

GREGORY AND ADAMS, P.C.

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ALSO ADMITTED IN VERMONT

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February 28, 2022

By E-mail and Hand Delivery

Architectural Review Board
Town Hall Annex
238 Danbury Road
Wilton, CT 06897
Attn: Mr. Michael E. Wrinn – Director of Planning and Land Use Management

Re: Wilton Child Development Park, LLC – Application to Architectural Review Board
Premises: 11 Grumman Hill Road, Wilton, Connecticut

Dear Mr. Chairman and Members of the Board:

This firm represents the Wilton Child Development Park, LLC (“**WCDP**”), owner of the Premises. WCDP leases the Premises to The Center for Growth and Discovery, Inc. (“**CGD**”).

Founded in 2002, CDG's mission is to help children with an Autism diagnosis reach their fullest potential by implementing ABA therapy. Since it's inception, CGD has helped hundreds of children and their families through customized programs designed to address the unique learning and behavior challenges of each individual child. In addition to the Autism services noted above, CGD also provides Child Day Care Center services, as such use is defined in the Wilton Zoning Regulations at Section 29-2.B.23, for the children of its staff as well as third parties.

This application to the Architectural Review Board is in support of the renovations that WCDP intends to make to the two (2) existing structures on the Premises to support use by CGS as Child Day Care Center space.

Building “A” is a post and beam framed structure built in 1755 according to the Town of Wilton Assessor’s Field Card. It was originally a residence, but is currently mixed-use with offices on the first floor and an apartment on the second floor. Building “B”, built in 1987 according to the Wilton Tax Assessor’s field card on the property, is also a post and beam construction and currently used as an office building.

The proposed alterations to Building “A” include the removal of an existing addition at the southern end of the build, apparently built on an existing patio, and its replacement with a new slightly larger addition (see drawings) mirroring the style, scale and materials of the existing structure. The project also includes new porch/deck and ramps on the south and east sides of the structure to provide accessible routes to and from the building and proposed playground. The proposed playground will be in a fenced area located in the yard north of Building “B” and is required to be installed to comply with State of Connecticut regulations governing Child Day Care Centers.

The only proposed change to Building “B” is a new covered exterior/open stair at the eastern end of the building from the lower level to grade. This proposed change is necessary to ensure compliance with the State of Connecticut codes governing Child Day Care Centers.

The parking lot is to remain as is.

WCDP will be utilizing the services of Environmental Land Solutions for landscaping on the Premises.

With this background, and in support of the application to the Architectural Review Board, we submit the following:

1. Application Form.
2. Property Survey and Topographic Survey prepared by Ryan and Faulds Land Surveyors dated December 14, 2021 and revised January 14, 2022.
3. Architectural Site Plan (AS-1) prepared by Doyle Coffin Architecture (“DCA”) dated February 8, 2022.
4. First Floor Plan & Roof Plan (SD-1) prepared by DCA dated February 8, 2022.
5. Exterior Elevations (SD-2) prepared by DCA dated February 8, 2022.
6. Authorization letter signed by Wilton Child Development Park, LLC authorizing Gregory and Adams to act as its Agent in connection with this matter.
7. List of Project Professionals.

Architectural Review Board

February 28, 2022

Page 3 of 3

If you have any questions, please contact me.

Respectfully submitted,
Gregory and Adams, P.C.

By: *J. Casey Healy*
J. Casey Healy

JCH/ko

Enclosures

cc: Ms. Lynn C. Hartigan – Wilton Child Development Park, LLC

Mr. John Doyle – Doyle Coffin Architecture

Mr. Douglas Faulds – Ryan and Faulds Land Surveyors

Susan Goldman, Esq.

Kathleen Royle, Esq.

WILTON PLANNING AND ZONING COMMISSION	ARCHITECTURAL REVIEW BOARD/VILLAGE DISTRICT DESIGN ADVISORY COMMITTEE APPLICATION
--	--

Wilton Child Development Park, LLC	c/o Gregory and Adams, P.C.				
APPLICANT'S NAME	190 Old Ridgefield Road, Wilton, CT				
	ADDRESS				
Wilton Child Development Park, LLC	c/o Gregory and Adams, P.C.				
OWNER'S NAME	190 Old Ridgefield Road, Wilton, CT				
	ADDRESS				
11 Grumman Hill Road	Design Enterprise 5 - DE-5				
PROPERTY LOCATION	ZONING DISTRICT				
4413	2543	74	68	21	0.85 acres
WLR	VOLUME	PAGE	TAX MAP #	LOT #	ACREAGE

THE FOLLOWING MATERIALS ARE REQUIRED:

- * Please see **SPECIAL INSTRUCTIONS FOR SUBMISSION DURING COVID** at:
Application Forms / Materials | Wilton CT

* All submitted plans and documents shall bear an **original signature, seal, and license number** of the professional responsible for preparing each item. Maps should be **folded, not rolled** – 11” x 17” Plan Copies

ELECTRONIC SUBMISSION OF ALL APPLICATION MATERIALS (CONSOLIDATED INTO 1 OR 2 PDFs MAXIMUM), emailed to: michael.wrinn@wiltonct.org & daphne.white@wiltonct.org

- i.

