

**WILTON PLANNING AND  
ZONING COMMISSION**

**ARCHITECTURAL REVIEW BOARD/VILLAGE  
DISTRICT DESIGN ADVISORY COMMITTEE APPLICATION**

Randolph L. Carter

2454 E. Southern Ave. Suite 110, Mesa, AZ 85204

**APPLICANT'S NAME**

The Church of Jesus Christ of Latter-day Saints,  
a Utah corporation sole

**ADDRESS**

50 E North Temple, COB 12th Floor  
Salt Lake City, UT 84150

**OWNER'S NAME**

241 Danbury Road, Wilton, CT

**ADDRESS**

DRB

**PROPERTY LOCATION**

**ZONING DISTRICT**

75-5-1

2

1.31

WLR

VOLUME

PAGE

TAX MAP #

LOT #

ACREAGE

**THE FOLLOWING MATERIALS ARE REQUIRED:**

\* Please see **SPECIAL INSTRUCTIONS FOR SUBMISSION DURING COVID** at:

[Application Forms / Materials | Wilton CT](#)

\* All submitted plans and documents shall bear an original signature, seal, and license number of the professional responsible for preparing each item. Maps should be folded, not rolled – 11" x 17" Plan Copies

**ELECTRONIC SUBMISSION OF ALL APPLICATION MATERIALS (CONSOLIDATED INTO  
1 OR 2 PDFs MAXIMUM), emailed to: [michael.wrinn@wiltonct.org](mailto:michael.wrinn@wiltonct.org) & [daphne.white@wiltonct.org](mailto:daphne.white@wiltonct.org)**

- i. An application form;
- ii. A statement describing the proposed project (use page 2 or attach separate sheet);
- iii. The following plans, where applicable, based on the nature of the proposed project:

☒ 1. An A-2 survey for any proposal involving the physical enlargement of a building, structure, parking area and/or vehicle access aisle.

☒ 2. A site plan drawn at a scale of no greater than 1" = 60', incorporating an A-2 survey (where required), of the property sufficient to show the location of:

- a. wetlands, upland buffers, watercourse and flood zones, if any;
- b. existing and/or proposed buildings and appurtenances thereof;
- c. existing and/or proposed parking accommodations;
- d. existing and/or proposed lighting
- e. existing and proposed buffer strips and landscaping;
- f. access and egress details for pedestrian and vehicular traffic;
- g. existing and/or proposed signs, and
- h. adjacent roads, curb cuts, and width of rights-of-way and travel way.
- i. easements, regulatory setbacks, historic covenants or other historic assets.

☒ 3. Floor plans at each level showing the basic divisions of the building, all entrances, exits and loading and service areas.

☒ 4. A description of the architectural vernacular of proposed construction and its architectural relationship to other buildings within 500 feet.

☒ 5. Elevation drawings of all sides of the building, with dimensions, finish materials, fixtures, lighting, signage, landscape and colors indicated.

- ☒ 6. Samples of all finish materials to be used on the exterior of the building.
- ☒ 7. A roof plan showing all mechanical equipment, vents, hatches, skylights, solar arrays, wind turbines, green roofing etc., and the type and extent of screening to be provided.
- ☒ 8. A signage plan with a scaled drawing showing the design of any proposed signage, including dimensions (length, width, height), a drawing of sign design and content, colors of sign, materials for construction and illumination, together with a site plan showing location of proposed free-standing sign and/or building elevations showing location and proportions of wall signs.

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted and is responsible for the payment of all legal notices incurred.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

  
APPLICANT'S SIGNATURE

7-21-2022  
DATE

480-390-4262  
TELEPHONE

OWNER'S SIGNATURE  


DATE  
6-1-2022

TELEPHONE  
801-471-5273

**PROJECT NARRATIVE:**

**FOR PRELIMINARY REVIEW**

**BUILDING:**

The materials to be used include brick, stone (faux or real), and aluminum siding. The roof will be an architectural composition shingle. Steeple will be pre-finished aluminum. Windows, doors, and storefront will be white with a light gray tint on the glass.

The design of the building echoes the rich heritage of religious structures in the area. The sides of the building will be split with a one third / two thirds ratio of brick and siding. This will reduce the monumentality of the building mass by introducing the aluminum siding on the top one third. A stone wainscot will visually ground the structure with the stone continuing to grace the steeple shaft. To reduce the visual impact of the steeple, brick has been introduced.

The overall look of this building will establish a "presence" along Danbury Road yet will not impose upon it. The colors and materials will blend with the City Hall across the street, as well as the medical center to the north which has used stone as an accent. Other buildings adjacent to this site all utilize stone, brick, and siding as the primary building materials.

**SITE:**

The site has been cleared of all buildings. The asphalt parking located along Danbury Rd may be left while the remainder of old asphalt parking will be removed along with much of the landscaping which is overgrown or reaching the end of its life cycle. An underground drainage system exists which will undergo analysis for possible future use with the new site layout.

The parking layout is located mainly to the south. The building entrance is located close to the majority of the parking. There are secondary entrances on the east and west for the small parking areas located there. A small storage shed and refuse dumpster are located on the west end of the building with easy access for refuse removal.

Cricket Lane will be maintained as an access easement for the businesses located in the cul-de-sac on the south end of the property. New parking for the medical center is located on the west side of Cricket Lane and is not part of this property.

RECEIVED

JUN 19 2019

Date: 06/19/2019

Receipt Number: 7886178

Amount Paid: \$935.00



**CERTIFICATE OF AUTHORITY**

Utah Div. Corp. & Comm. Goods

I, **RUSSELL M. NELSON**, do hereby certify (a) that I am the President of The Church of Jesus Christ of Latter-day Saints, a global Christian faith and spiritual body, and by virtue of such office I am the incumbent of The Church of Jesus Christ of Latter-day Saints, a Utah corporation sole, formerly known as Corporation of the Presiding Bishop of The Church of Jesus Christ of Latter-day Saints; (b) that I am the person designated in the Articles of Incorporation of said corporation to sign and execute deeds and other instruments in writing and transact all business of said corporation pursuant to the provisions of Section 16-7-8 of the Utah Code Annotated, 1953, as amended; and (c) that, pursuant to said Section 16-7-8, I hereby designate and appoint **BRIAN HANLEY** as an agent authorized and empowered for and in behalf of said corporation sole to take the following actions for transactions whose dollar value does not exceed \$3,000,000:

- (1) To execute deeds, easements and other instruments, purchase, sale, architectural, construction, repair, maintenance and other contracts, promissory notes, mortgages, bills of sale, assignments, notices, reports, title documents and other documents relating to the acquisition, purchase, sale, exchange, development, use, lease, maintenance, repair, improvement, taxation, encumbrance and release thereof, or other disposition of real and personal property of any kind;
- (2) To execute, file and prosecute building permit applications, petitions, complaints and protests relating to real and personal property of any kind; and
- (3) To execute instruments, proxies, voting trusts, voting agreements and other documents relating to water rights and stock in water, canal and irrigation companies.

This Certificate of Authority supersedes and replaces that certain Certificate of Authority, dated March 28, 2013, granted to Brian Hanley by Gary E. Stevenson, then incumbent of said corporation.

DATED and EXECUTED this 18 day of June, 2019, at Salt Lake City, Utah.


**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**, a Utah corporation sole.

By   
Russell M. Nelson, Incumbent

UNITED STATES OF AMERICA     )  
STATE OF UTAH                     : ss.  
COUNTY OF SALT LAKE         )

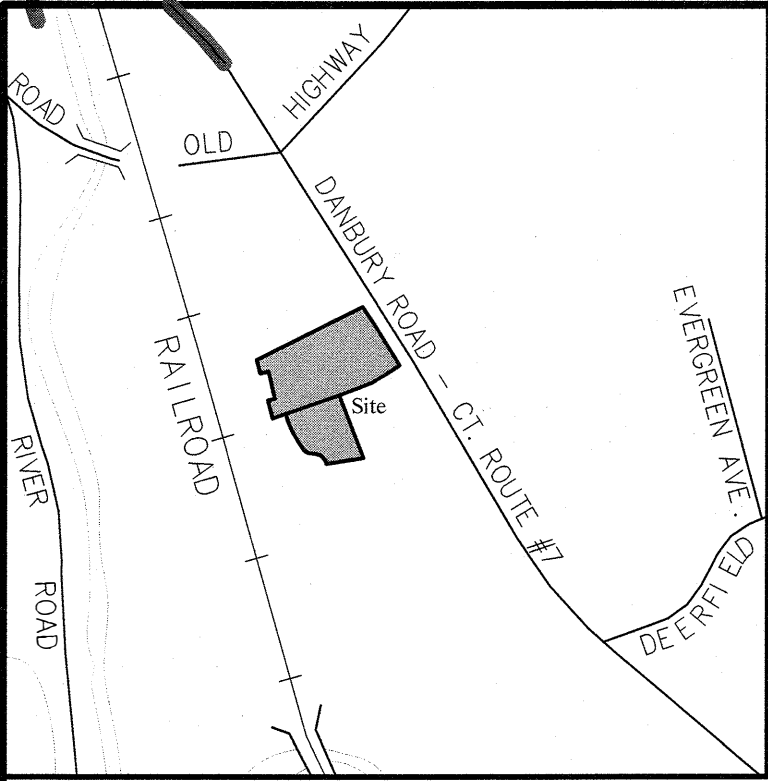
On the 18 day of June, 2019, personally appeared before me, Russell M. Nelson, personally known to me to be the President of The Church of Jesus Christ of Latter-day Saints, and acknowledged to me that he signed the foregoing instrument as the incumbent of The Church of Jesus Christ of Latter-day Saints, a Utah corporation sole.



