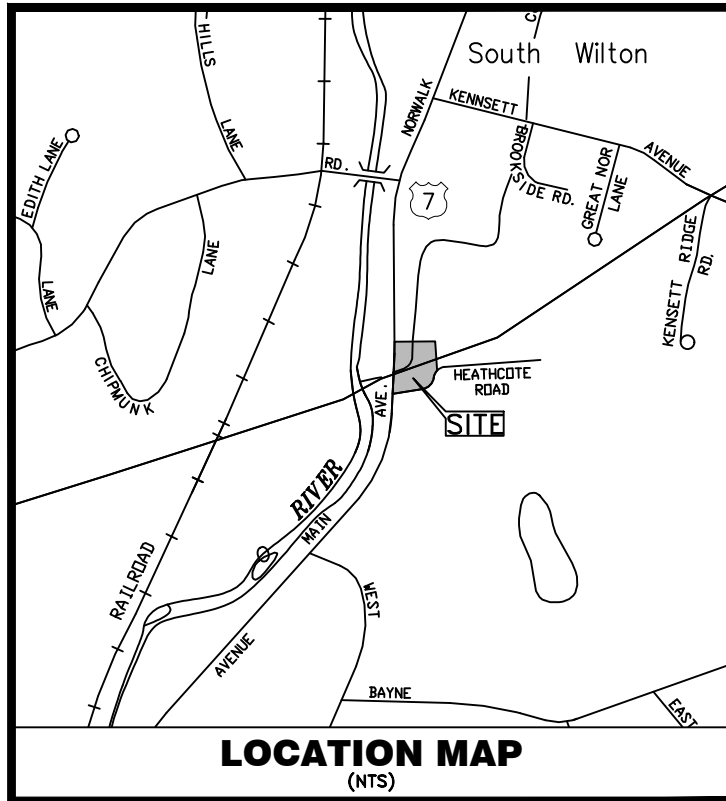




ZONING DATA		
ZONING DISTRICT: WILTON DRD - DESIGN RETAIL BUSINESS DISTRICT		
DIMENSIONAL		REQUIRED/ALLOWED
LOT AREA		3 ACRES
LOT FRONTAGE		100'
LOT WIDTH & DEPTH		100'
COVERAGE	MAX.	20% BUILDING COVERAGE
		80% SITE COVERAGE
YARDS	FRONT	50'
	SIDE	25'
	REAR	25'
BUILDING HEIGHT	MAXIMUM	2 STORIES
		35'

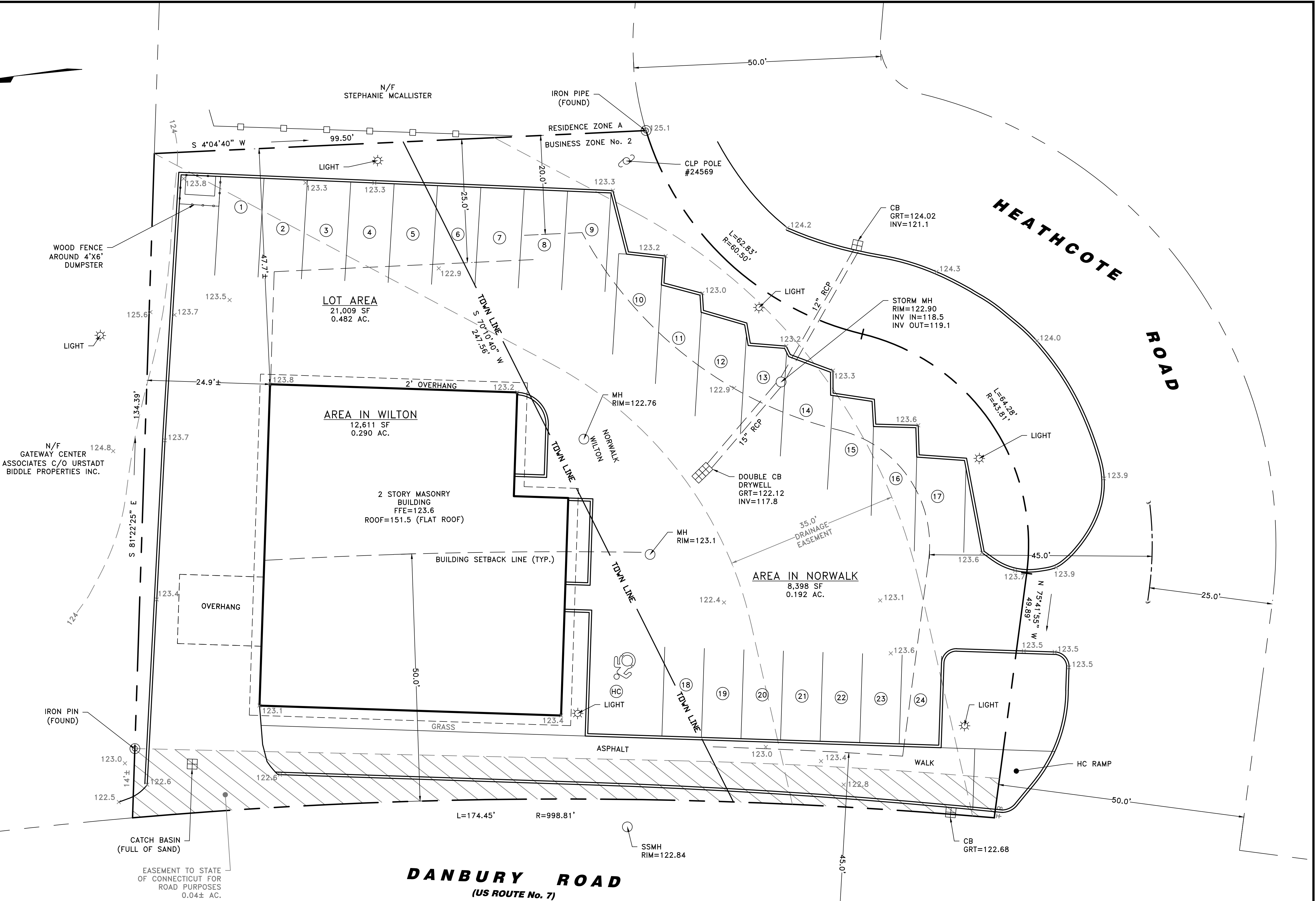
ZONING DATA		
ZONING DISTRICT: NORWALK BUSINESS #2		
DIMENSIONAL		REQUIRED/ALLOWED
LOT AREA		12,500 SF
LOT WIDTH		50'
COVERAGE	MAX.	50% BUILDINGS
		80% BUILDINGS/PARKING
FLOOR AREA RATIO (FAR)	MAX.	0.9
	FRONT	45' FROM CENTERLINE
	SIDE	20' (2 STORIES)
	REAR	N/A
BUILDING HEIGHT	MAXIMUM	3 STORIES
		35'

PROPERTY INFORMATION:

OWNER: DWG PROPERTIES, LLC
ADDRESS: 4 DANBURY ROAD
NORWALK-WILTON, CT.
LOT AREA: 21,009 S.F., 0.482 A.C.

SURVEY NOTES:

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996.
- THE TYPE OF SURVEY PERFORMED IS A PROPERTY SURVEY. THE MAIN PURPOSE OF THIS SURVEY IS TO SHOW THE INFORMATION NECESSARY TO DEPICT BOUNDARIES, EASEMENTS RIGHTS AND IMPROVEMENTS ALONG AND THROUGHOUT THE PROPERTY.
- THE BOUNDARY DETERMINATION IS BASED UPON THE DEPENDENT RESURVEY METHOD.
- THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS.
- THIS SURVEY WAS PREPARED FOR A SPECIFIC PURPOSE. ANY USE OTHER THAN WHICH IT WAS ORIGINALLY INTENDED IS A MISUSE OF THIS INFORMATION AND RENDERS THE PREPARER'S DECLARATION NULL AND VOID.
- UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY ARE NOT SHOWN.
- UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY, WHICH BEARS THE SURVEYORS STAMP OF SEAL, RENDERS ANY DECLARATION SHOWN HEREON NULL AND VOID.
- THIS DECLARATION SHOWN RUNS TO THE PERSON, OR PERSONS FOR WHOM THE SURVEY WAS PREPARED FOR THIS DECLARATION IS NOT TRANSFERABLE.
- REFER TO MAP NO.S 2735 & 4353 IN WILTON LAND RECORDS AND MAP NO.S 7099 & 10176 IN NORWALK LAND RECORDS.
- BUILDING ERECTED OVER THREE YEARS AGO.
- PROPERTY IS LOCATED IN NORWALK BUSINESS No. 2 ZONE AND WILTON DESIGN RETAIL DISTRICT.
- DATUM: NAVD 1988.



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Dennis A. Deilus

DENNIS A. DEILUS, LAND SURVEYOR, CT. REGISTRATION NO. 6398

The survey and declaration shown hereon is null and void without the licensed surveyor's live signature.