An application form;

ii.

A statement describing the proposed project (use page 2 or attach separate sheet);

iii.

The following plans, where applicable, based on the nature of the proposed project:
- ☒

1.

An A-2 survey for any proposal involving the physical enlargement of a building, structure, parking area and/or vehicle access aisle.

☒

2.

A site plan drawn at a scale of no greater than 1" = 60', incorporating an A-2 survey (where required), of the property sufficient to show the location of:

a.

wetlands, upland buffers, watercourse and flood zones, if any;

b.

existing and/or proposed buildings and appurtenances thereof;

c.

existing and/or proposed parking accommodations;

d.

existing and/or proposed lighting

e.

existing and proposed buffer strips and landscaping;

f.

access and egress details for pedestrian and vehicular traffic;

g.

existing and/or proposed signs, and

h.

adjacent roads, curb cuts, and width of rights-of-way and travel way.

i.

easements, regulatory setbacks, historic covenants or other historic assets.

☒

3.

Floor plans at each level showing the basic divisions of the building, all entrances, exits and loading and service areas.

☒

4.

A description of the architectural vernacular of proposed construction and its architectural relationship to other buildings within 500 feet.

☒

5.

Elevation drawings of all sides of the building, with dimensions, finish materials, fixtures, lighting, signage, landscape and colors indicated.

- ☐ 6. Samples of all finish materials to be used on the exterior of the building.
- ☒ 7. A roof plan showing all mechanical equipment, vents, hatches, skylights, solar arrays, wind turbines, green roofing etc., and the type and extent of screening to be provided.
- ☐ 8. A signage plan with a scaled drawing showing the design of any proposed signage, including dimensions (length, width, height), a drawing of sign design and content, colors of sign, materials for construction and illumination, together with a site plan showing location of proposed free-standing sign and/or building elevations showing location and proportions of wall signs.

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted and is responsible for the payment of all legal notices incurred.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

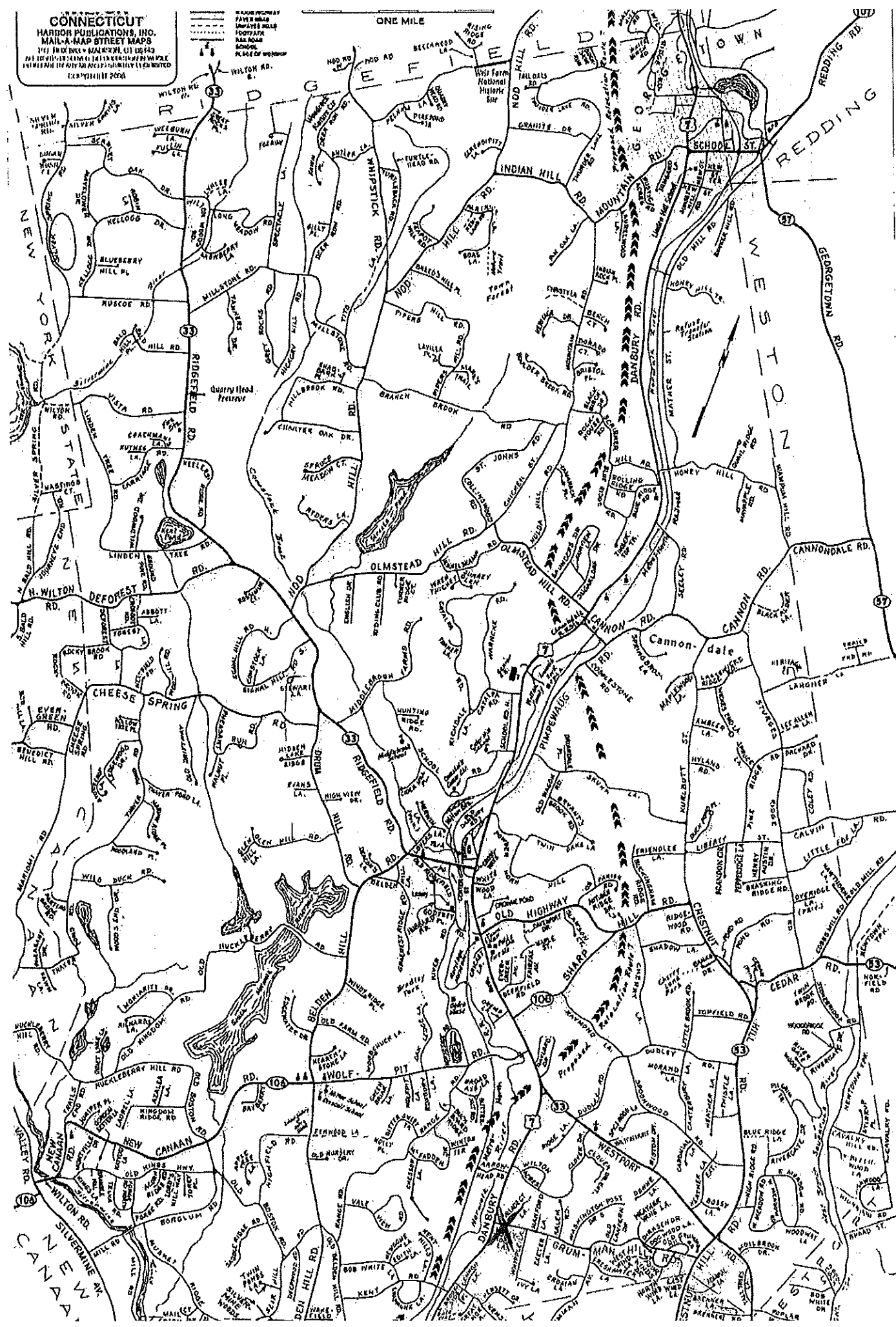
Wilton Child Development Park, LLC by its Agent, Gregory and Adams, P.C.