  
NOTARY PUBLIC in and for said County and State

JUN 19 '19 AM9:08



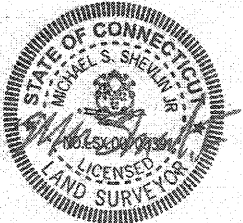


Vicinity Map  
Scale: 1"=500'

#### NOTES:

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-2 of the Regulations of Connecticut State Agencies - Minimum Standards for Survey and Maps in the State of Connecticut as endorsed by the Connecticut Association of Land Surveyors, Inc., August 29, 2019. It is a Zoning Location Survey based upon a Resurvey and conforms to Horizontal Accuracy Class A-2 and Topographical Class T-2.
- Bearings are referenced to the North American Datum (NAD) 1927.
- The underground utilities shown, if any, have been located from visible field survey information. No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utilities or municipal/public service facilities. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. For information regarding these utilities or facilities, please contact the appropriate agencies. Call Before You Dig, Inc. (1-800-922-4455).
- Property is Located in Zone DRB.
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
- Distances shown  $\pm$  from buildings to property lines are for reference purposes only and are not to be used to establish boundaries.
- Elevations are based on NAVD 1988.
- All monumentation, found or set, depicted hereon.
- Unauthorized alterations or additions to this survey, which bears the surveyor's embossed seal, renders any declaration shown hereon null and void.
- The property is located in FEMA Zone X per Flood Insurance Rate Map #09001C0383F, Effective Date: June 18, 2010.
- #241 Danbury Road is Subject to the Following:
  - Easement in favor of the Southern New England Telephone Company (Volume 25, Page 273)(Not Plottable)
  - Pole Easement in favor of the New York, New Haven and Hartford Railroad Company (Volume 28, Page 311)(Not Plottable)
  - Standard Development Easement in favor of the Connecticut Light and Power Company (Volume 53, Page 319)(Not Plottable)
  - Rights of way of the owners of those certain pieces, parcels or tracts of land over that certain piece, parcel or tract of land shown and designated as 'Cricket Lane' on Map 1541.
  - Warranty Deed (Volume 63, Page 580)
  - Deed (Volume 68, Page 599)
  - Warranty Deed (Volume 118, Page 450)
  - Quit Claim Deed (Volume 150, Page 43)
  - Easement to pass and repass and water pipe easement (Volume 152, Page 168)
  - Easement in favor of The State of Connecticut (Volume 1756, Page 72)(Plotted)
  - Special Permit from Town of Wilton Planning & Zoning (Volume 2437, Page 224)
  - Special Permit from Town of Wilton Planning & Zoning (Volume 2463, Page 195)
  - Special Permit from Town of Wilton Planning & Zoning (Volume 2464, Page 28)
  - Special Permit from Town of Wilton Planning & Zoning (Volume 2478, Page 52)
  - Declaration of Driveway, Utility and Signage Easements and Maintenance Agreement (Volume 2473, Page 581)(Plotted)
  - Subordination Agreement (Volume 2474, Page 376)
  - Notice from the State of Connecticut Department of Transportation-Traffic Report (Volume 2478, Page 614)
- #23 Cricket Lane is Subject to the Following:
  - Well Rights as described in Volume 36, Page 26; Volume 59 Page 349; Volume 62, Page 141; Volume 63, Page 580; Volume 68, Page 599 and Volume 70, Page 153
  - Grant to The Connecticut Light and Power Company (Volume 55, Page 319) (Not Plottable)
  - Drainage Easement (Volume 332, Page 274) (Not Plottable-South End of #27 Cricket Lane)
  - Agreement (Volume 332, Page 277)
- Total Parcel Area #241 Danbury Road: 56,856  $\pm$  s.f., 1.305 ac $\pm$   
Total Parcel Area #23 Cricket Lane: 21,933  $\pm$  s.f., 0.503 ac $\pm$
- No evidence of earth moving, building construction or building additions in the recent months at the time of the field survey for this map other than incidental grading for the re-construction of Cricket Lane (12/15/18).
- Changes to street R.O.W. lines are shown hereon and include State of Connecticut Department of Transportation taking and easement lines.
- There is no observable evidence of use as a solid waste dump, sump or sanitary land fill.
- There is no observable evidence of cemeteries or burial grounds on site.
- The parcels as a whole and individually have direct access to Danbury Road (U.S. Route #7) by way of the private R.O.W. Cricket Lane.
- The parking spaces onsite are over-grown with faded paint. A parking count has not been completed.
- The property is located in FEMA Zone X per Flood Insurance Rate Map #09001C0383F, Effective Date: June 18, 2010.

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY  
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON



Michael S. Shevlin, Jr. PLS #70339

#### MAP REFERENCES:

- 'Map Of Property Prepared For Marcelino E. Lavín, Wilton, Conn.; 1"=40'; March 8, 1995; Revised May 23, 1995' prepared by Roland H. Gardner, Wilton Land Records Map #4932.
- 'Map of Property Prepared For Ralph M. Piersall And Thomas T. Adams, As Trustees And Judith P. Lavín, Wilton, Conn.; 1"=40'; March 26, 1970, revised Aug. 5, 1970' prepared by Roland H. Gardner, Land Surveyor, Wilton Land Records Map #2977.
- 'Map Of Plots 1 & 2 Prepared For George P. Van Riper At Wilton, Conn.; 1"=40'; 1947' prepared by Samuel Hoyt, Jr. Co., Inc. Wilton Land Records Map #805.
- 'Map of Plot I To II Inclusive Prepared For George P. Van Riper At Wilton, Conn.; 1"=40'; July 25, 1955' prepared by Samuel Hoyt, Jr. Co., Inc. Wilton Land Records Map #1541.
- 'Map Of Property Prepared For George P. Van Riper At Wilton, Conn.; 1"=40'; May 20, 1958' prepared by John W. Farnsworth - Land Surveyor, Wilton Land Records Map #1820.
- 'Map Of Plots 4.5, And 6 Prepared For George P. Van Riper At Wilton, Conn.; 1"=40'; Dec. 1953' prepared by Samuel Hoyt, Jr. Co., Inc. Wilton Land Records Map #1353.
- 'Map Of Plot 3 Prepared For George P. Van Riper At Wilton, Conn.; 1"=40'; Feb. 1952' prepared by Samuel Hoyt, Jr. Co., Inc. Wilton Land Records Map #1193.
- 'Map Prepared For Philip Van Wyck And Kathleen H.G. Van Wyck, Wilton, Connecticut; 1"=20'; April 3, 1968' prepared by 'Hemicks', Wilton Land Records Map #2727.
- 'Map Of Property For John C. Parker, Trustee, Wilton, Conn.; 1"=20'; March 26, 1973' prepared by Roland H. Gardner - Land Surveyor, Wilton Land Records Map #3232.
- 'Right Of Way Survey, Fed. No. STPA-7(113) Town Of Wilton, Map Showing Land Acquired From 241 Danbury Road Associates, LLC By The State Of Connecticut Department Of Transportation, Reconstruction Of Existing Route U.S. 7; 1"=40'; October, 2000', Wilton Land Records Map #3452.
- 'Right Of Way Survey, Fed. No. STPA-7(113) Town Of Wilton, Map Showing Land Acquired From The Wilton Historical Society, Inc. By The State Of Connecticut Department Of Transportation, Reconstruction Of Existing Route U.S. 7; 1"=40'; August, 1998.
- 'Compilation Plan, Town Of Wilton, Map Showing Land Released To 241 Danbury Road Associates, LLC By The State Of Connecticut Department Of Transportation, Reconstruction Of Existing Route U.S. 7; 1"=40'; March, 2010', Wilton Land Records Map #5720.
- Volume 211, Page 120 - Warranty Deed.
- Volume 150, Page 340 - Quit Claim Deed.
- 'Easement Map Depicting Signage and Revised R.O.W. Easements; Prepared for: Cambridge Hanover; #241 & #249 Danbury Road-U.S. Route #7 Wilton, Connecticut; Scale: 1"=40'; Revised to: 7/12/17; Prepared By: Shevlin Land Surveying, LLC' Map #5890
- 'Data Accumulation Plan Depicting Lot Line Revision Prepared for: Cambridge Hanover; #241 & #249 Danbury Road-U.S. Route #7, #16 & #22 Cricket Lane, Wilton, Connecticut; Scale: 1"=40'; Revised to: 7/12/17; Prepared By: Shevlin Land Surveying, LLC' Map #5883
- 'Map showing drainage easement over land of Richard A. Zuckerman; prepared for Robert A. Singewald, Trustee, Wilton, Connecticut, scale: 1"=40'; July 31, 1979, revised to: August 13, 1979; prepared by Ryan and Faulds; Map #3730.'