PROPERTY SURVEY PREPARED FOR DWG PROPERTIES, LLC 4 DANBURY ROAD NORWALK-WILTON, CT.	
PREPARED BY: SM	DATE: 9/23/20
REVIEW: DENNIS A. DEILUS	DD NO.: 1
SCALE: 1"=10'	
DENNIS A. DEILUS - LAND SURVEYORS 108 MAIN STREET, 2ND FLOOR, NORWALK, CT. 06851 P. 203-750-8832	

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INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

[illegible]ARCHITECTURAL
SITE PLAN

DRAWING NUMBER

A-1.0



1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 4 DANBURY ROAD
TAKEN FROM PROPERTY SURVEY PREPARED BY DENNIS A. DEILUS
LAND SURVEYORS DATED SEPTEMBER 23, 2020.

LOT AREA

TOTAL LOT AREA = 21,009 SF
TOTAL LOT AREA IN NORWALK = 8,398 SF
TOTAL LOT AREA IN WILTON = 12,611 SF

LEGEND

EXISTING SYMBOLS:

- | | | |
|--------------------|----------|----------------------------------|
| ● Iron Pin (Found) | ● (YD) | Storm Yard Drain |
| □ Monument (Found) | ● (MH) | Storm Drain Manhole |
| ○ Manhole | ● (CB) | Catch Basin |
| □ "CB" Catch Basin | ○ (SSMH) | Sanitary Sewer Manhole |
| ⋮ Utility Pole | ▲ P-1 | Perc Test Hole Location & Number |
| ⋮ Light Pole | ⬆ DTH-1 | Deep Test Hole Location & Number |
| ⋮ Water Gate | Ⓢ | Proposed Well |
| ⋮ Gas Valve | | |
| ⋮ Gas Meter | | |
| Ⓢ Existing Well | | |

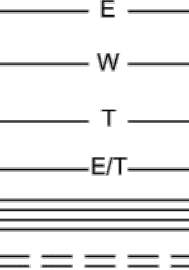
EXISTING LINETYPES:

- | | | | |
|--|-----------------------------|--|----------------------------|
| | Property Line | | Sanitary Sewer |
| | Sanitary Sewer Line | | Electric Service |
| | U/G Elec. Line | | Water Service |
| | Water Line | | U/G Telephone Service |
| | Overhead Utilities | | Electric/Telephone Service |
| | U/G Tele. Line | | Primary Septic |
| | U/G Electric/Telephone Line | | Reserve Septic |
| | Wood/Chain Link Fence | | Retaining Wall |
| | Stone Ret. Wall | | Contour |
| | Contour | | Spot Elevation |
| | Wetland Limit | | Silt Fence (GSF) |
| | Spot Elevation | | Wood/Chain Link Fence |
| | Watercourse Limit | | Construction Fence |
| | Drainage Line | | Vegetative Buffer |
| | Town/City Line | | Wetland Limit (Flagged) |
| | 25 Year Flood Line | | |
| | 100 Year Flood Line | | |
| | FEMA Flood Zone Line | | |
| | Floodway Boundary | | |
| | Mean High Water | | |
| | Mean Low Water | | |
| | Coastal Jurisdiction Line | | |

PROPOSED SYMBOLS

-  (YD) Storm Yard Drain
 (MH) Storm Drain Manhole
 (CB) Catch Basin
 (SSMH) Sanitary Sewer Manhole
 P-1 Perc Test Hole Location & Number
 DTH-1 Deep Test Hole Location & Number
 Proposed Well

PROPOSED LINETYPES:

- 
-  S Sanitary Sewer
 -  E Electric Service
 -  W Water Service
 -  T U/G Telephone Service
 -  E/T Electric/Telephone Service
 -  Primary Septic
 -  Reserve Septic
 -  Retaining Wall
 -  20 Contour
 -  20.1 Spot Elevation
 -  Silt Fence (GSF)
 -  Wood/Chain Link Fence
 -  Construction Fence
 -  Vegetative Buffer
 -  WF#3 Wetland Limit (Flagged)
 -  WF#4



DANBURY ROAD
(US ROUTE No. 7)

1 SITE PLAN - PROPOSED

SCALE AS NOTED



NOT FOR CONSTRUCTION
FOR REVIEW AND APPROVAL BY
PUBLIC AGENCIES ONLY

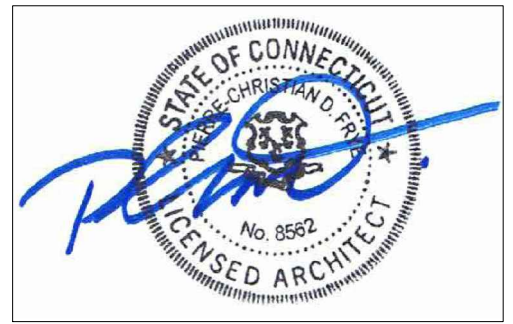
ZONING DATA – 4 DANBURY ROAD				
ZONING DISTRICT: WILTON DRD – DESIGN RETAIL BUSINESS DISTRICT				
DIMENSIONAL	REQUIRED/ALLOWED	EXISTING	PROPOSED	
LOT AREA	1 ACRE	0.482 ACRES	0.482 ACRES	
LOT FRONTAGE	100'	174'	174'	
LOT WIDTH	100'	174'	174'	
COVERAGE	MAX	20% BUILDING	21.3%	20.2%
		80% SITE	77.5%	76.8%
YARDS	FRONT	50'	16.9', 88±	16.9', 88±
	SIDE	25'	24.9', 88±	24.9'
	REAR	25'	47.7'	47.7'
	MAXIMUM	2 STORIES	2 STORIES	2 STORIES
BUILDING HEIGHT		35'	25'	25'

ZONING DISTRICT - 4 DANBURY ROAD				
ZONING DISTRICT: NORWALK BUSINESS #2				
DIMENSIONAL		REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA		12,500 SF	21,009 SF	21,009 SF
LOT WIDTH		50'	174'	174'
COVERAGE		50% BUILDING	21.3%	20.2%
	MAX	80% BUILDING/PARKING	77.5%	77.5%
		20% OPEN SPACE	22.5%	22.5%
FLOOR AREA RATIO (FAR)	MAX	0.9	0.355	0.355
	FRONT	45' FROM CENTERLINE	60.97±	50.97±
YARDS	SIDE	20' (2 STORIES)	24.9±, 47.7±	24.9±, 47.7±
	AGGREGATE	20' (2 STORIES)	72.6±	72.6±
	REAR	NA	NA	NA
	MAXIMUM	3 STORIES	2 STORIES	2 STORIES
BUILDING HEIGHT		32'	22'	22'

Brew Pub Proposed Parking Requirements		
# Spaces	Rationale	Planned GFA SF
4	1 space per brewery worker with a maximum of 4 workers planned	760
0	No parking needed for brewery storage	4,777
19	1 space per 3 restaurant patron seats with 57 seats planned	1,931
23	Total	7,468
	Notes	
	1. Brewery operations and peak restaurant patron hours will not overlap	
	2. Brewery storage also includes mechanical/electrical areas and 1,477 SF of unusable space	
	3. Restaurant space includes parking, kitchen, service, and bathroom areas	
	4. Twenty-six (26) parking spaces are available onsite	

1A NEW PYLON SIGN
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



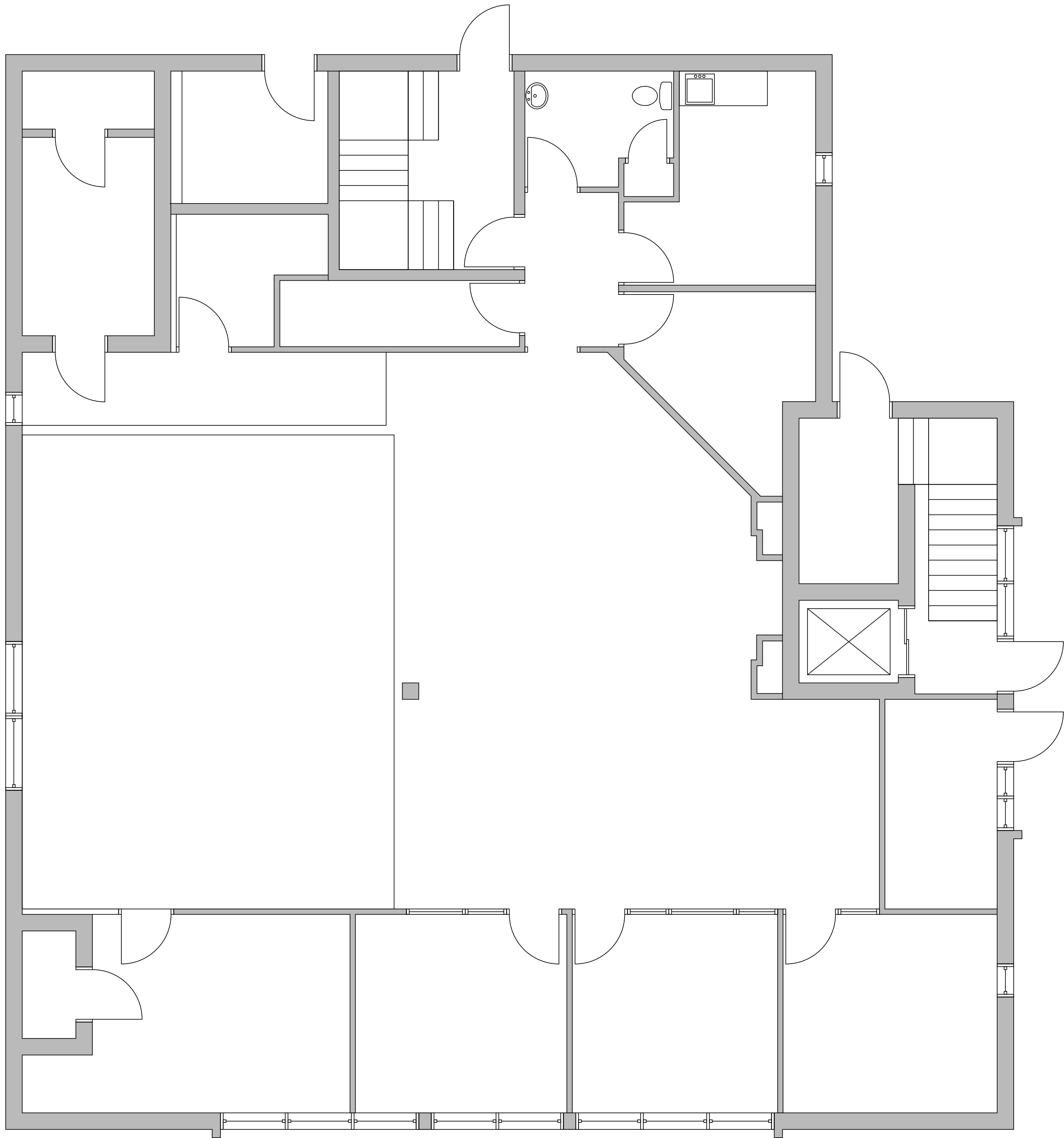
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
10/29/2020	ISSUE FOR REVIEW
12/01/2020	ISSUE FOR REVIEW
02/01/2021	ISSUE FOR REVIEW
03/31/2021	ISSUE FOR REVIEW
04/19/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON ARB APPROVAL

