

ZONING DATA		
ZONING DISTRICT: WILTON DRD - DESIGN RETAIL BUSINESS DISTRICT		
DIMENSIONAL		REQUIRED/ALLOWED
LOT AREA		3 ACRES
LOT FRONTAGE		100'
LOT WIDTH & DEPTH		100'
COVERAGE	MAX.	20% BUILDING COVERAGE
		80% SITE COVERAGE
YARDS	FRONT	50'
	SIDE	25'
	REAR	25'
BUILDING HEIGHT	MAXIMUM	2 STORIES
		35'

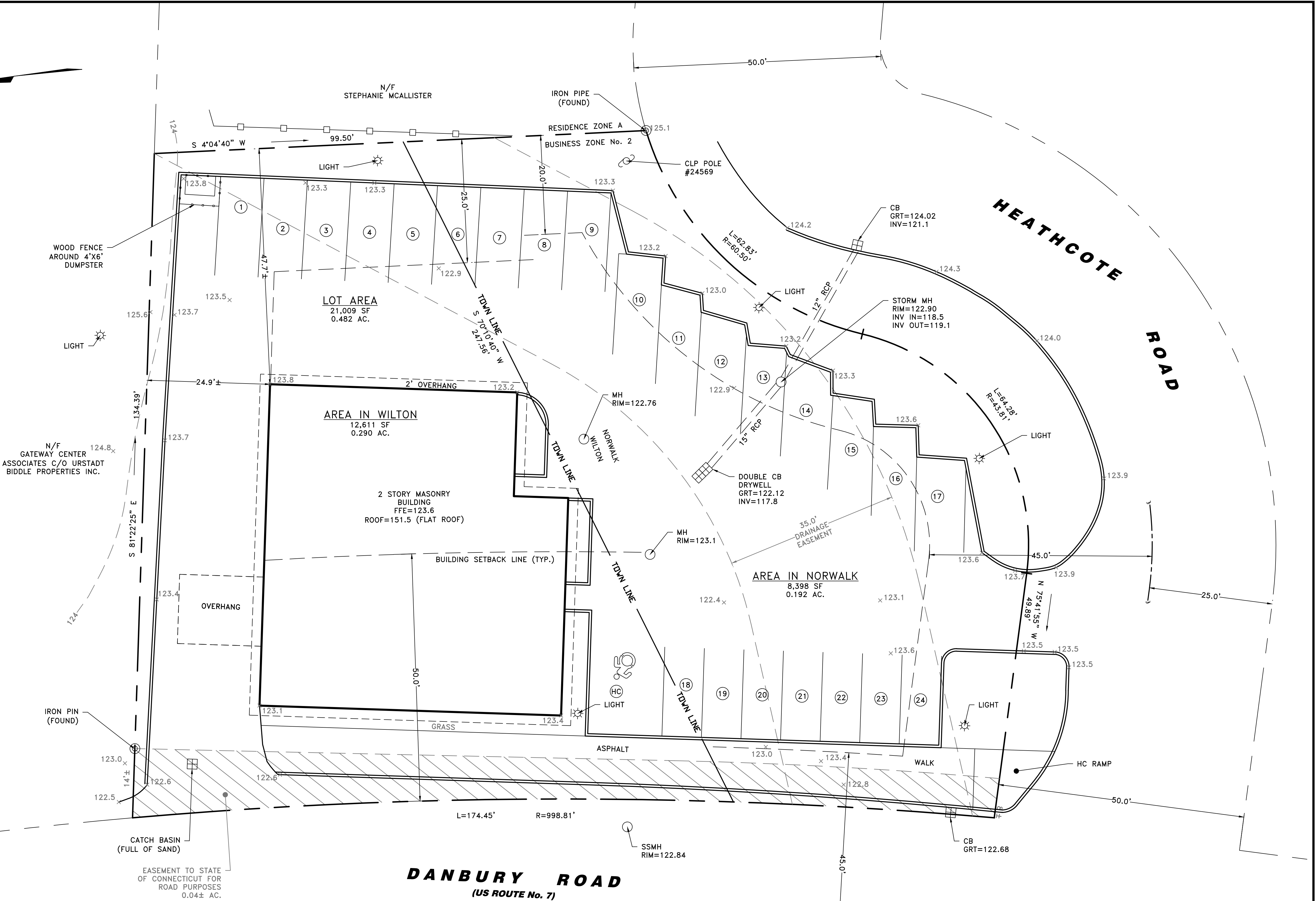
ZONING DATA		
ZONING DISTRICT: NORWALK BUSINESS #2		
DIMENSIONAL		REQUIRED/ALLOWED
LOT AREA		12,500 SF
LOT WIDTH		50'
COVERAGE	MAX.	50% BUILDINGS
		80% BUILDINGS/PARKING
FLOOR AREA RATIO (FAR)	MAX.	0.9
	FRONT	45' FROM CENTERLINE
	SIDE	20' (2 STORIES)
	REAR	N/A
BUILDING HEIGHT	MAXIMUM	3 STORIES
		35'