N/F  
BHT Realty, LLC  
#27 Cricket Lane  
727

N/F  
BHT Realty, LLC  
#23 Cricket Lane  
Zone DRB - 726  
21,933 sf +/-  
0.504 ac +/-

N/F  
CH Danbury Road Assoc. LLC  
& Osman Wilton LLC  
241 Danbury Road  
Zone DRB - 725  
56,856 sf +/-  
1.305 ac +/-

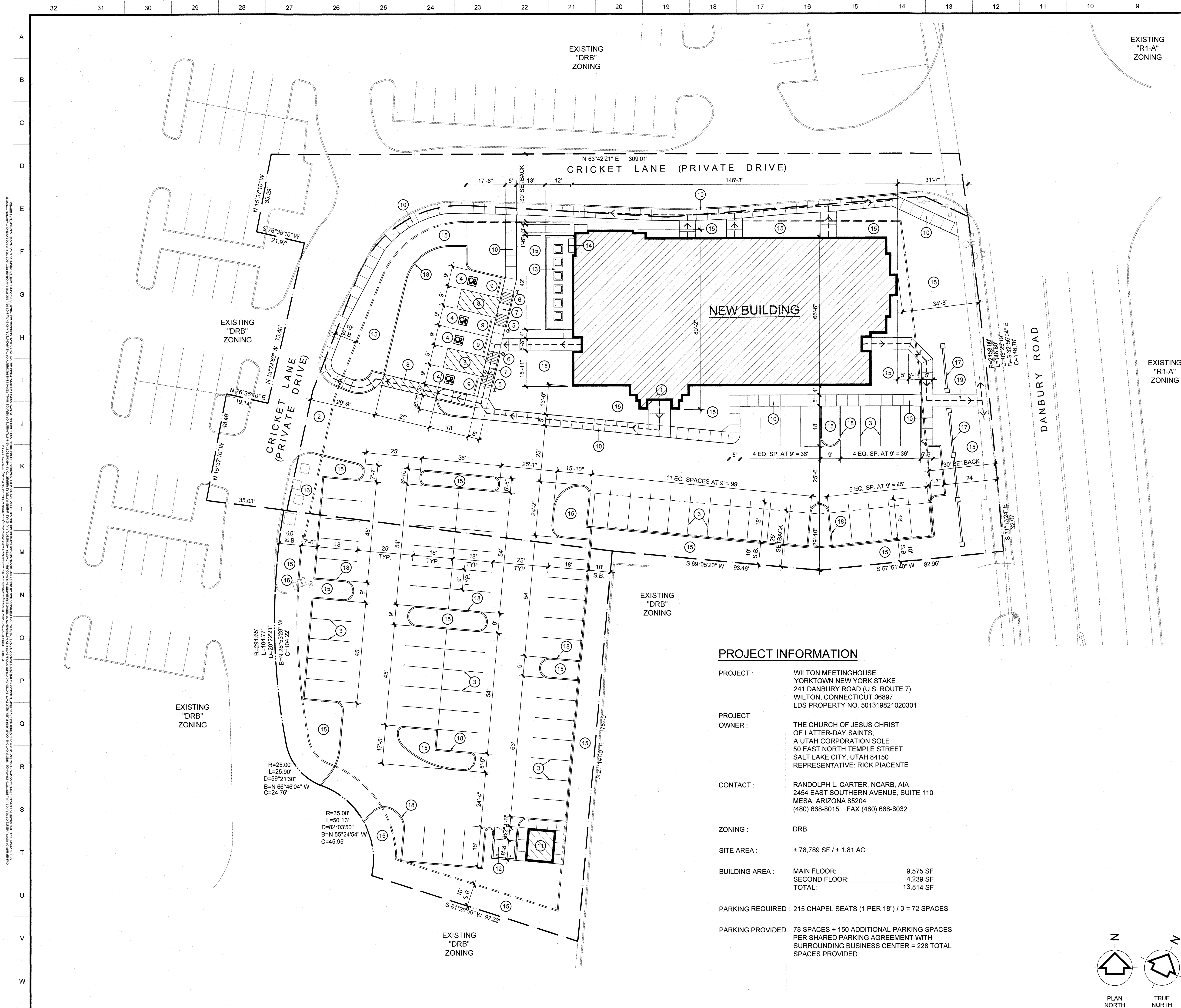
N/F  
CH Danbury Road Assoc. LLC  
& Osman Wilton LLC  
249 Danbury Road  
725

LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	WATER SERVICE
	GAS LINE
	FINISHED FLOOR
	GARAGE FLOOR
	INLAND WETLANDS WITH FLAG #
	BUILDING SETBACK LINE
	DRAINAGE EASEMENT
	CONSERVATION EASEMENT
	WATERCOURSE
	CATCH BASIN
	CONIFER TREE
	DECIDUOUS TREE
	EXISTING IRON PIPE
	EXISTING MONUMENT
	LAMP
	HYDRANT
	MANHOLE
	UTILITY POLE
	WATER VALVE
	WELL

## ZONING LOCATION SURVEY DEPICTING EXISTING CONDITIONS PREPARED FOR CORPORATION OF THE PRESIDING BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS a UTAH CORPORATION SOLE #241 DANBURY ROAD - U.S. ROUTE #7 #23 CRICKET LANE WILTON, CONNECTICUT

REVISIONS		DATE:	SCALE:	DRAFTER:	JOB NUMBER:	FILE NUMBER:
1	5/10/2022	Update & Utilities	1"=20'	MSS	8618	8618/6115
NO.	DATE	DESCRIPTION				
SHEVLIN LAND SURVEYING, LLC						
				165 Oyster Road-Fairfield, CT 03023-2158-5840	593 Main Street-Monroe, CT 06460-1100	1/1





## KEYNOTES

- 1 KNOX BOX RECESSED IN WALL AT ENTRY DOORS PER TOWN OF WILTON FIRE DEPARTMENT STANDARDS
- 2 CONCRETE DRIVEWAY PER TOWN OF WILTON STANDARD DETAILS - SEE CIVIL DRAWINGS
- 3 4" WIDE WHITE PAINTED PARKING STALL STRIPING TYP.
- 4 PAINTED EMBLEM ON ASPHALT PAVING AT ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN, STATE & FEDERAL ACCESSIBILITY REGULATIONS
- 5 ACCESSIBLE PARKING SIGN ONLY AND POST - SEE DETAIL
- 6 ACCESSIBLE & VAN-ACCESSIBLE PARKING SIGN AND POST - SEE DETAIL
- 7 ACCESSIBLE CONCRETE SIDEWALK RAMP OVER COMPACTED ABC BASE - SEE DETAIL
- 8 4" WIDE WHITE PAINTED BORDER AND MIDDLE 45° DIAGONAL LINES AT 2'-0" O.C. - SEE DETAIL
- 9 CONCRETE WHEEL STOP SECURED TO PAVEMENT - SEE DETAIL
- 10 4" THICK AIR-ENTRAINED CONCRETE SIDEWALK WITH EXPANSION & CONTROL JOINTS - SEE DETAIL
- 11 STORAGE BUILDING - SEE SHEET
- 12 GATED REFUSE ENCLOSURE AND CONCRETE APRON TO COMPLY WITH TOWN OF WILTON STANDARDS - SEE DETAILS
- 13 CONCRETE PAD-MOUNTED HVAC UNITS - SEE MECHANICAL DRAWINGS
- 14 SERVICE ENTRANCE SECTION - SEE ELECTRICAL DRAWINGS
- 15 LANDSCAPE AREA - SEE LANDSCAPE & IRRIGATION DRAWINGS
- 16 EXISTING ELECTRICAL EQUIPMENT BOXES TO REMAIN
- 17 MASONRY SCREEN WALL - SEE DETAILS
- 18 CONCRETE CURB - SEE CIVIL DRAWINGS
- 19 ARROWS INDICATE EXIT DISCHARGE PATH TO A PUBLIC WAY

## PROJECT INFORMATION

PROJECT : WILTON MEETINGHOUSE  
YORKTOWN NEW YORK STAKE  
241 DANBURY ROAD (U.S. ROUTE 7)  
WILTON, CONNECTICUT 06897  
LDS PROPERTY NO. 501319821020301

PROJECT  
OWNER : THE CHURCH OF JESUS CHRIST  
OF LATTER-DAY SAINTS,  
A UTAH CORPORATION SOLE  
50 EAST NORTH TEMPLE STREET  
SALT LAKE CITY, UTAH 84150  
REPRESENTATIVE: RICK PIACENTE

CONTACT : RANDOLPH L. CARTER, NCARB, AIA  
2454 EAST SOUTHERN AVENUE, SUITE 110  
MESA, ARIZONA 85204  
(480) 668-8015 FAX (480) 668-8032

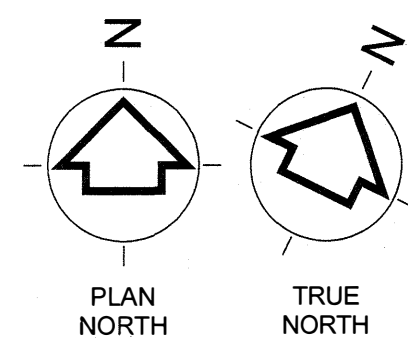
ZONING : DRB

SITE AREA :                    ± 78,789 SF / ± 1.81 AC

BUILDING AREA :	MAIN FLOOR:	9,575 SF
	SECOND FLOOR:	4,239 SF
	<u>TOTAL:</u>	<u>13,814 SF</u>

PARKING REQUIRED : 215 CHAPEL SEATS (1 PER 18") / 3 = 72 SPACES

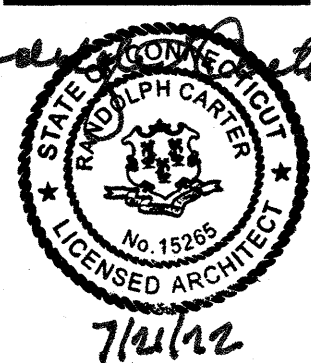
PARKING PROVIDED : 78 SPACES + 150 ADDITIONAL PARKING SPACES  
PER SHARED PARKING AGREEMENT WITH  
SURROUNDING BUSINESS CENTER = 228 TOTAL  
SPACES PROVIDED



X32	ARCHITECTURAL SITE PLAN
	1" = 20'-0"

RANDOLPH L. CARTER  
ARCHITECT • AIA • NCARB

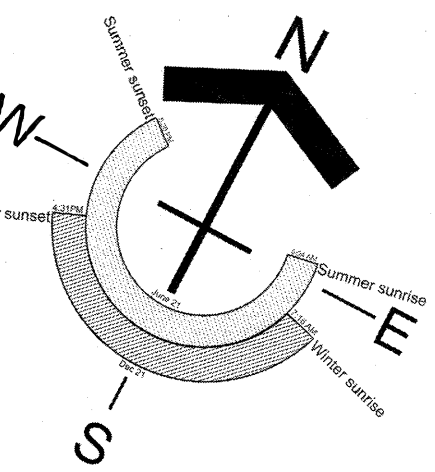
**WILTON MEETINGHOUSE**  
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS  
YORKTOWN NEW YORK STAKE

Project Number  
2022-13ARCHITECTURAL  
SITE PLAN

SD102



OWNER'S PROPERTY NO. 501319821020301



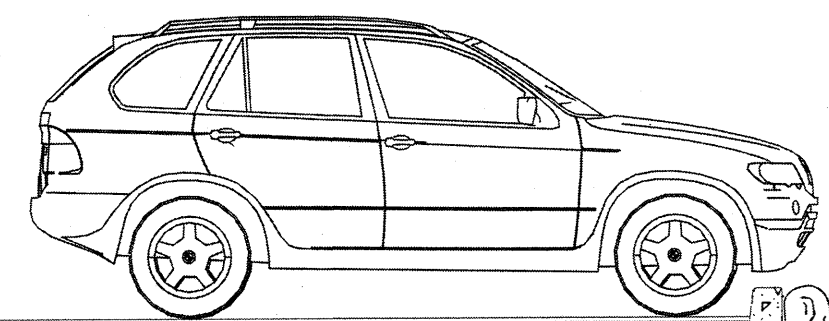
DRAFT  
(v 7-18-2022 for Owner & Architect review)



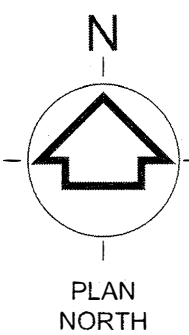
Flowering Liriope as a ground-cover  
in all building foundation beds. (typ.)