FIRST FLOOR
EXISTING

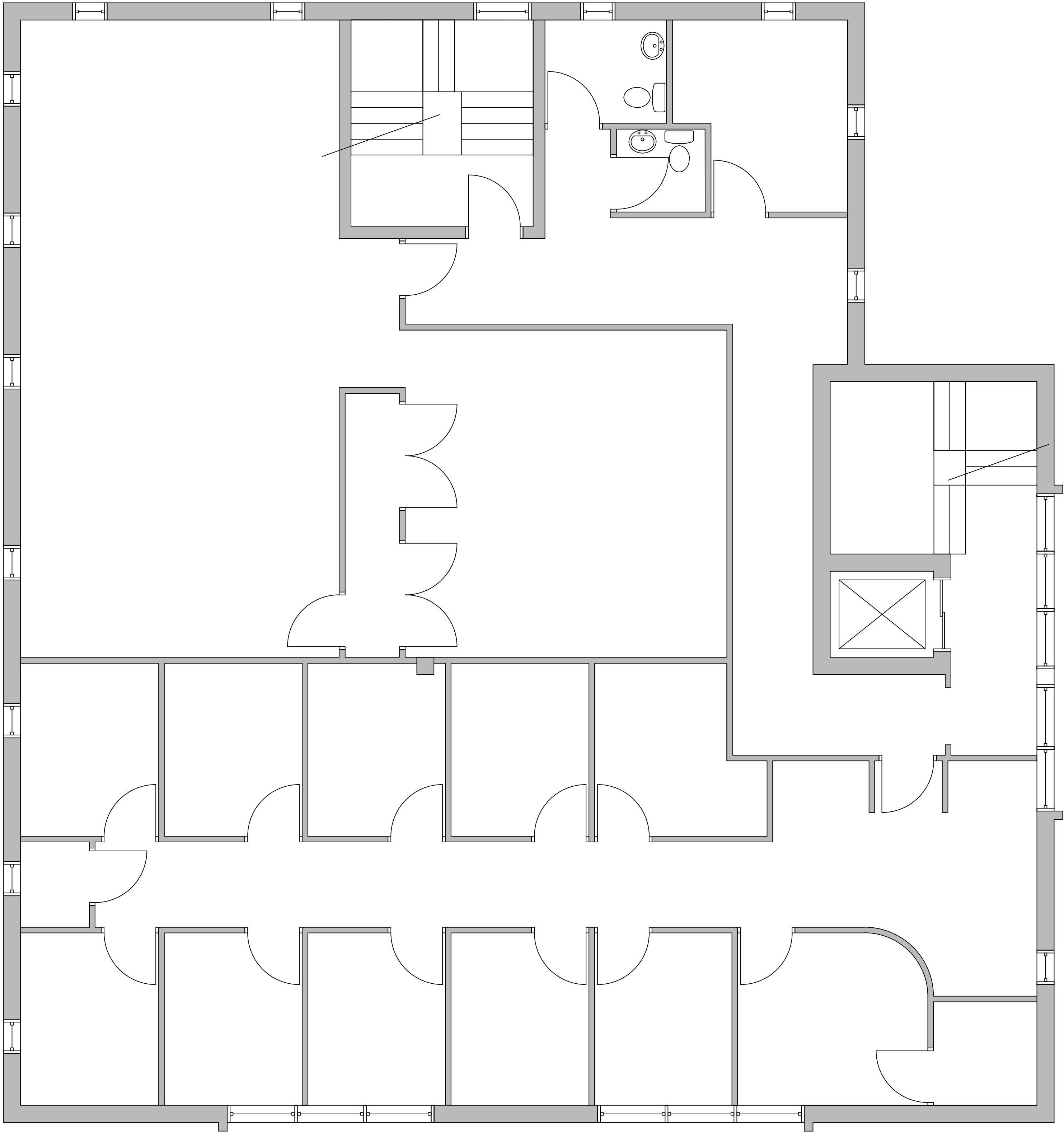
DRAWING NUMBER

A-1.1



1 PLAN - FIRST FLOOR EXISTING
SCALE = 1/4" = 1'-0"

4/20/2021, PCDF, A BUSINESS OF PCDF ARCHITECTURE, PROJECTS\2020 Q4\A BREWERY - WILTON, CT\1. DRAWINGS\1.000 Q4\A-1.2 PLAN - SECOND FLOOR EXISTING\A-1.2



1 PLAN - SECOND FLOOR EXISTING
SCALE = 1/4" = 1'-0"

PCDFA

PCDF ARCHITECTURE LLC
residential architecture
commercial architecture
interior design
project management

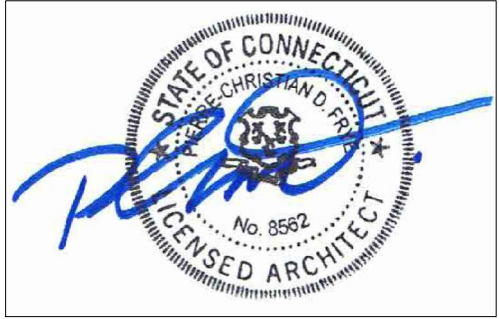
115 Pocono Road #614
Brookfield, Connecticut 06804

mobile: (203) 918-1176
www.pcdfa.com

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INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
10/29/2020	ISSUE FOR REVIEW
12/01/2020	ISSUE FOR REVIEW
02/01/2021	ISSUE FOR REVIEW
03/25/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON A&B APPROVAL