BY: J. Casey Healy /co Feb. 24, 2022 (203) 762-9000
APPLICANT'S SIGNATURE J. Casey Healy /co DATE TELEPHONE

Wilton Child Development Park, LLC by its Agent, Gregory and Adams, P.C.

By: J. Casey Healy /co Feb. 24, 2022 (203) 762-9000
OWNER'S SIGNATURE J. Casey Healy /co DATE TELEPHONE

PROJECT NARRATIVE:



MAP No. 4413

BENCHMARK
TOP OF MAG NAIL
ELEVATION 141.15
DATUM - NAVD 88

GRUMMAN HILL

0.854 ACRES

RESIDENCE AND OFFICE

OFFICE BUILDING

SPACES

ROAD

POND

HOLT McCHORD
(MAP No. 6000 W.L.R.)

OLSI H. JONAN
AND
SONILA KALLCIU
(MAP No. 3083 W.L.R.)

VIKRAM MITAL
(MAP No. 634 W.L.R.)

7 R2 PROPERTIES, LLC
(MAP No. 638 W.L.R.)

FUJII PROPERTIES, LLC
(MAP No. 638 W.L.R.)

LEGEND

- UTILITY POLE
CATCH BASIN
WATER VALVE
GAS VALVE
HANDICAPPED PARKING SPACE
SIGN
LIGHT POST
HYDRANT
DRAINAGE MANHOLE
SANITARY SEWER MANHOLE
ELECTRIC MANHOLE
TELEPHONE MANHOLE
OVERHEAD WIRES
ELECTRIC (SUBSURFACE)
CABLE (SUBSURFACE)
WATER LINE (SUBSURFACE)
GAS LINE (SUBSURFACE)
SANITARY SEWER
STORM SEWER

NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property and Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2, Vertical Accuracy V-2 and Topographic Accuracy Class T-2 and it is intended to depict property boundaries and improvements.
- Area of parcel = 37,208 s.f. = 0.854 acres
- Reference is made to Map No. 4413 of the Wilton Land Records.
- Reference is made to Warranty Deed recorded in V. 2543, Pg. 74 of the Wilton Land Records.
- Reference is made to Sanitary Sewer Easement recorded in V. 695, Pg. 134 of the Wilton Land Records.
- Reference is made to Variance #67-09-57 dated September 15, 1987 recorded in V. 618, Pg. 288 of the Wilton Land Records.
- Reference is made to Tax Assessor's Parcel 21, Map 68.
- Property Located in Design Enterprise (DE-5) Zone.
- Property located in Flood Zones A & X as depicted on Flood Insurance Rate Maps prepared by the Federal Emergency Management Agency. Reference is made to Community Panel No. 09020 331 F, dated June 16, 2010. Flood Lines depicted hereon have been transcribed from this mapping.
- Inland wetlands delineated by Pfizer-Jahngig Environmental Consulting, Ridgefield, Connecticut. Mary Jahngig, Soil Scientist.
- Subsurface utility locations delineated by AquaMark Utility Locating, LLC 80 Main St., Ellington, CT 06029 (860) 872-4638, and limited field measurements. Locations are to be considered approximate only. Additional utilities may exist on and around this site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field verified prior to excavation and/or construction. Call Before You Dig 1-800-922-4455.
- Elevation Datum - NAVD 1988.
- All monumentation, found or set, depicted hereon.