Cobble island Infill paving  
in islands too narrow to  
support trees and for run-over  
and snow / salt removal. (typ.)



Curbed Parking Lot Island with Flush Cobble Paving  
Not to Scale

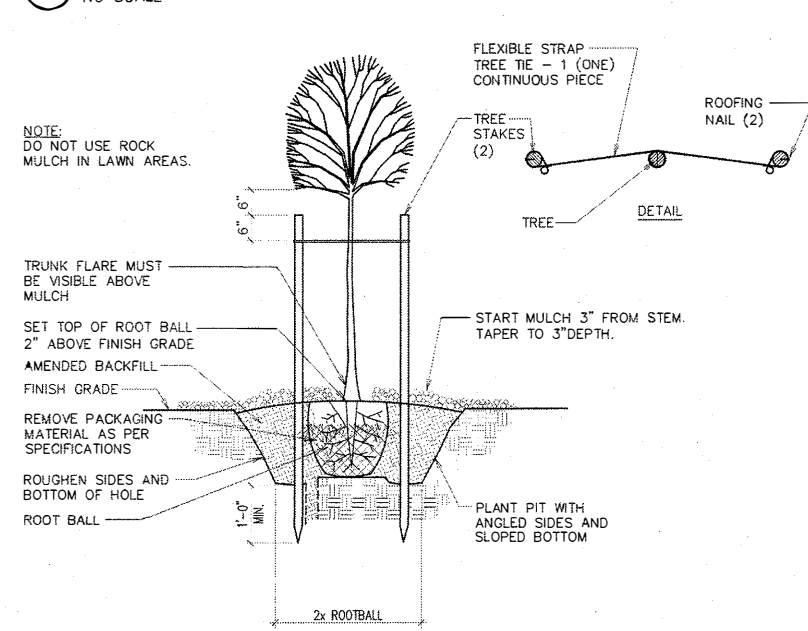


PLAN NORTH

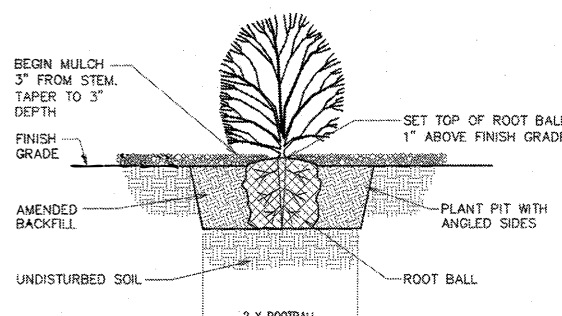
## LANDSCAPE SITE PLAN

1" = 20'-0"

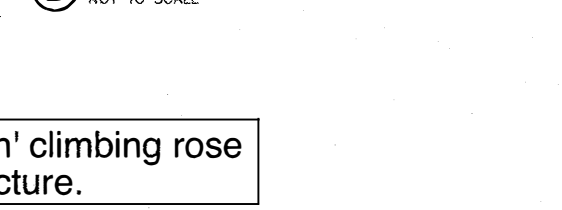
### CONIFER PLANTING AND STAKING



### TREE PLANTING AND STAKING



### SHRUB PLANTING DETAIL



19 Rosa 'White Dawn' climbing rose  
on screen fence structure.

PLANTING / WORK SCHEDULE						
Graphic Key	Quantity	Botanical Name	Common Name	Pot / Size	Spacing	Type / Form - Function
	13	Chamaecyparis obtusa 'Nana Gracilis'	Dwarf Slender Hinoki Cypress	24"ht. / # 5 container	As shown	Evergreen Shrub - Accent
	43	Ilex crenata 'Steeds'	Steeds Holly	#15 container	4' o.c.	Evergreen Shrub - screening
	72	Buxus x 'Green Velvet'	Green Velvet Boxwood	24"ht. / #5 container	4' o.c.	Evergreen Shrub - foundation
	20	Acer rubrum 'Red Sunset'	Red Sunset Maple	3"-3 1/2" caliper 12-14"ht.	As shown	Deciduous Tree - mass & shade
	6	Malus 'Purple Prince'	Purple Prince Crabapple	2 1/2-3" caliper 8-10"ht.	As shown	Deciduous Flowering Tree - accent
	21	Picea excelsis	Norway Spruce	8-10"ht.	9' - 10' o.c.	Evergreen Tree - screening
	550	Liriope muscari 'Big Blue'	Big Blue Liriope	#1 container 4-6"ht.	12" o.c.	Deciduous groundcover
	120	Hemerocallis 'Stella d' Oro'	Stella d' Oro Daylily	#1 container 4-6"ht.	12" o.c.	Perennial Flowering - color
	19	Rosa 'White Dawn' (climbing)	White Dawn Rose	#3 container 18"-24"ht.	4' o.c.	Deciduous Flowering Shrub - color
	3	Rosa 'Coral Knock Out' (shrub)	Coral Knock Rose	#1 container 18"-24"ht.	4' o.c.	Deciduous Flowering Shrub - color

### PROJECT INFORMATION

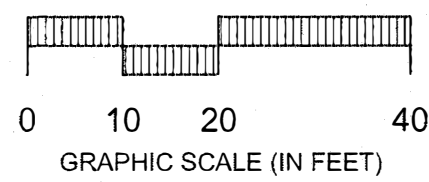
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REPRESENTATIVE: RICK PIACENTE

CONTACT: RANDOLPH L. CARTER, INC./ARB, AIA  
SKETCH ARCHITECTURE COMPANY  
2454 EAST SOUTHERN AVENUE, SUITE 110  
MESA, ARIZONA 85204  
(480) 668-8015 FAX (480) 668-8032

ZONING: DRB

SITE AREA: ± 78,789 SF / ± 18.11 AC



PRELIMINARY  
NOT FOR  
CONSTRUCTION

DRAFT  
Landscape  
Plan

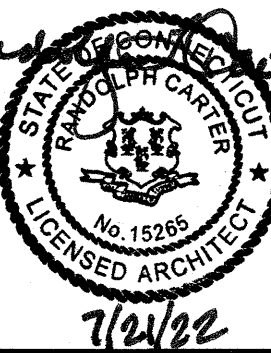
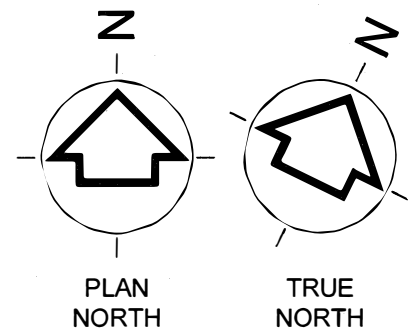
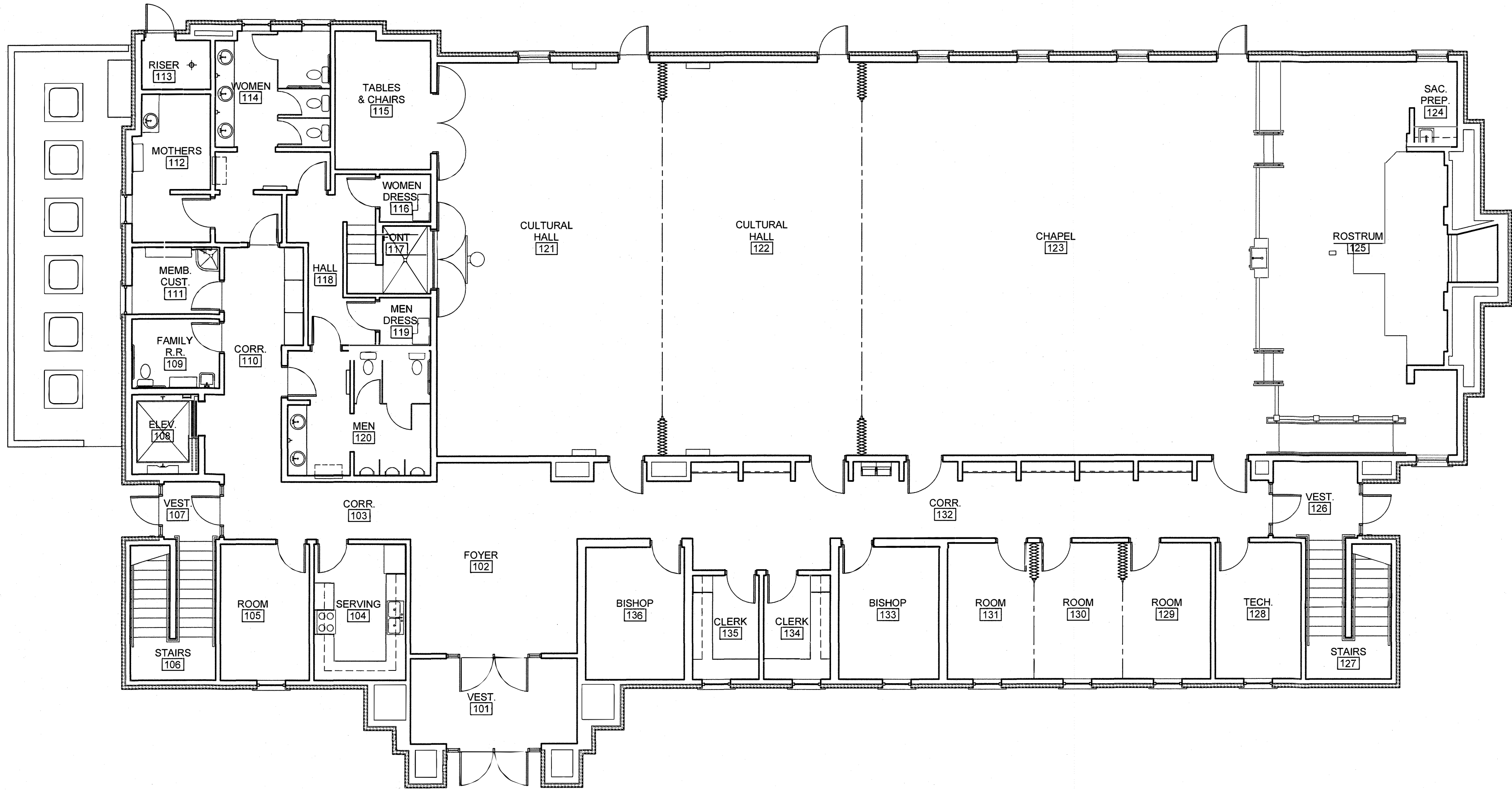
L-100