SECOND FLOOR
EXISTING

DRAWING NUMBER

A-1.2

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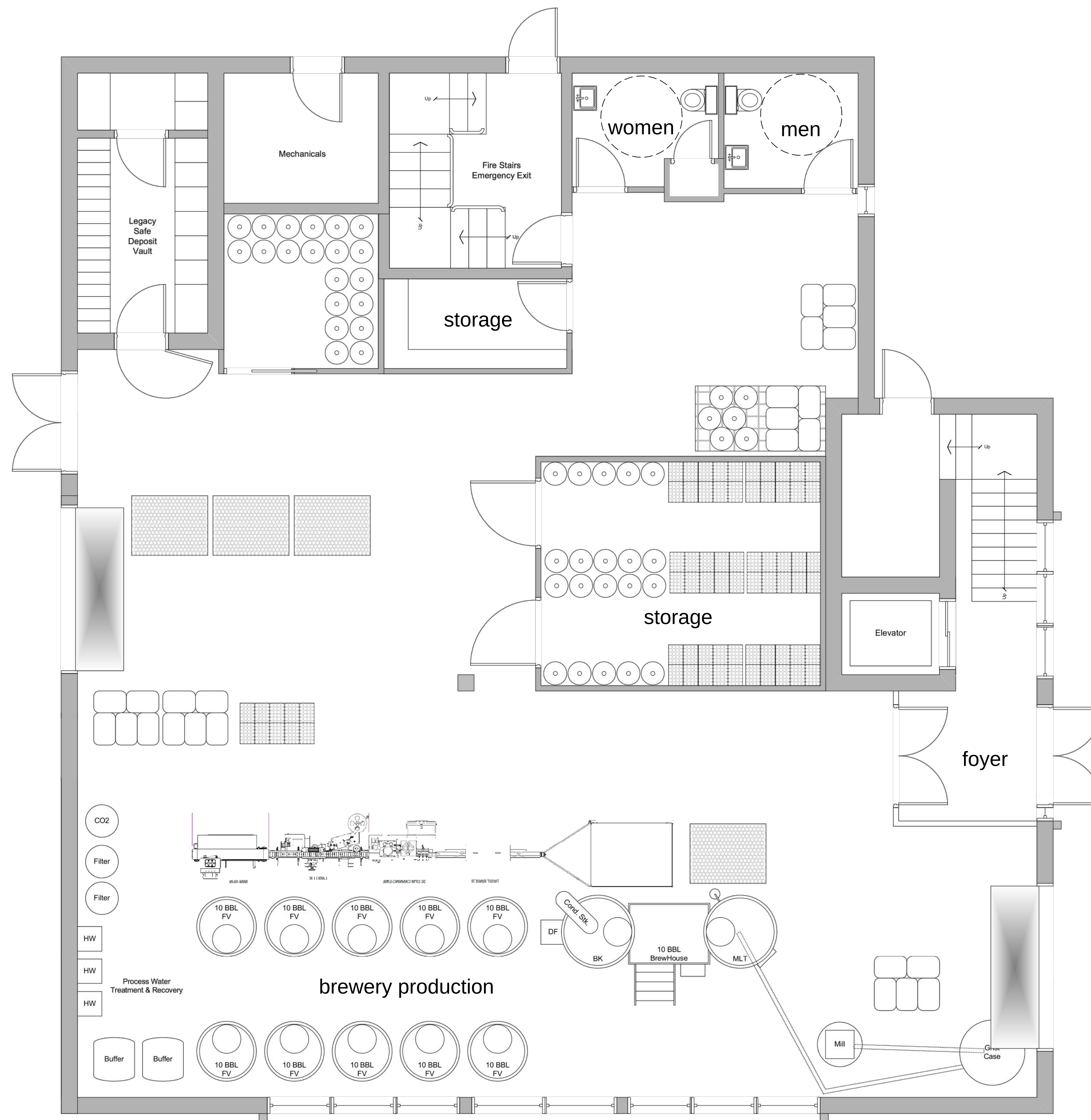
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

[illegible]

FIRST FLOOR
PROPOSED

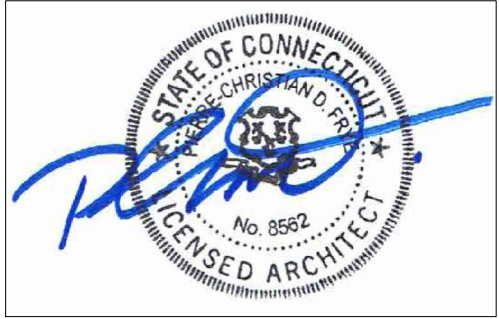
DRAWING NUMBER

A-1.3



1 PLAN - FIRST FLOOR PROPOSED
SCALE = 1/4" = 1'-0"

DATE	ISSUE / REVISION
10/29/2020	ISSUE FOR REVIEW
12/01/2020	ISSUE FOR REVIEW
03/31/2021	ISSUE FOR REVIEW
03/31/2021	ISSUE FOR REVIEW
04/19/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON ARB APPROVAL



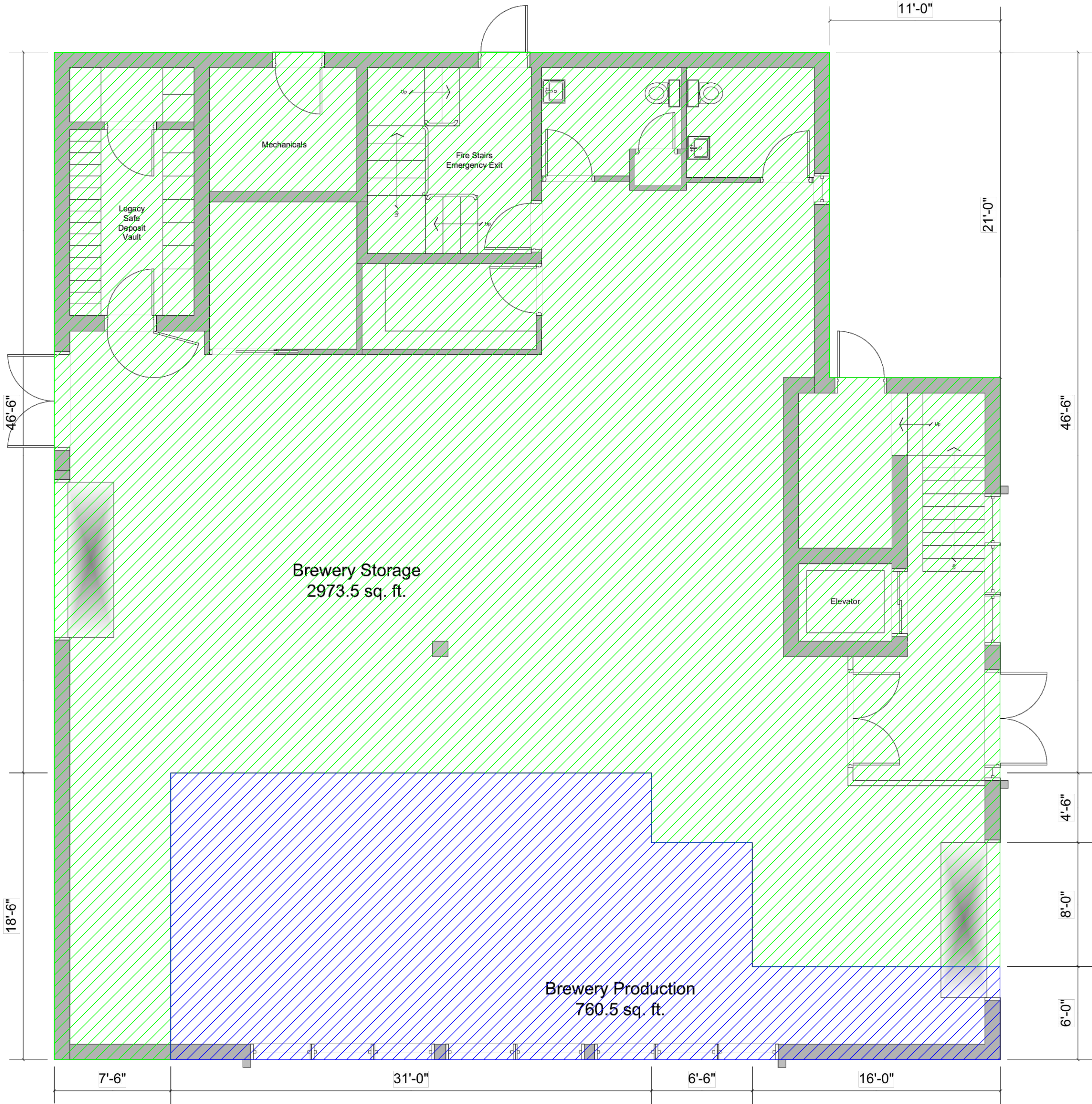
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
04/14/2021	ISSUE FOR REVIEW
04/19/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON AEB APPROVAL
04/23/2021	MODIFICATION