ZONING TABLE - DE-5 ZONE

STANDARD	MIN.REQ./MAX.ALL	EXISTING
BUILDING REQUIREMENTS		
MINIMUM LOT AREA	217,800 Sq. Ft.	37,208 Sq. Ft.
MINIMUM WIDTH	150'	269.09'
MINIMUM LOT FRONTAGE	50'	11.1'
FRONT YARD - MINIMUM		
FRONT YARD - MAXIMUM		
SIDE YARD - MINIMUM	50'	83.8'
SIDE YARD (resulting rear set.)	100'	
REAR YARD - MINIMUM	50'	24.4'
REAR YARD (resulting rear set.)	100'	
BUILDING HEIGHT - MAXIMUM	3 STOREYS/35 FEET	3 STOREYS/29.5 FEET
BUILDING COVERAGE - MAXIMUM	25%	11.9%
LOT COVERAGE - MAXIMUM	50%	50.5%
FLOOR AREA RATIO - MAXIMUM		
PARKING REQUIREMENTS		
FRONT YARD - MINIMUM	50'	50.4'
SIDE YARD - MINIMUM	25'	8.7' (SEE VARIANCE)
SIDE YARD (resulting rear set.)	75'	
REAR YARD - MINIMUM	25'	7.4' (SEE VARIANCE)
REAR YARD (resulting rear set.)	75'	
PROFESSIONAL OFFICE SPACES - 1/300 Sq. Ft.	9,024/300 = 30 SPACES	
RESIDENCE SPACES - 2/0WELLING UNIT	1 DWELLING UNIT = 2 SPACES	
TOTAL SPACES	32 SPACES	29 SPACES (No. 1 HOCP.)

REVISIONS

DATE	DESCRIPTION
JAN. 14, 2022	CATCH BASIN INVERT ADDED

PROPERTY SURVEY and
TOPOGRAPHIC SURVEY
PREPARED FOR
**WILTON CHILD
DEVELOPMENT PARK, LLC**
WILTON, CONNECTICUT

SCALE 1" = 20'

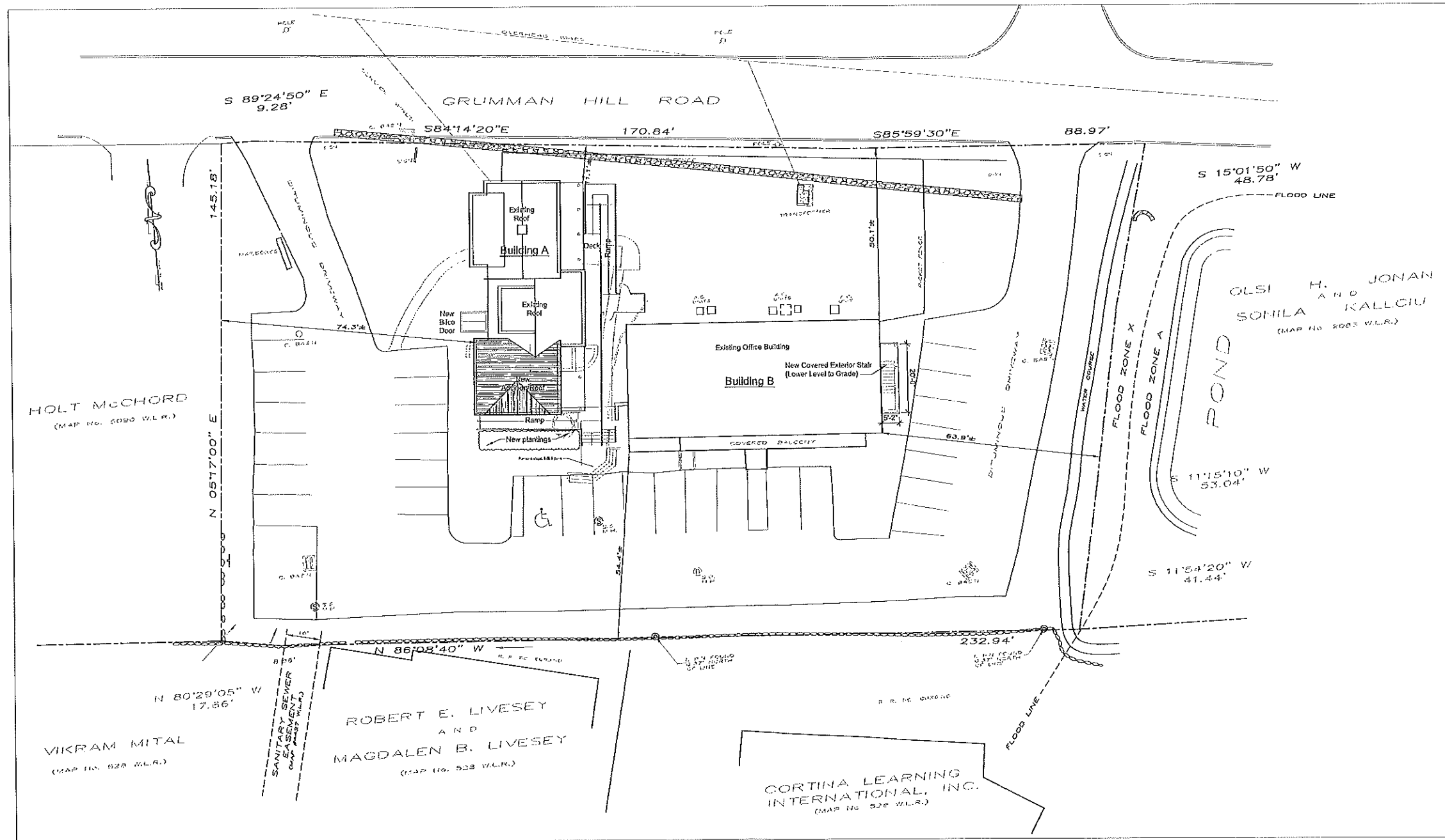
TO MY KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.
D. K. Lee
DOUGLAS R. FAULDS
LAND SURVEYOR - CONN. Lic. No. 13282