WILTON MEETINGHOUSE  
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS  
YORKTOWN NEW YORK STAKE  
241 DANBURY ROAD, WILTON, CONNECTICUT 06897  
OWNER'S PROPERTY NO. 501319821020301

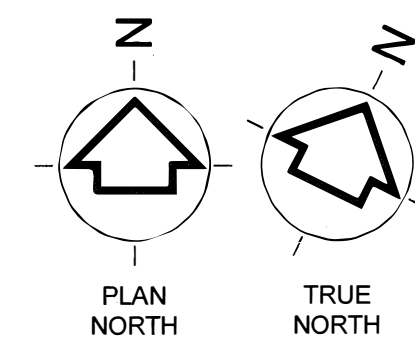
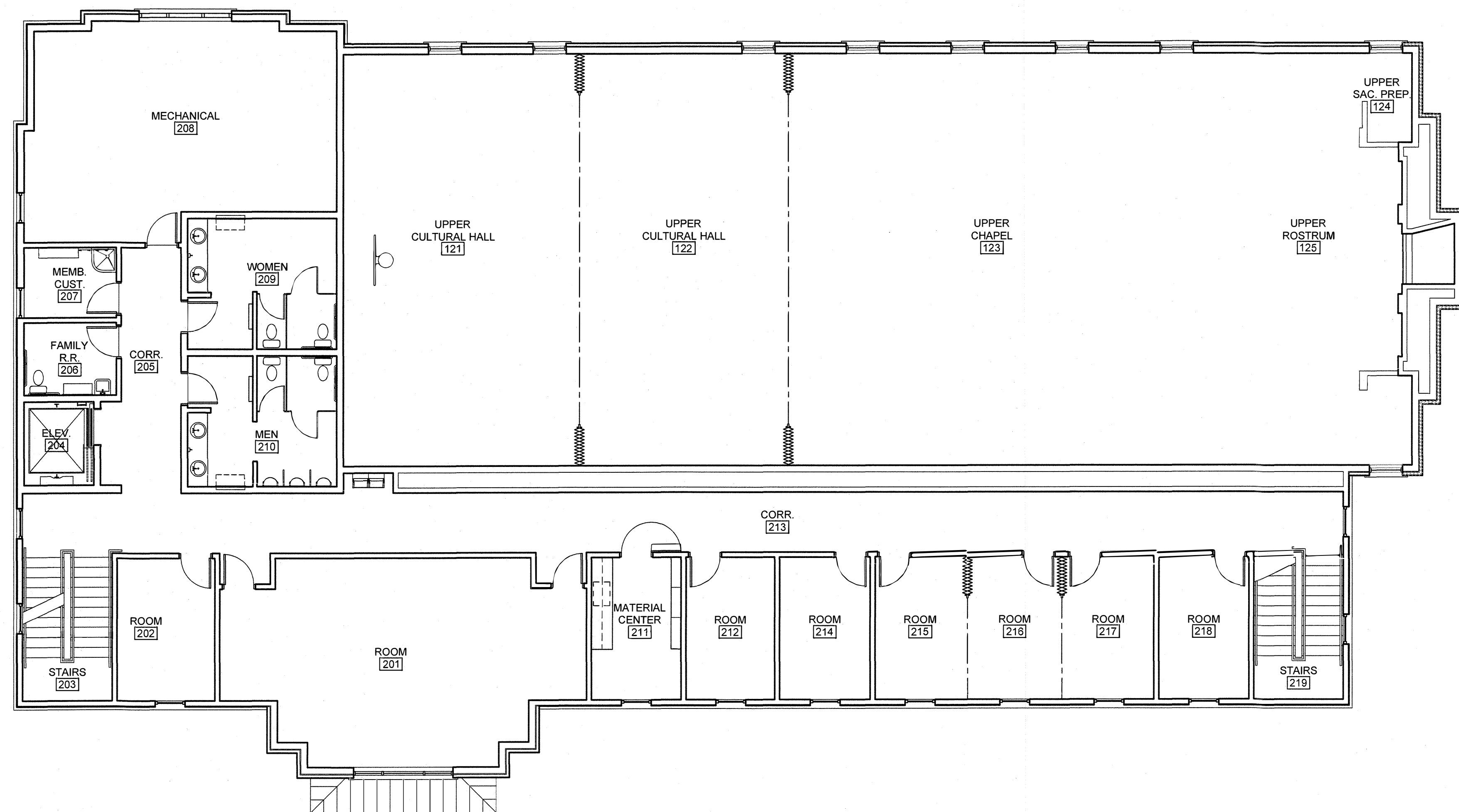
RANDOLPH L. CARTER  
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2454 EAST SOUTHERN AVENUE #110, MESA, ARIZONA 85204  
PH 480.668.8015 FAX 480.668.8032



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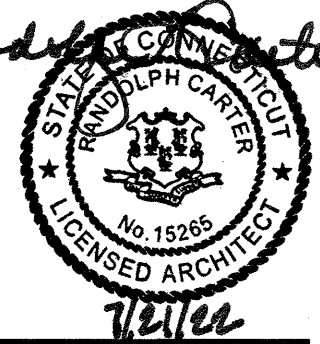
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X32	SECOND FLOOR PLAN - NOTED
	1/8" = 1'-0"

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**WILTON MEETINGHOUSE**  
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS  
YORKTOWN NEW YORK STATE  
241 DANBURY ROAD, WILTON, CONNECTICUT 06897  
OWNER'S PROPERTY NO. 501318621020301