SPACE ALLOCATION PLAN
FIRST FLOOR
PROPOSED

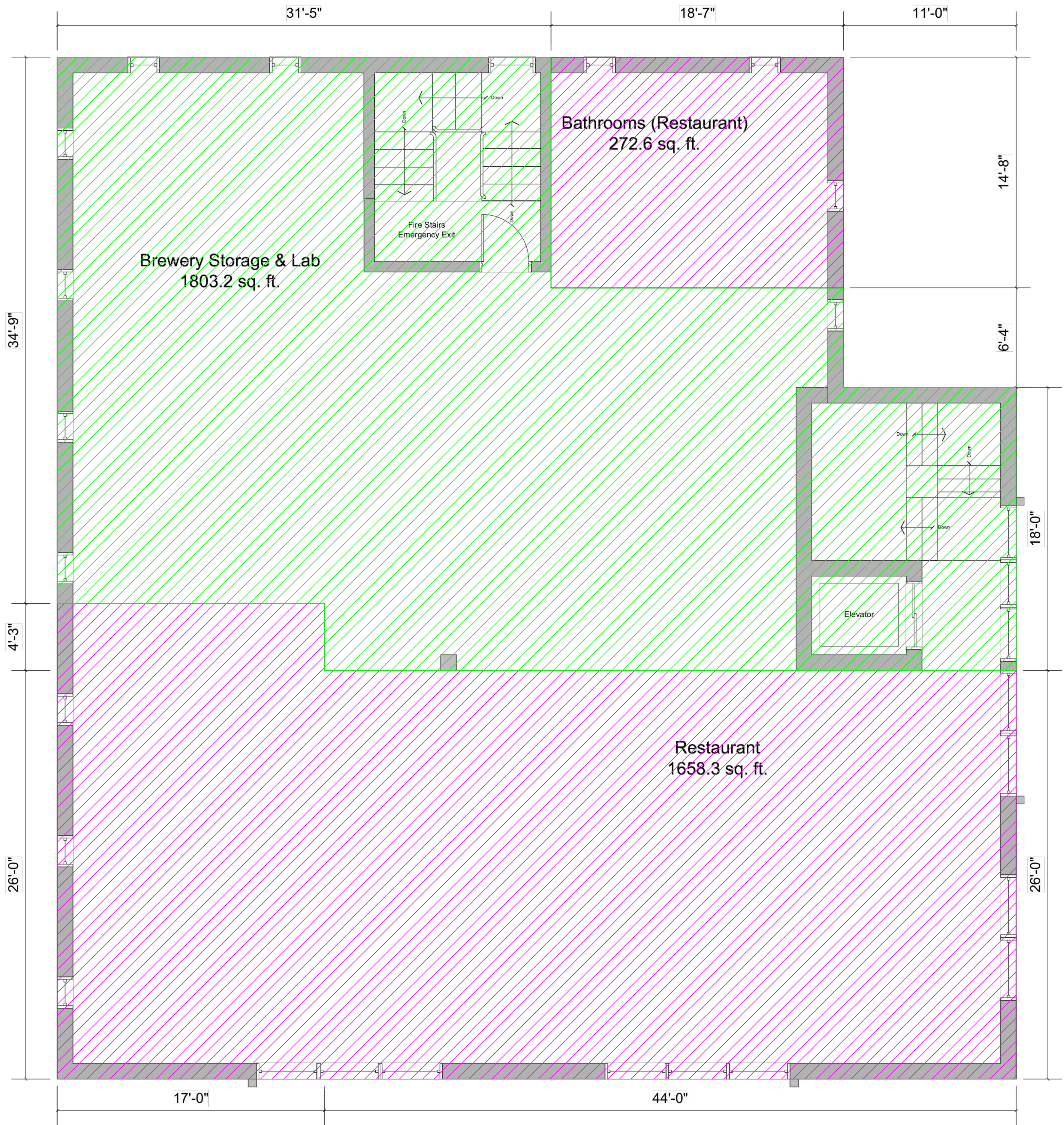
DRAWING NUMBER

A-1.5



1 SPACE ALLOCATION PLAN - FIRST FLOOR PROPOSED
SCALE = 1/4" = 1'-0"

4/20/2021, PCDF, A BUSINESS PCDF ARCHITECTURE PROJECTS 0200 0000 BREWERY - WILTON, CT, 3. DRAWINGS, C. 005A-1.6 SPACE ALLOCATION PLAN - SECOND FLOOR PROPOSED, A-1.6



1 SPACE ALLOCATION PLAN - SECOND FLOOR PROPOSED
SCALE = 1/4" = 1'-0"

PCDFA

PCDF ARCHITECTURE LLC
residential architecture
commercial architecture
interior design
project management

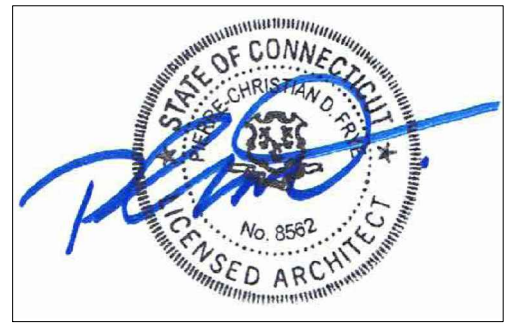
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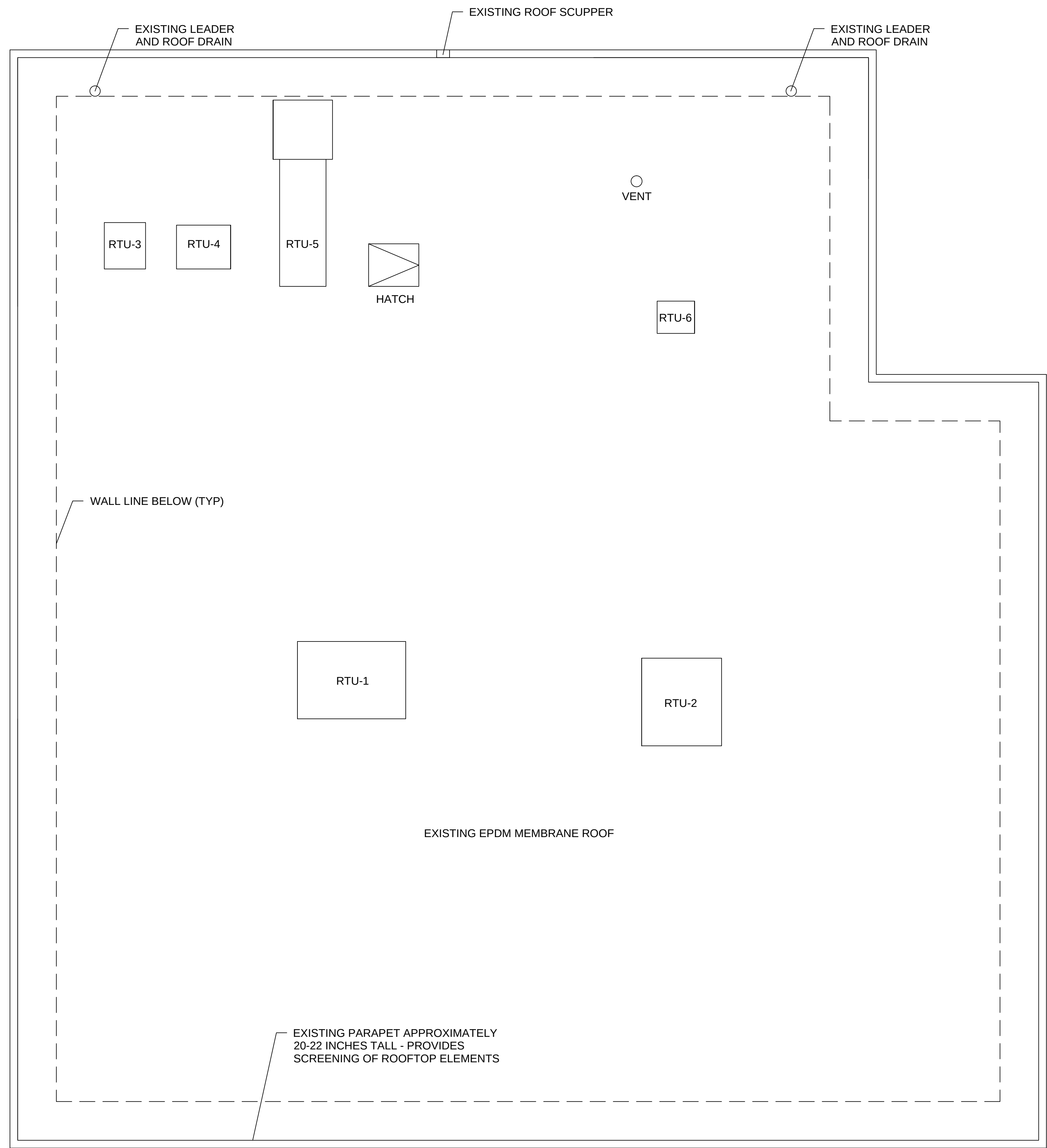
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
04/14/2021	ISSUE FOR REVIEW
04/19/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON AEB APPROVAL

SPACE ALLOCATION PLAN
SECOND FLOOR
PROPOSED

DRAWING NUMBER

A-1.6

[illegible]

1 ROOF PLAN - EXISTING

SCALE = 1/4" = 1'-0"