DECEMBER 14, 2021

Ryan and Faulds
LAND SURVEYORS | A Redniss & Mead Company
11 GRUMMAN HILL ROAD
WILTON, CT 06897
PH. (203) 762-9492 ryanandfaulds.com

ZONING TABLE — DE-5 ZONE

STANDARD	MIN. REQ. / MAX. ALL.	EXISTING	PROPOSED
BUILDING REQUIREMENTS			
MINIMUM LOT AREA	217,000 Sq. Ft. (5 ACRES)	37,808 Sq. Ft.	37,808 Sq. Ft.
MINIMUM WIDTH	—	—	—
MINIMUM LOT FRONTAGE	150'	289'	289'
FRONT YARD — MINIMUM	50'	11.1%	11.1%
FRONT YARD — MAXIMUM	—	—	—
SIDE YARD — MINIMUM	20'	63.9%	63.9%
SIDE YARD (existing res. dist.)	100'	—	—
REAR YARD — MINIMUM	20'	64.4%	64.4%
REAR YARD (existing res. dist.)	100'	—	—
BUILDING HEIGHT — MAXIMUM	3 STORIES/39 FEET	3 STORIES/39 FEET	3 STORIES/39.5 FEET
			Proposed Ramps, deck, porch, steps +871.8 3" = 2.3N
			Proposed Addition — Building A (same existing addition) Net added +433 5" = 1.2N
			Proposed Addition — Building B Proposed Exterior Stair +100 5" = 0.3N
			Total Proposed Building Coverage = 18.8%
BUILDING COVERAGE — MAXIMUM	25%	11.0%	18.8%
SITE COVERAGE — MAXIMUM	80%	50.3%	54.0%
			Total Proposed Site Coverage = 54.0%



G1
AS-1
ARCHITECTURAL SITE PLAN - (PROPOSED)
1/16" = 1'-0"



DOYLE|COFFIN
ARCHITECTURE

Doyle Coffin Architecture, LLC
158 Danbury Road
Ridgefield, Connecticut 06877
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NOTES

ALTERATIONS &
ADDITIONS TO
PRE-KINDERGARTEN
FACILITY

11 GRUMMAN HILL ROAD
WILTON, CT 06897

ISSUED
REVISIONS

02/08/22

PRINCIPAL JMD P.A. MLM
JOB NUMBER 979 SCALE AS NOTED

SCHEMATIC DESIGN
ARCHITECTURAL
SITE PLAN

© DOYLE COFFIN ARCHITECTURE, LLC 2022

SHEET
AS-1



DOYLE|COFFIN
ARCHITECTURE

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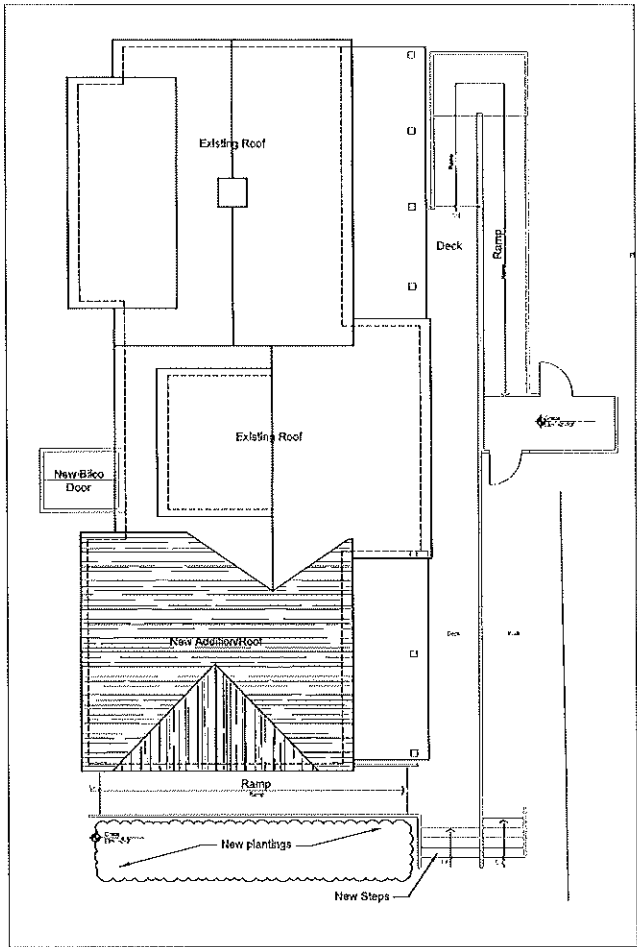
JOB NUMBER 979 SCALE AS NOTED