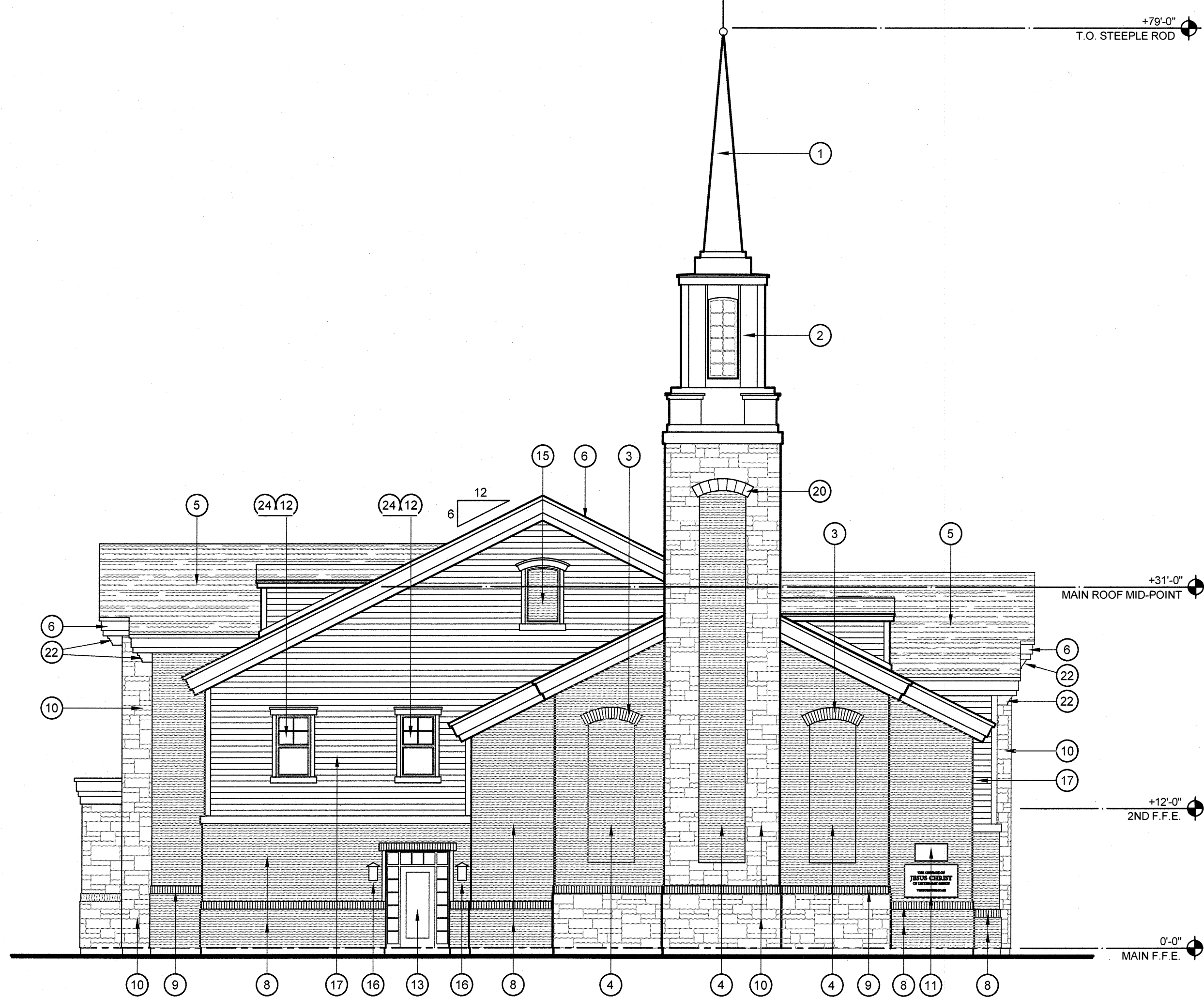
Project Number  
2022-13

SECOND  
FLOOR PLAN -  
NOTED

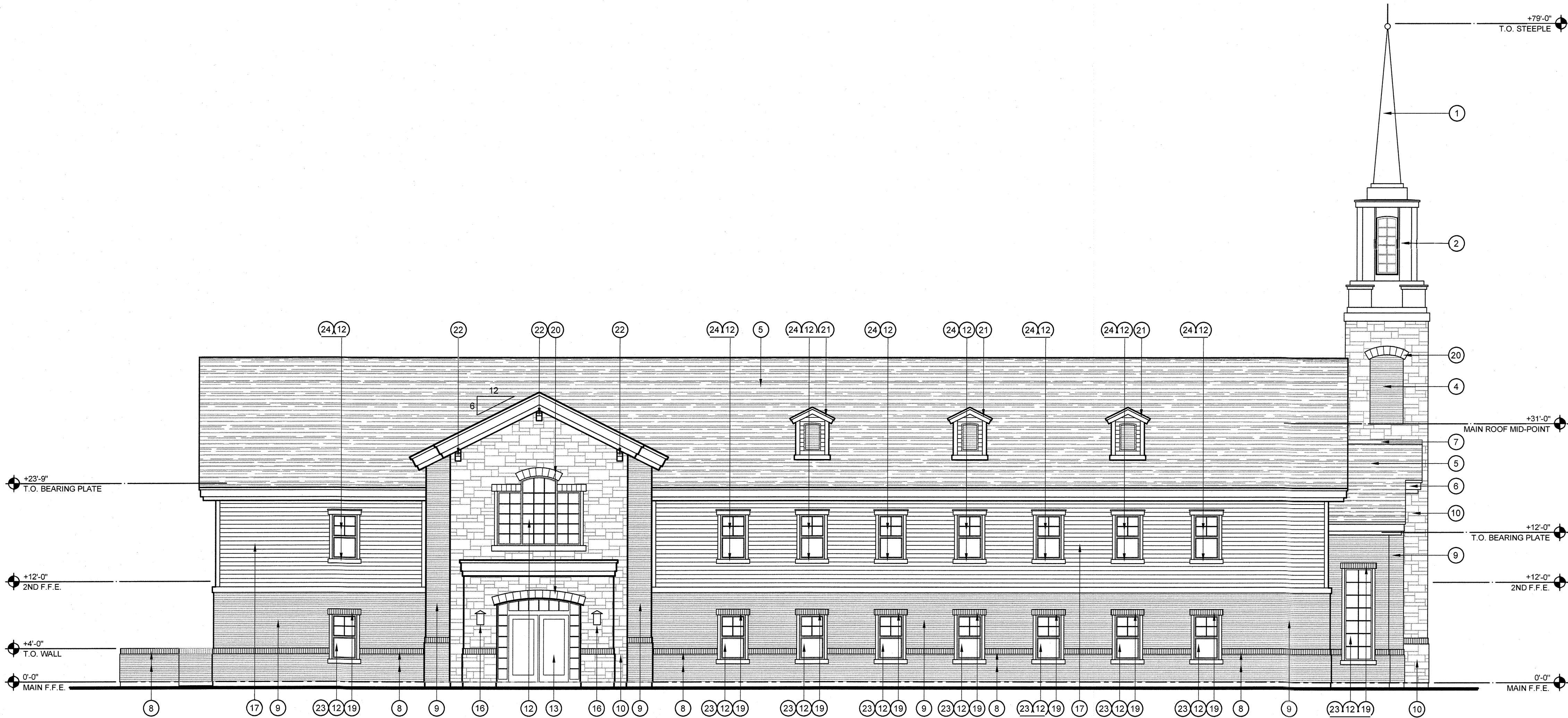
A102



PROJECT: 2022-13 Wilton Meetinghouse  
OWNER: The Church of Jesus Christ of Latter-day Saints  
ARCHITECT: RANDOLPH L. CARTER ARCHITECT, AIA, NCARB  
DATE: 10/2022  
SHEET: A201 OF 201  
NOTES: 1. ALL DIMENSIONS ARE IN FEET AND INCHES. 2. FINISHES ARE INDICATED BY SHADING. 3. MATERIALS AND METHODS OF CONSTRUCTION ARE AS SHOWN. 4. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. 5. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. 6. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES. 7. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE. 8. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES. 9. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTS. 10. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ANIMALS. 11. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HUMANS. 12. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING GODS. 13. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SPIRITS. 14. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ANGELS. 15. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DEMONS. 16. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 17. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 18. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 19. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 20. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 21. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 22. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 23. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 24. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 25. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 26. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 27. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 28. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 29. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 30. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 31. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS. 32. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELEMENTALS.



L32 EAST EXTERIOR ELEVATION  
1/8" = 1'-0"



X32 SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"

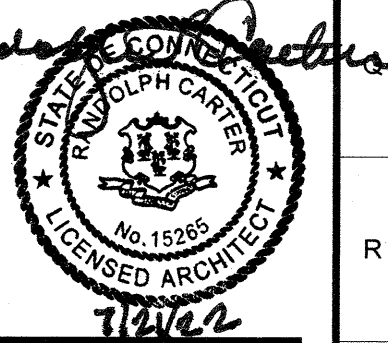
## KEYNOTES

- 1 PREMANUFACTURED/PREFINISHED METAL STEEPLE SPIRE - "BONE WHITE" - SEE SHEETS A204 & A205
- 2 PREMANUFACTURED/PREFINISHED METAL STEEPLE - "BONE WHITE" - SEE SHEETS A204 & A205
- 3 FIELD BRICK VENEER ARCH - GENERAL SHALE BRICK "HERITAGE 441" OR EQUIVALENT WITH NATURAL GRAY COLOR MORTAR JOINTS
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- 11 GRANITE BUILDING & ADDRESS SIGNS - HANS MONUMENT INC. "BARRE GRAY GRANITE" - SEE SHEET A203
- 12 VINYL WINDOWS - THERMAL WINDOW WHITE FRAMES WITH SOLAR GREY OBSCURE GLAZING
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- 23 PRECAST NATURAL BRAY COLOR WINDOW SILLS & WOOD SIDE WINDOW TRIM - SEE DETAILS
- 24 WOOD WINDOW LINTEL, SIDE TRIM & SILLS - SEE DETAILS

RANDOLPH L. CARTER  
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WILTON MEETINGHOUSE  
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS  
YORKTOWN NEW YORK STAKE  
241 DANBURY ROAD, WILTON, CONNECTICUT 06897  
OWNER'S PROPERTY NO. 501319621020301



