTEM
(KINGSPAN KINGRIB)
COLOR: GREY (MATCH EXISTING)



FIBER CEMENT SHINGLE CEDAR SIDING
(STATEMENT COLLECTION - STRAIGHT EDGE)
(JAMES HARDIE HZ10)
COLOR: GRAY SLATE



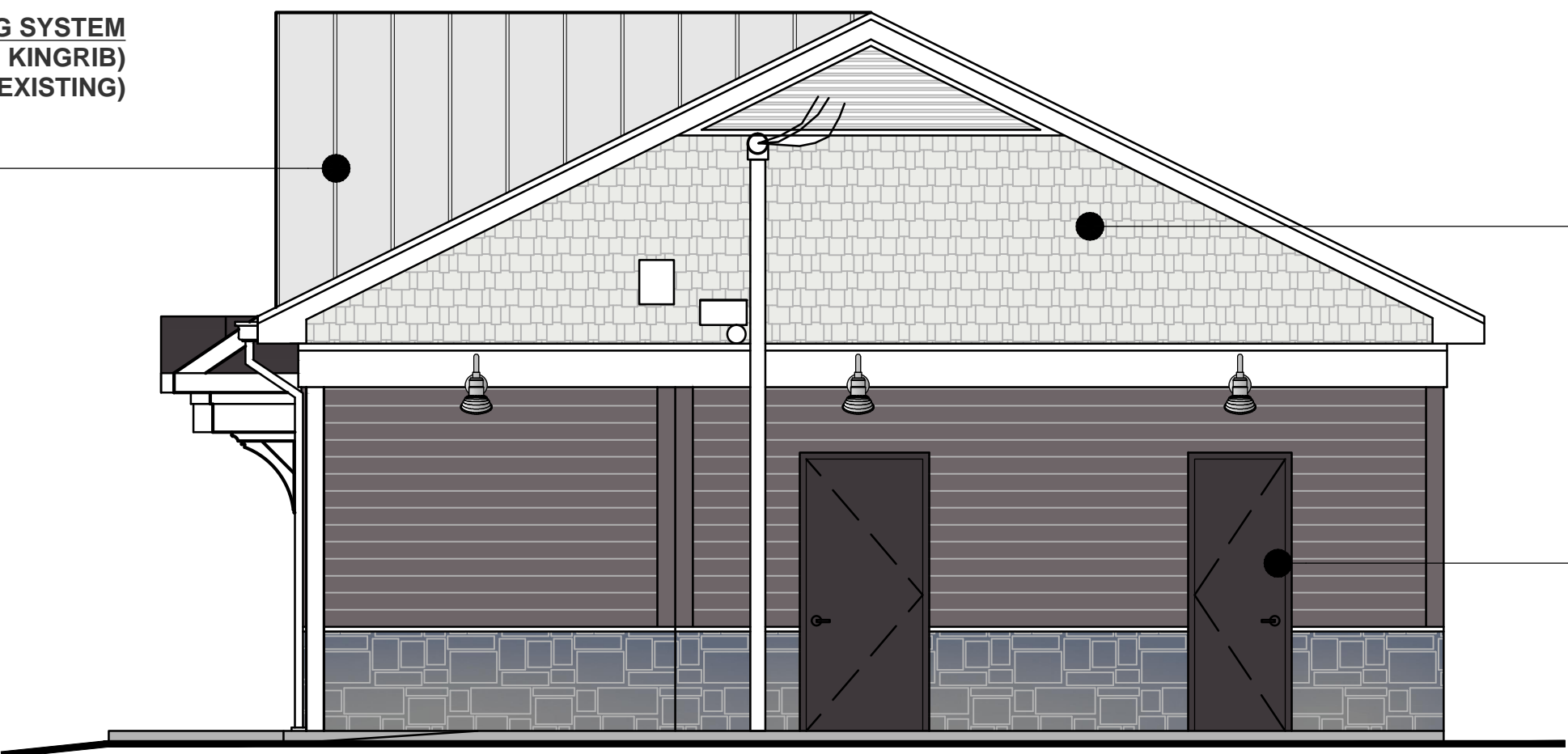
PAINT-SEMI-GLOSS
(SHERWIN WILLIAMS)
COLOR: SW 6988 BOHEMIAN BLACK



1 PROPOSED WEST ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



2 RECENTLY BUILT OAKLAND FRESH MARKET (CANTON, CT)
SCALE: NOT TO SCALE



3 PROPOSED SOUTH ELEVATION (RIGHT)
SCALE: 1/4" = 1'-0"

DRAWN: RK CHECKED: RK

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DRAWING TITLE:

PROPOSED
MATERIALS
INFORMATION

RKCD PROJECT #: 23-18	DRAWING NO. A-301
ISSUE DATE: 03/08/2024	
SCALE: AS NOTED	