SCHEMATIC DESIGN
**FIRST FLOOR
PLAN & ROOF
PLAN**

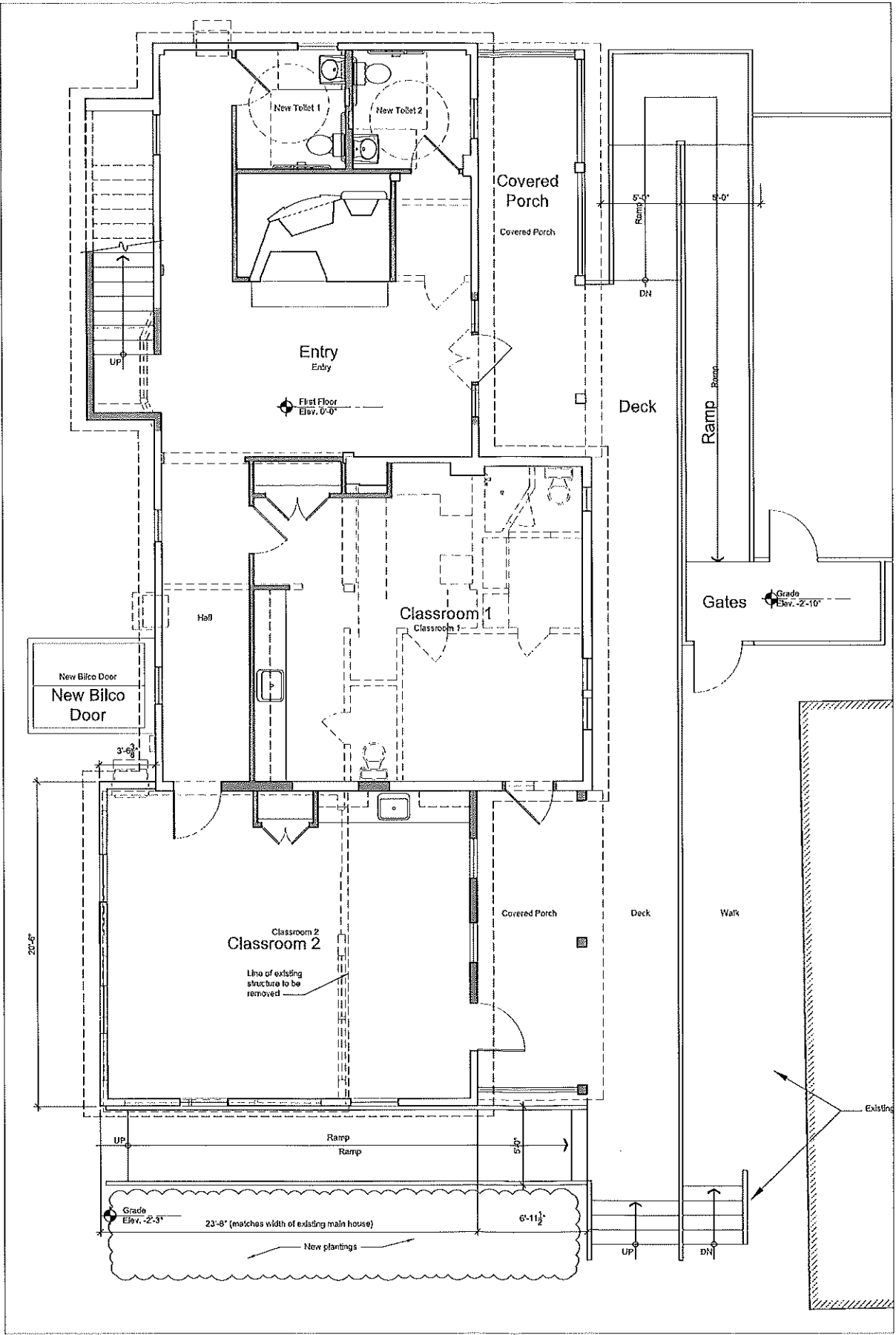
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SHEET