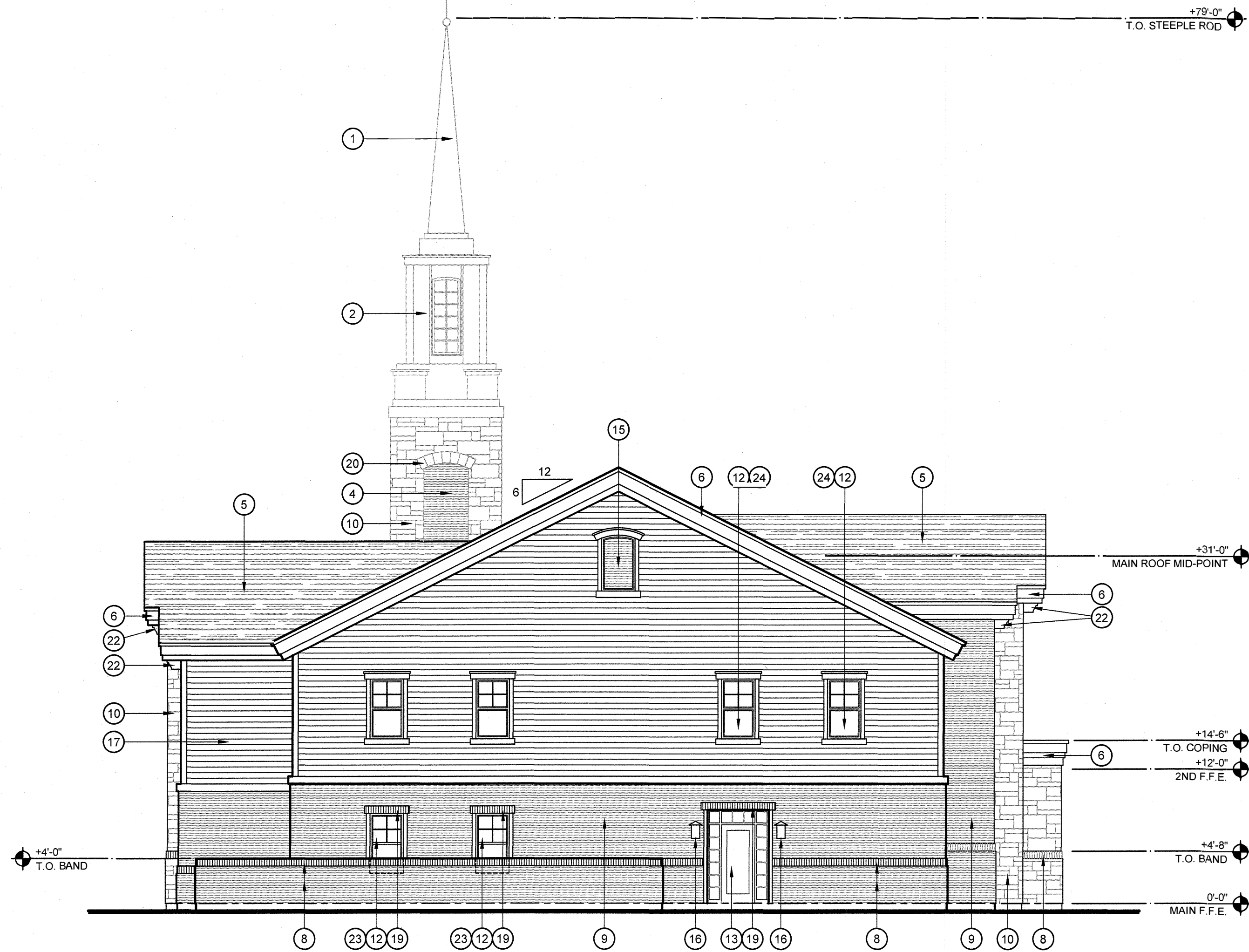
Project Number  
2022-13

EAST & SOUTH  
EXTERIOR  
ELEVATIONS

A201



ARCHITECT: RANDOLPH L. CARTER, ARCHITECT, 2454 EAST SOUTHERN AVENUE #110, MESA, ARIZONA 85204  
PH: 480.668.8015 FAX: 480.668.8032  
OWNER: THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, YORKTOWN NEW YORK STAKE  
241 DANBURY ROAD, WILTON, CONNECTICUT 06897  
OWNER'S PROPERTY NO. 501318621020301  
DATE: 7/26/22  
PROJECT NUMBER: 2022-13  
WEST & NORTH EXTERIOR ELEVATIONS  
A202



L32 WEST EXTERIOR ELEVATION  
1/8" = 1'-0"



X32 NORTH EXTERIOR ELEVATION  
1/8" = 1'-0"

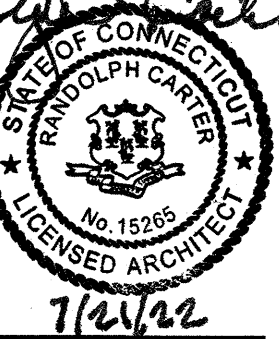
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- 24 WOOD WINDOW LINTEL, SIDE TRIM & SILLS - SEE DETAILS

RANDOLPH L. CARTER  
ARCHITECT • AIA • N • C • A • R • B

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WILTON MEETINGHOUSE  
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS  
YORKTOWN NEW YORK STAKE  
241 DANBURY ROAD, WILTON, CONNECTICUT 06897  
OWNER'S PROPERTY NO. 501318621020301



Project Number  
2022-13

WEST & NORTH  
EXTERIOR  
ELEVATIONS

A202







PROJECT: 2022-13 WEST & NORTH EXTERIOR ELEVATIONS  
OWNER: THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS  
ARCHITECT: RANDOLPH L. CARTER ARCHITECTS  
DATE: 7/12/22  
SHEET: A202  
SCALE: 1/8" = 1'-0"

L32 WEST EXTERIOR ELEVATION  
1/8" = 1'-0"



X32 NORTH EXTERIOR ELEVATION  
1/8" = 1'-0"



KEYNOTES

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RANDOLPH L. CARTER  
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WILTON MEETINGHOUSE  
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS  
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OWNER'S PROPERTY NO. 501318821020301



Project Number  
2022-13  
WEST & NORTH  
EXTERIOR  
ELEVATIONS

A202



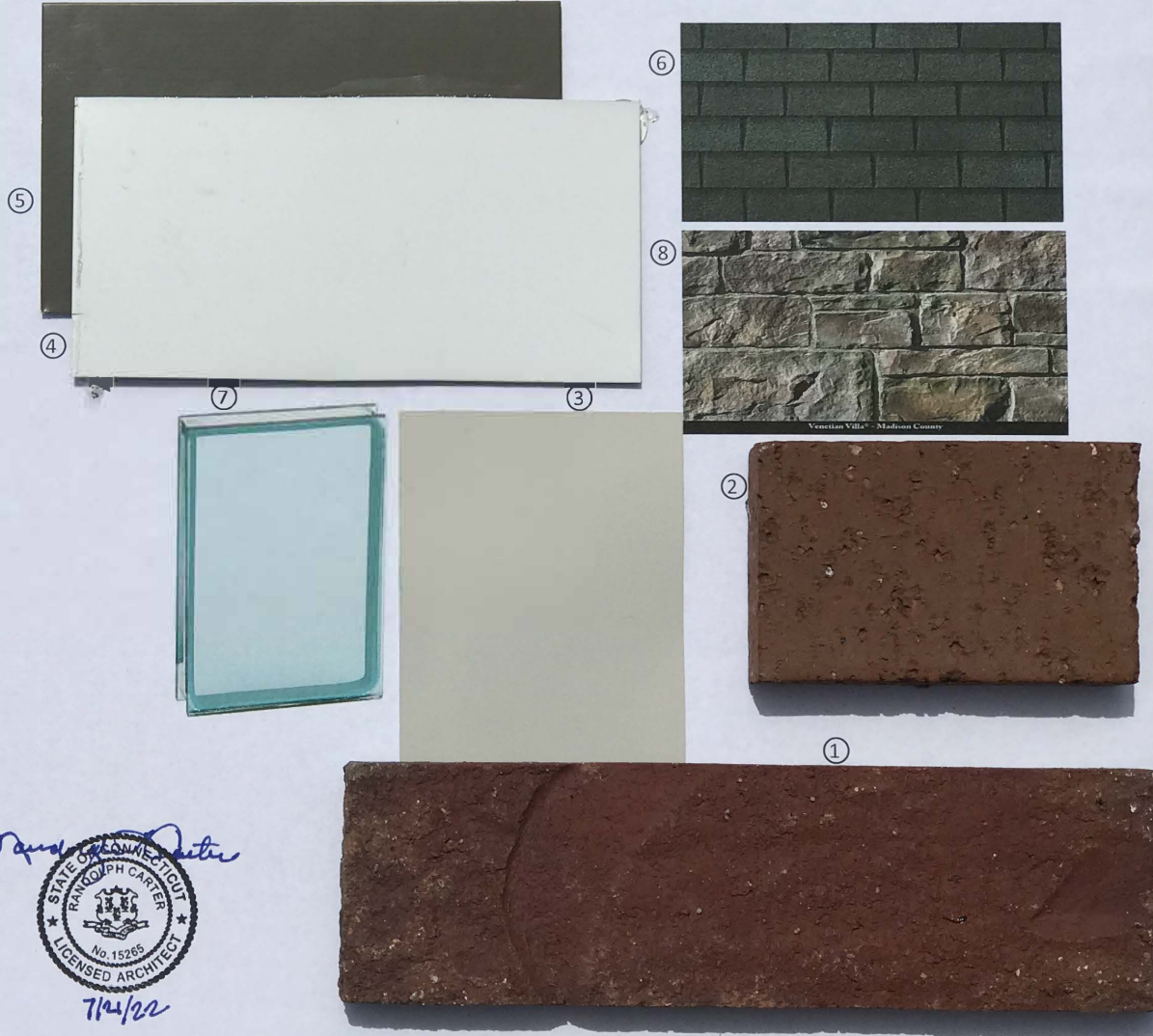
# WILTON MEETINGHOUSE

FOR  
THE CHURCH OF JESUS  
CHRIST OF LATTER-DAY SAINTS  
A UTAH CORPORATION SOLE

241 DANBURY ROAD – U.S. ROUTE #7  
WILTON, CONNECTICUT 06897

## MATERIALS & FINISHES

- ① GENERAL SHALE BRICK- TYPE FBX/HBX "HERITAGE" 441 MODULAR
- ② INTERSTATE BRICK- "MONTEREY" ANTIQUE L-4 MODULAR
- ③ HARDIE PLANK LAP SIDING- SMOOTH "PEARL GRAY"
- ④ MBCI- LOW GLOSS "BONE WHITE" SIG-300
- ⑤ MBCI- "MED-BRONZE" SIG-300
- ⑥ GAF TIMBERLINE DIMENSIONAL SHINGLES- SLATELINE "ROYAL SLATE"
- ⑦ GLAZING – PPG CLEAR DUAL INSULATED "SOLARBAN 80"
- ⑧ CORONADO STONE- VANETIAN VILLA "MADISON COUNTY"