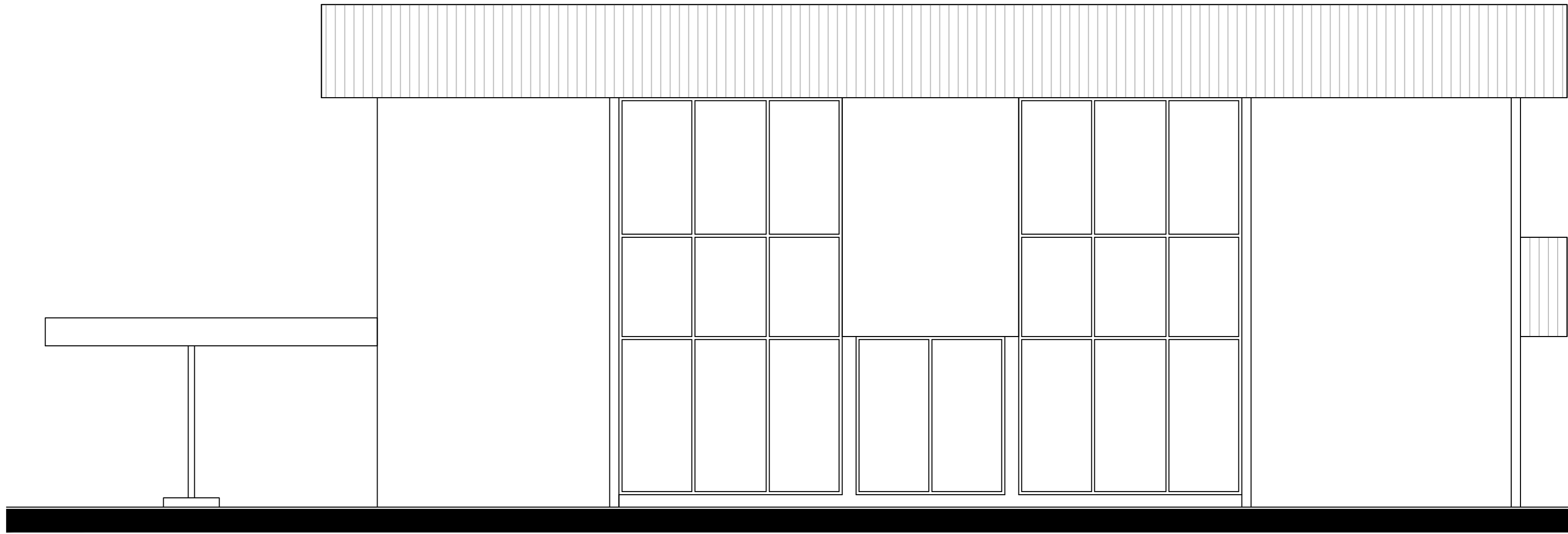


INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

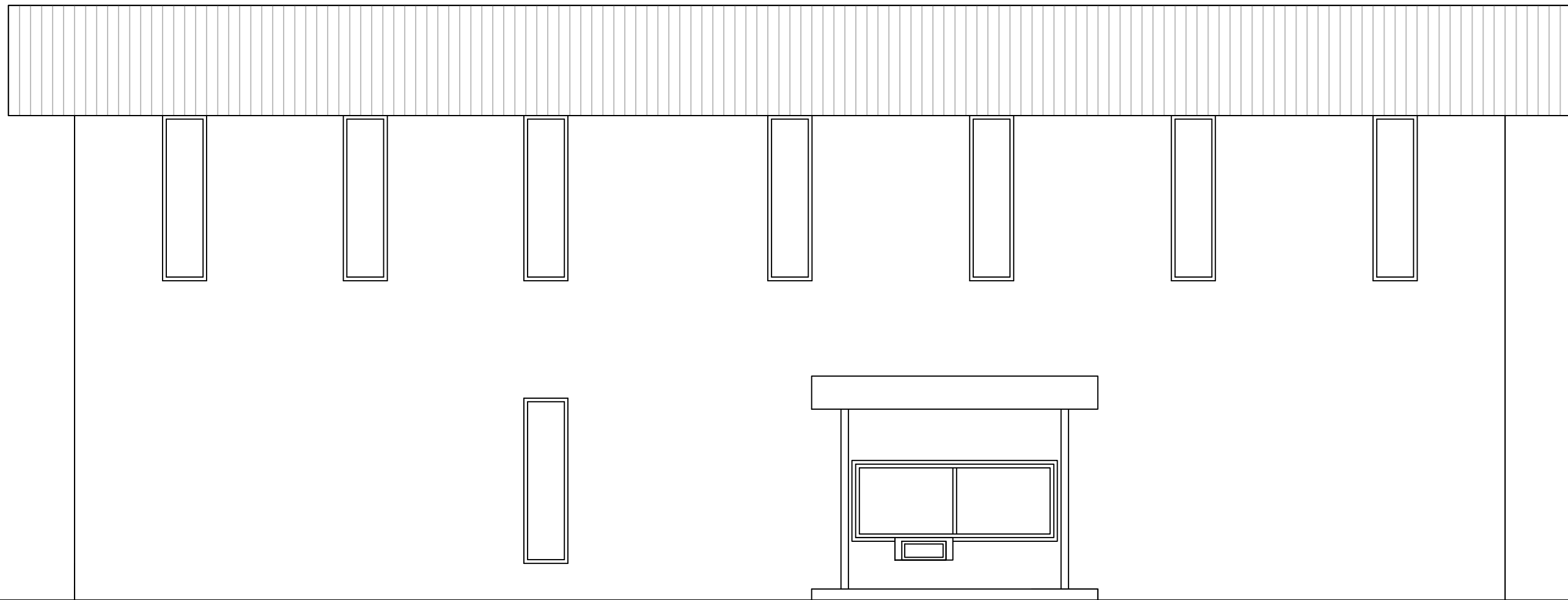
DATE	ISSUE / REVISION
02/01/2021	ISSUE FOR REVIEW
02/14/2021	ISSUE FOR REVIEW
02/28/2021	ISSUE FOR REVIEW
03/09/2021	ISSUE FOR REVIEW
03/14/2021	ISSUE FOR REVIEW
03/17/2021	ISSUE FOR REVIEW
03/19/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON AEB APPROVAL

FRONT + SIDE ELEVATIONS
EXISTING + PROPOSED
OPTION K

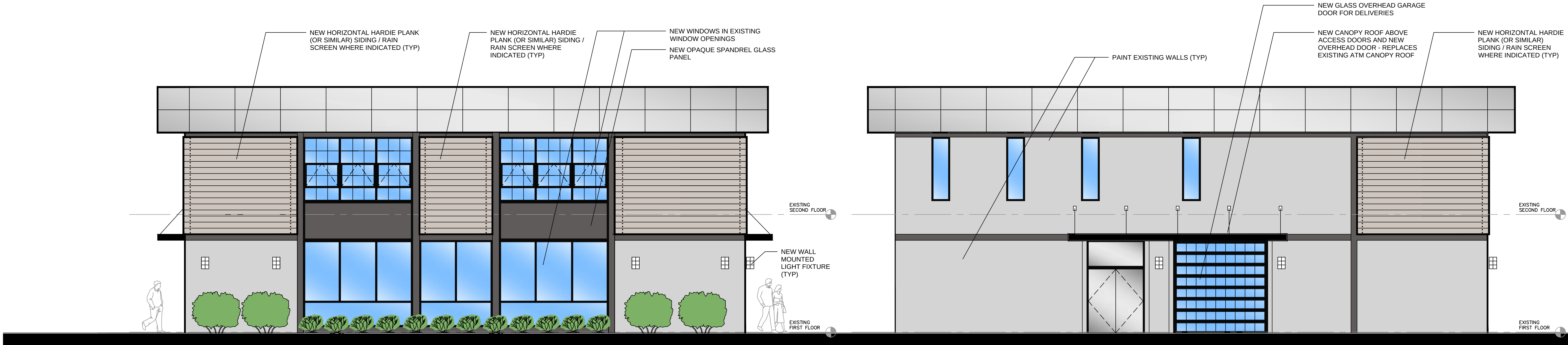
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A-2.1



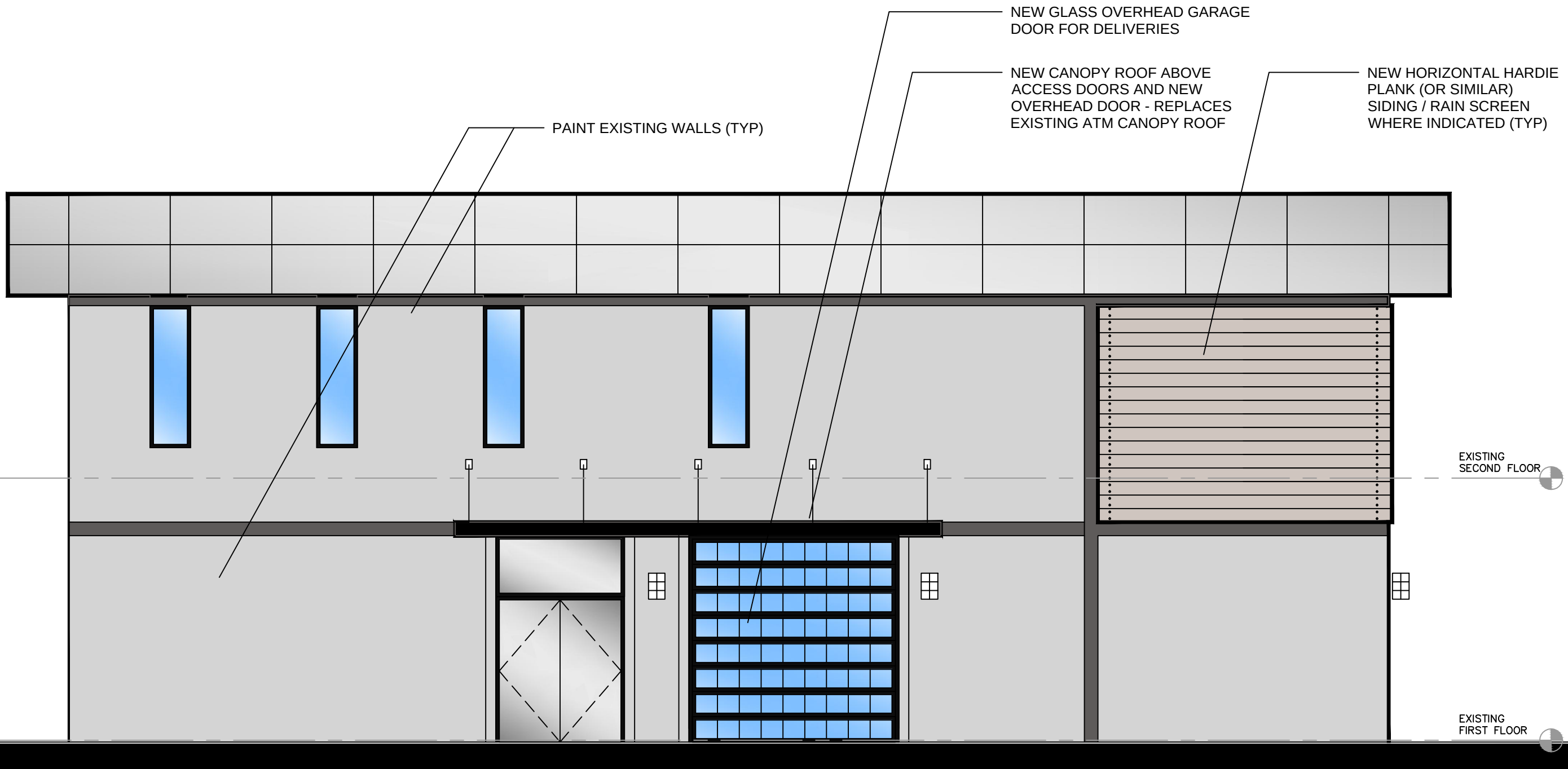
1 ELEVATION - FRONT EXISTING
SCALE = 3/16" = 1'-0"