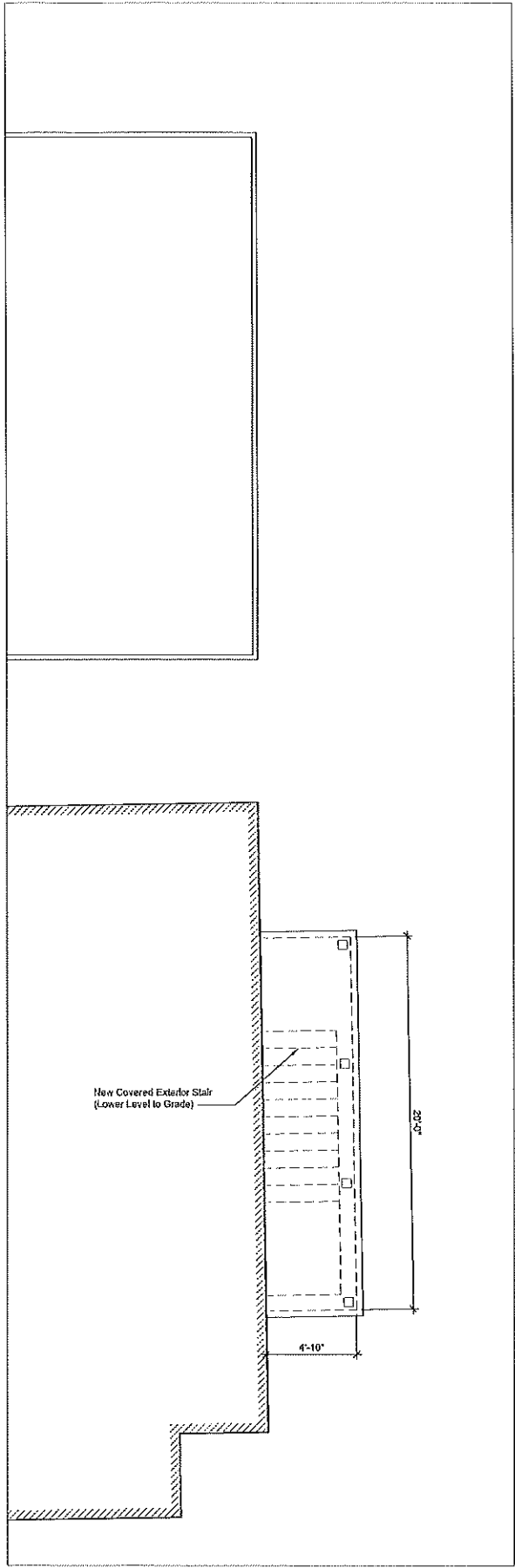
SD-1



H1
SD-1
ROOF PLAN - (PROPOSED)
1/16" = 1'-0"



H1
AS-1
FIRST FLOOR PLAN - (PROPOSED)
1/16" = 1'-0"



H1
AS-1
FIRST FLOOR PLAN - (PROPOSED)
1/16" = 1'-0"



DOYLE|COFFIN ARCHITECTURE

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NOTES

ALTERATIONS & ADDITIONS TO PRE-KINDERGARTEN FACILITY

11 CRUMMAN HILL ROAD
WILTON, CT 06897

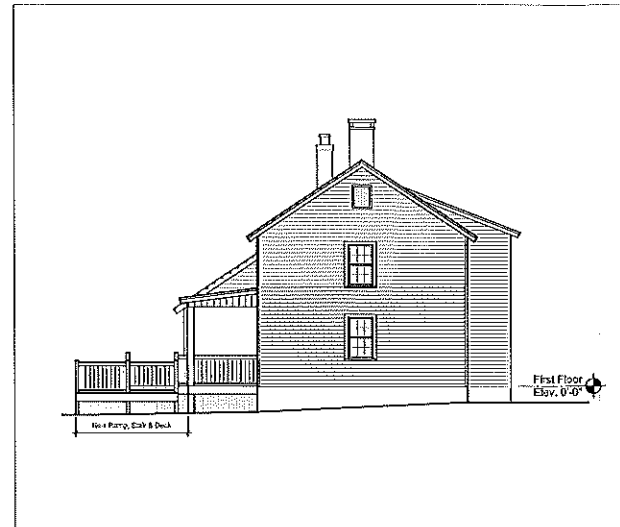
ISSUED REVISIONS	02/08/22
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PRINCIPAL	JMD	P.A.	MLM
JOB NUMBER	979	SCALE	AS NOTED