## **Wilton CT Meetinghouse Exterior Light Fixtures**

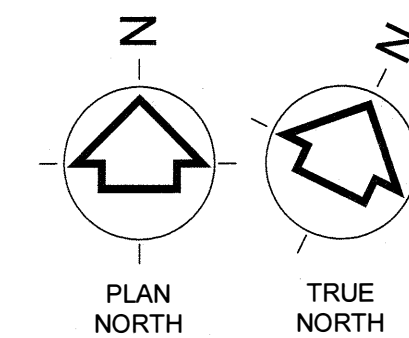
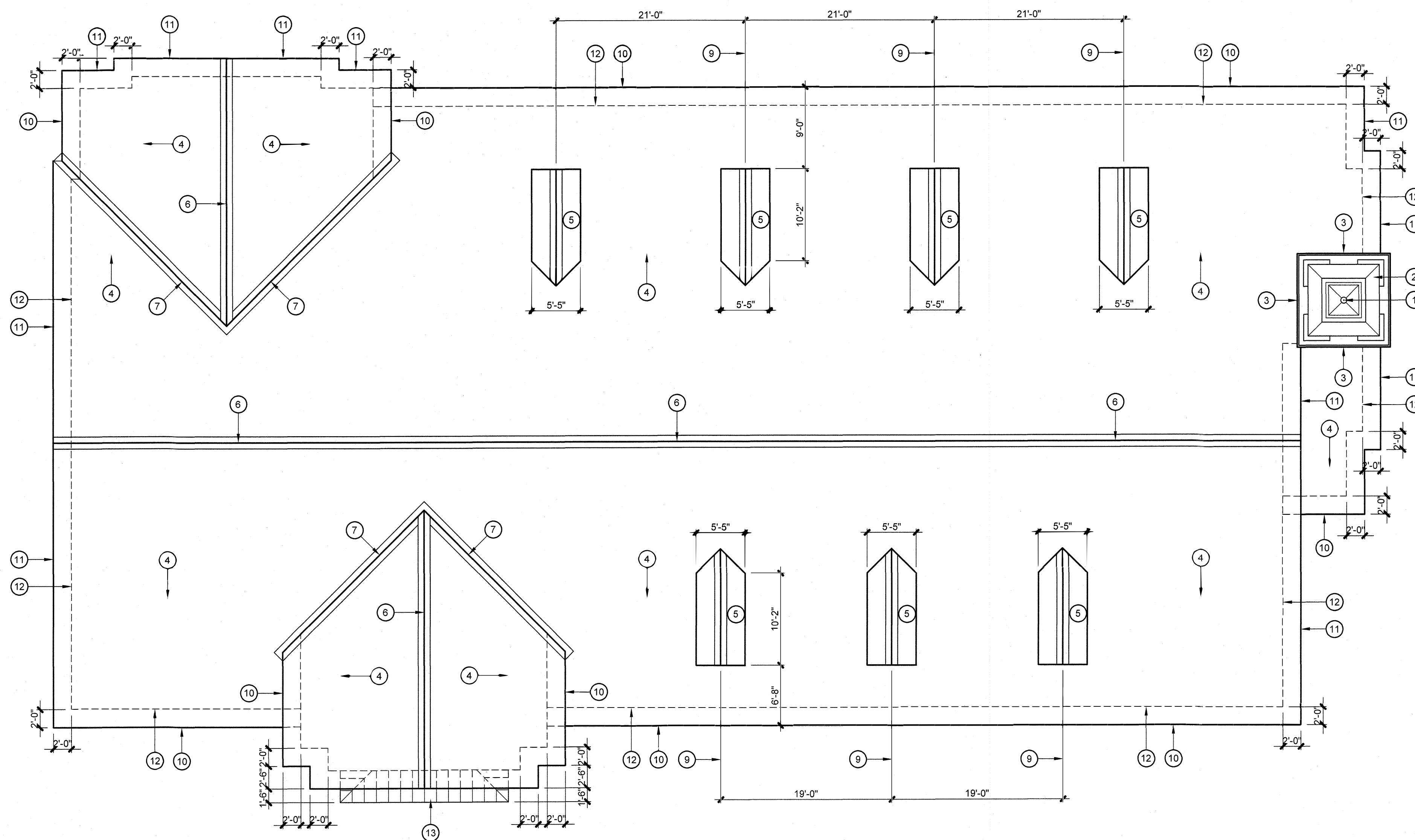


**Exterior Parking Lot Fixtures, Lithonia ESX1 LED Luminaire, to match adjacent medical building.**



**Exterior Building Mounted Fixtures, with Cut-Off Lamp**





X32	ROOF PLAN
	1/8" = 1'-0"

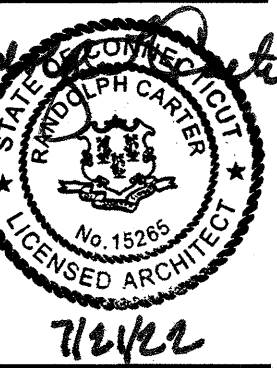
## KEYNOTES

- (1) PREMANUFACTURED/PREFINISHED METAL STEEPLE - SEE SHEETS & STRUCTURAL DRAWINGS
- (2) LIGHTNING PROTECTION SYSTEM AT STEEPLE - SEE ELECTRICAL DRAWINGS
- (3) WEATHERTIGHT FLASHING ALL AROUND AT STEEPLE TO ROOFING TYP. - SEE DETAIL
- (4) LAMINATED COMPOSITION ARCHITECTURAL SHINGLES OVER UNDERLAYMENT WITH 6:12 ROOF PITCH IN DIRECTION OF ARROW TYP.
- (5) DORMER WITH 6:12 ROOF PITCH TYP. - SEE DETAILS
- (6) ROOF RIDGE VENT - SEE DETAIL
- (7) ROOF VALLEY - SEE DETAIL
- (8) ROOF TO GABLE WALL FLASHING - SEE DETAIL
- (9) CENTERLINE OF DORMERS SHALL ALIGN WITH CENTERLINE OF EXTERIOR WINDOWS BELOW - SEE ALSO EXTERIOR ELEVATION SHEETS A201 & A202
- (10) PREFINISHED METAL-WRAPPED FASCIA - SEE DETAIL
- (11) PREFINISHED METAL-WRAPPED RAKE - SEE DETAIL
- (12) EXTERIOR WALL LINE BELOW SHOWN DASHED
- (13) STANDING SEAM METAL ROOFING OVER UNDERLAYMENT

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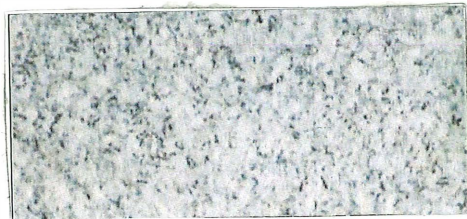
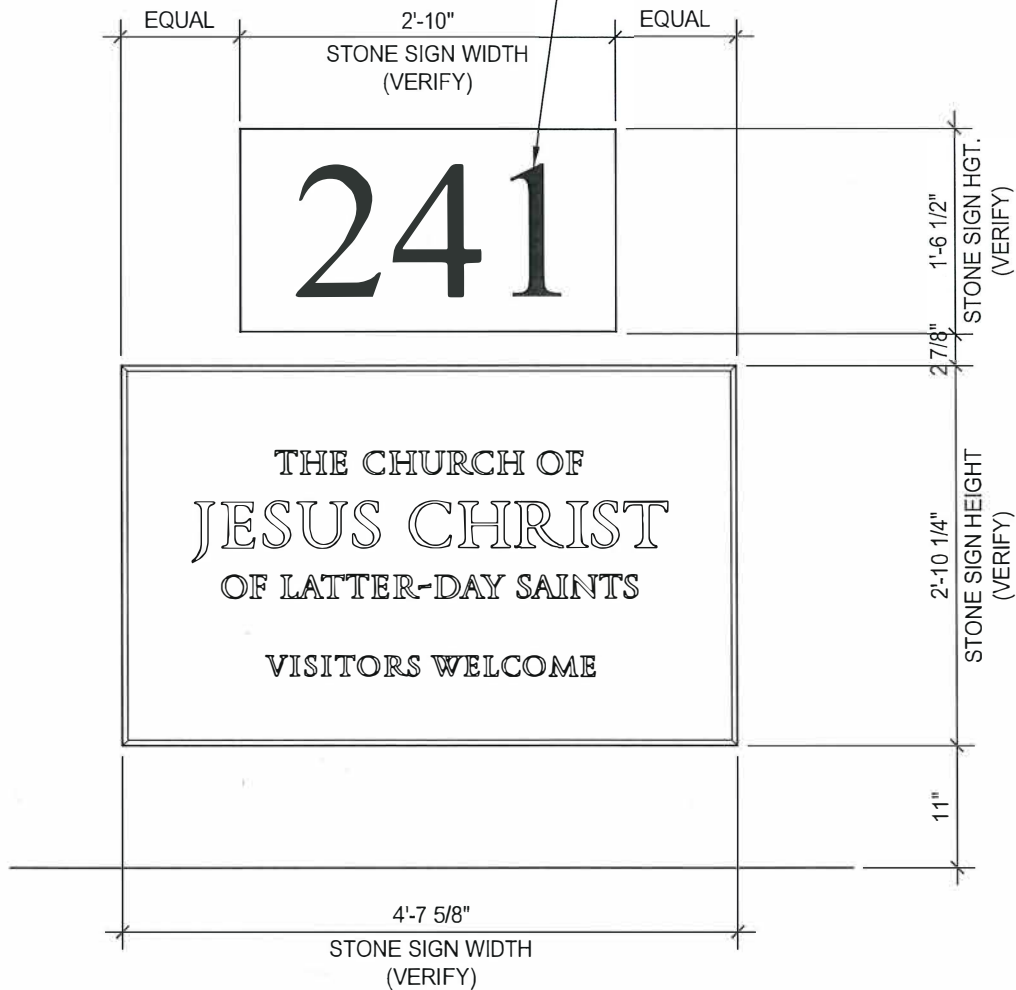


Project Number  
2022-13

### ROOF PLAN

A115

ADDRESS NUMBERS SHALL BE  
"TIMES NEW ROMAN" 12" HIGH WITH  
A 2" STROKE ON A CONTRASTING  
BACKGROUND PER FPD 505.1 & IFC  
505.1. CONTRACTOR TO VERIFY AND  
PROVIDE EXACT CORRECT ADDRESS  
NUMERALS PRIOR TO SIGN  
FABRICATION & INSTALLATION



L9

BUILDING & ADDRESS SIGNAGE ELEVATION

3/4" = 1'-0"