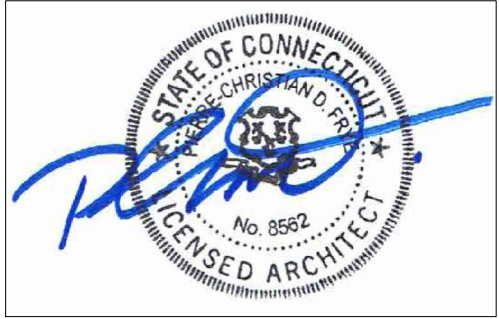
2 ELEVATION - SIDE EXISTING
SCALE = 3/16" = 1'-0"



3 ELEVATION - FRONT PROPOSED - OPTION K
SCALE = 3/16" = 1'-0"



4 ELEVATION - SIDE PROPOSED - OPTION K
SCALE = 3/16" = 1'-0"



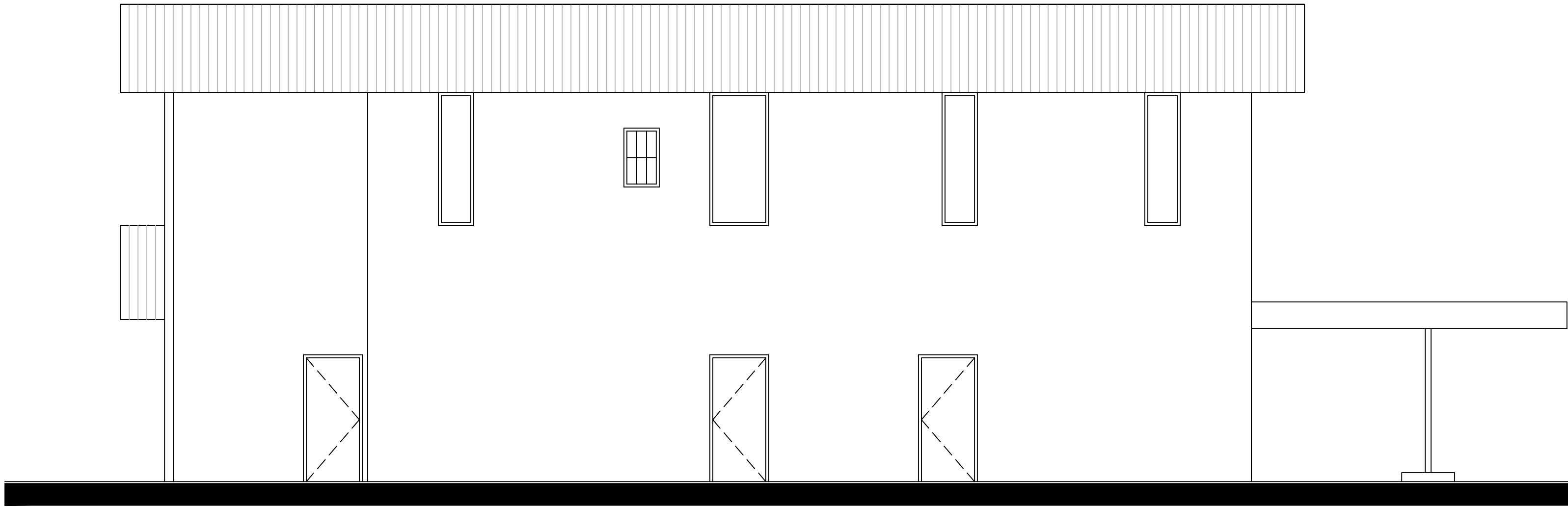
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
02/01/2021	ISSUE FOR REVIEW
02/14/2021	ISSUE FOR REVIEW
02/26/2021	ISSUE FOR REVIEW
03/09/2021	ISSUE FOR REVIEW
03/14/2021	ISSUE FOR REVIEW
03/17/2021	ISSUE FOR REVIEW
04/19/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON AEB APPROVAL

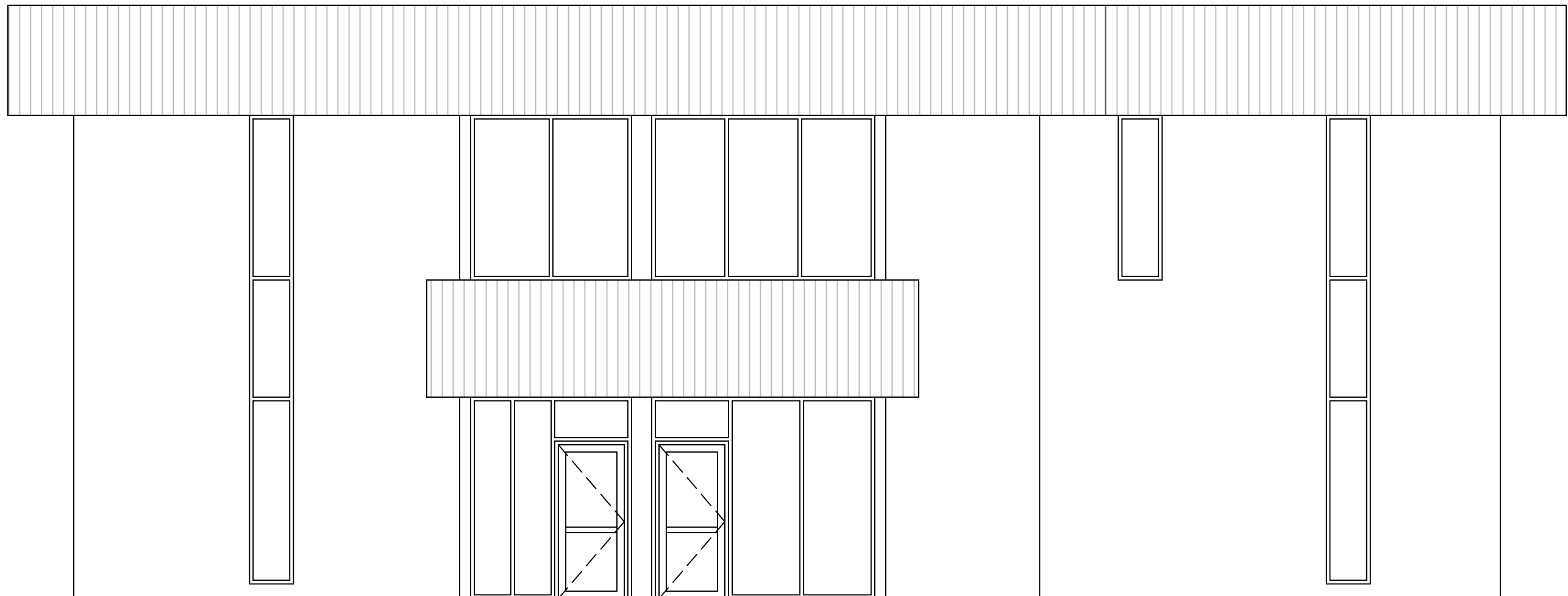
REAR + SIDE ELEVATIONS
EXISTING + PROPOSED
OPTION K