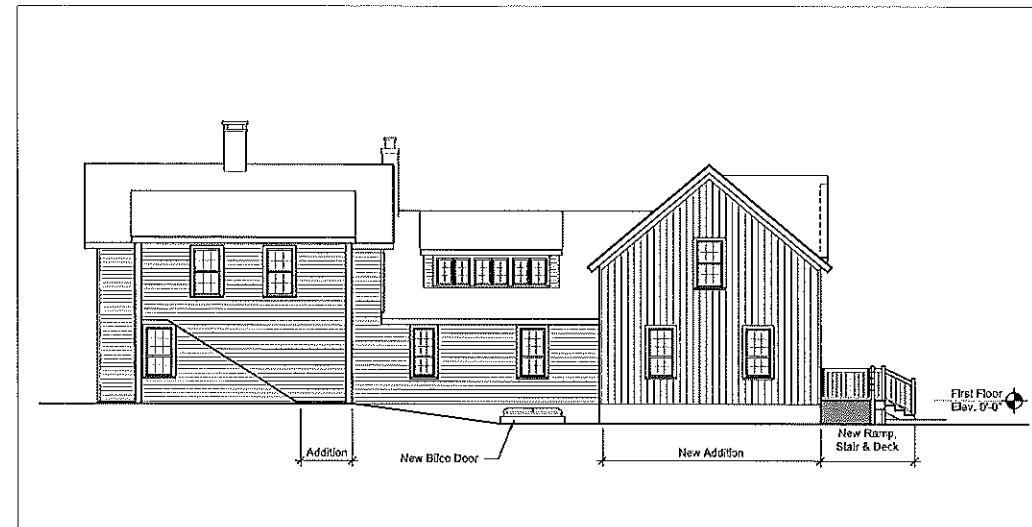
SCHEMATIC DESIGN
**EXTERIOR
ELEVATIONS**

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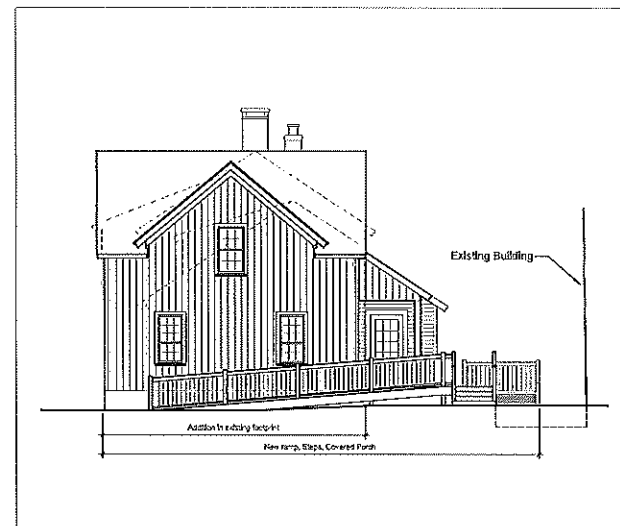
SHEET	SD-2
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C4
SD-2
NORTH ELEVATION
1/8" = 1'-0"



C7
SD-2
WEST ELEVATION
1/8" = 1'-0"



F1
SD-2
SOUTH ELEVATION
1/8" = 1'-0"



F4
SD-2
EAST ELEVATION
1/8" = 1'-0"

GREGORY AND ADAMS, P.C.

ATTORNEYS AT LAW

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DIRECT DIAL: 203-571-6304

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RALPH E. SLATER

ROGER R. VALKENBURGH *

* ALSO ADMITTED IN NEW YORK

☞ ALSO ADMITTED IN VERMONT

February 17, 2022

By E-Mail Only

Wilton Child Development Park, LLC

11 Grumman Hill Road

Wilton, CT 06897

Attn: Ms. Lynn C. Hartigan

Re: Wilton Child Development Park, LLC – Land Use Applications to the Town of Wilton
Premises: 11 Grumman Hill Road, Wilton, Connecticut

Dear Ms. Hartigan:

We are providing legal representation to you in connection with the referenced-property and applications to the Land Use Commissions of the Town of Wilton. The Commissions require written authorization from the applicant and the property owner authorizing Gregory and Adams, P.C to act as their agent. Please sign a copy of this letter as applicant and owner and return it to me by email.

Very truly yours,

J. Casey Healy

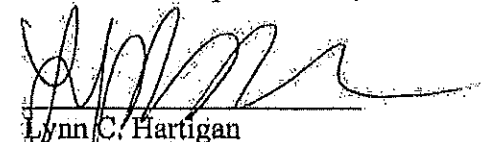
J. Casey Healy

JCH/ko

The undersigned hereby authorizes Gregory and Adams, P.C. to act as its agent in connection with matters involving the Land Use Commissions of the Town of Wilton.

Wilton Child Development Park, LLC

By:



Its:

Duly Authorized

Wilton Child Development Park, LLC

Town of Wilton Land Use Applications

Premises: 11 Grumman Hill Road, Wilton, CT

List of Project Professionals

1. Applicant and Owner Wilton Child Development Park, LLC
 c/o Gregory and Adams, P.C.
 190 Old Ridgefield Road
 Wilton, CT 06897
 (203) 571-6304

2. Surveyor Mr. Douglas R. Faulds
 Ryan and Faulds Land Surveyors
 11 Grumman Hill Road
 Wilton, CT 06897
 (203) 762-9492
 d.faulds@rednissmead.com

3. Architect Mr. John M. Doyle
 Doyle Coffin Architecture
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 jmd@doylecoffinarchitecture.com

4. Attorneys J. Casey Healy, Esq.
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