DRAWING NUMBER

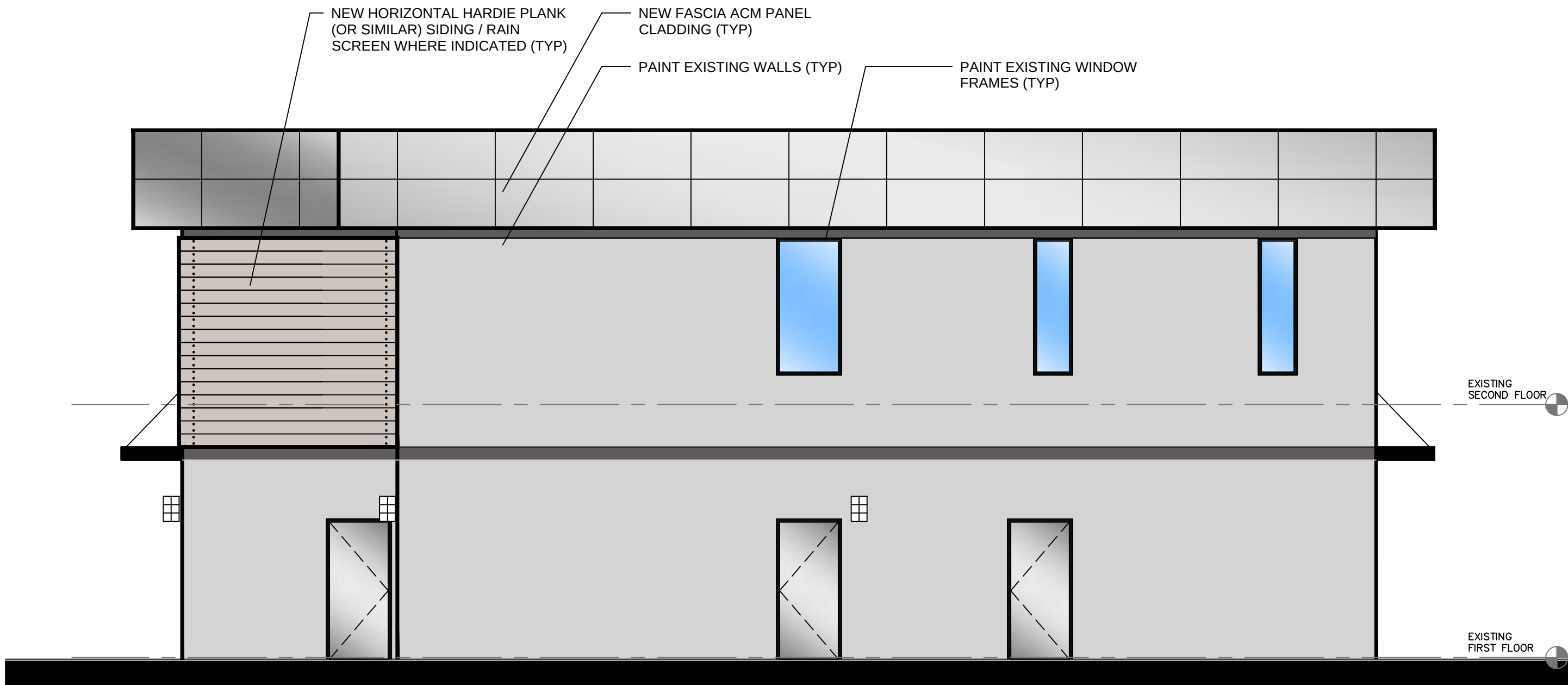
A-2.2



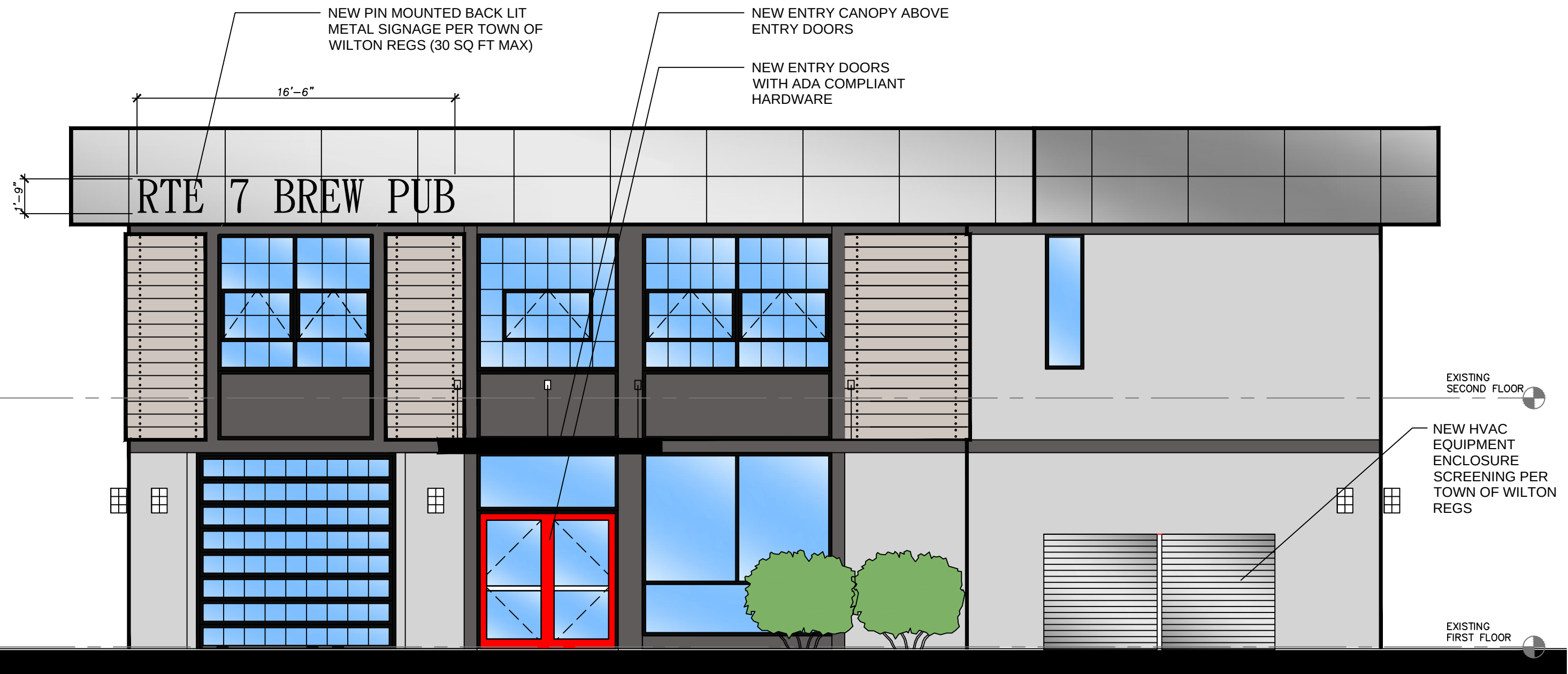
1 ELEVATION - REAR EXISTING
SCALE = 3/16" = 1'-0"



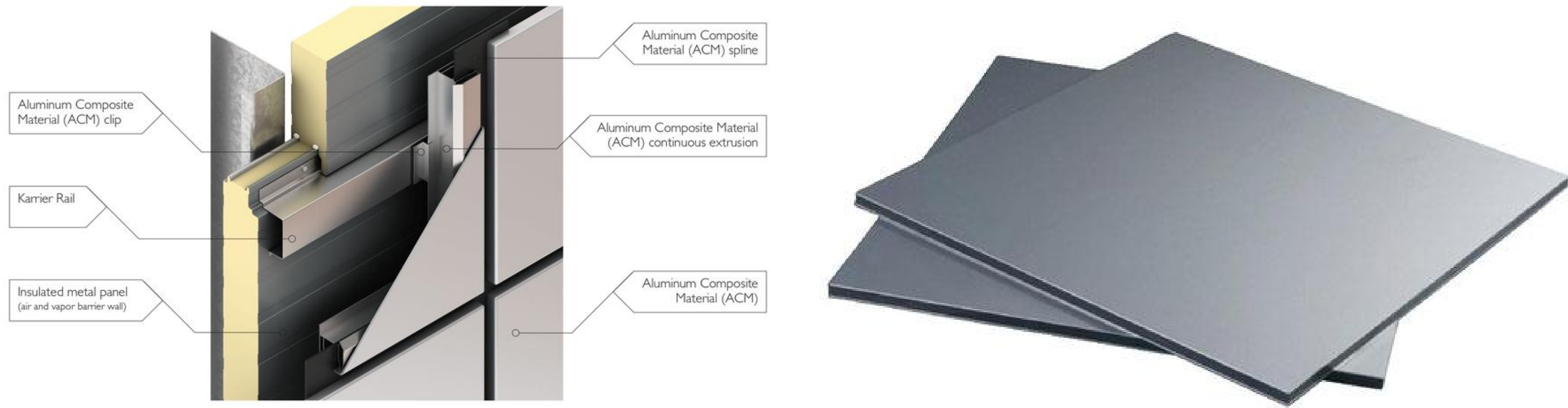
2 ELEVATION - SIDE (ENTRY) EXISTING
SCALE = 3/16" = 1'-0"



3 ELEVATION - REAR PROPOSED - OPTION K
SCALE = 3/16" = 1'-0"



4 ELEVATION - SIDE (ENTRY) PROPOSED - OPTION K
SCALE = 3/16" = 1'-0"



New Aluminum Composite Panels—Existing Fascia (matte finish)



New Pin Mounted Metal Signage LED back-lit on fascia



New Hardie-Plank or similar horizontal siding on Second Floor North, West and South sides as indicated



New black/ dark bronze metal framed windows with operable sash panels



Metal canopy over entry doors



Metal louvered HVAC equipment enclosure screen



New metal entry doors



New lanterns (industrial look)



New metal spandrel panels below West elevation windows