PROPERTY INFORMATION:

OWNER: DWG PROPERTIES, LLC
ADDRESS: 4 DANBURY ROAD
NORWALK-WILTON, CT.
LOT AREA: 21,009 S.F., 0.482 A.C.

SURVEY NOTES:

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996.
- THE TYPE OF SURVEY PERFORMED IS A PROPERTY SURVEY. THE MAIN PURPOSE OF THIS SURVEY IS TO SHOW THE INFORMATION NECESSARY TO DEPICT BOUNDARIES, EASEMENTS RIGHTS AND IMPROVEMENTS ALONG AND THROUGHOUT THE PROPERTY.
- THE BOUNDARY DETERMINATION IS BASED UPON THE DEPENDENT RESURVEY METHOD.
- THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS.
- THIS SURVEY WAS PREPARED FOR A SPECIFIC PURPOSE. ANY USE OTHER THAN WHICH IT WAS ORIGINALLY INTENDED IS A MISUSE OF THIS INFORMATION AND RENDERS THE PREPARER'S DECLARATION NULL AND VOID.
- UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY ARE NOT SHOWN.
- UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY, WHICH BEARS THE SURVEYORS STAMP OF SEAL, RENDERS ANY DECLARATION SHOWN HEREON NULL AND VOID.
- THIS DECLARATION SHOWN RUNS TO THE PERSON, OR PERSONS FOR WHOM THE SURVEY WAS PREPARED FOR THIS DECLARATION IS NOT TRANSFERABLE.
- REFER TO MAP NO. S 2735 & 4353 IN WILTON LAND RECORDS AND MAP NO. S 7099 & 10176 IN NORWALK LAND RECORDS.
- BUILDING ERECTED OVER THREE YEARS AGO.
- PROPERTY IS LOCATED IN NORWALK BUSINESS No. 2 ZONE AND WILTON DESIGN RETAIL DISTRICT.
- DATUM: NAVD 1988.



TO MY KNOWLEDGE AND BELIEF THIS MAP IS
SUBSTANTIALLY CORRECT AS NOTED HEREON
Dennis A. Deilus
DENNIS A. DEILUS, LAND SURVEYOR, CT. REGISTRATION NO. 6398
The survey and declaration shown hereon is null and void without the licensed surveyor's live signature.

	PROPERTY SURVEY PREPARED FOR DWG PROPERTIES, LLC 4 DANBURY ROAD NORWALK-WILTON, CT.		
	PREPARED BY: SM	DATE: 9/23/20	DD NO.:
	REVIEW: DENNIS A. DEILUS		SHEET NO.: 1
	SCALE: 1"=10' 0 5 10 20		

DENNIS A. DEILUS - LAND SURVEYORS
108 MAIN STREET, 2ND FLOOR, NORWALK, CT. 06851
P. 203-750-8832

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commercial architecture
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Brookfield, Connecticut 06804

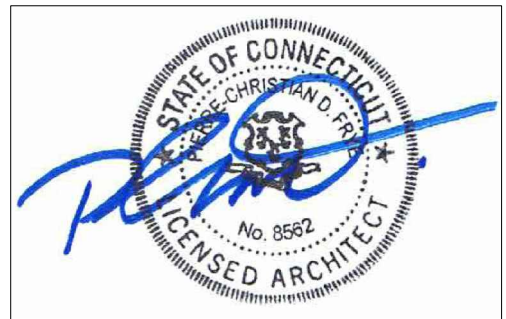
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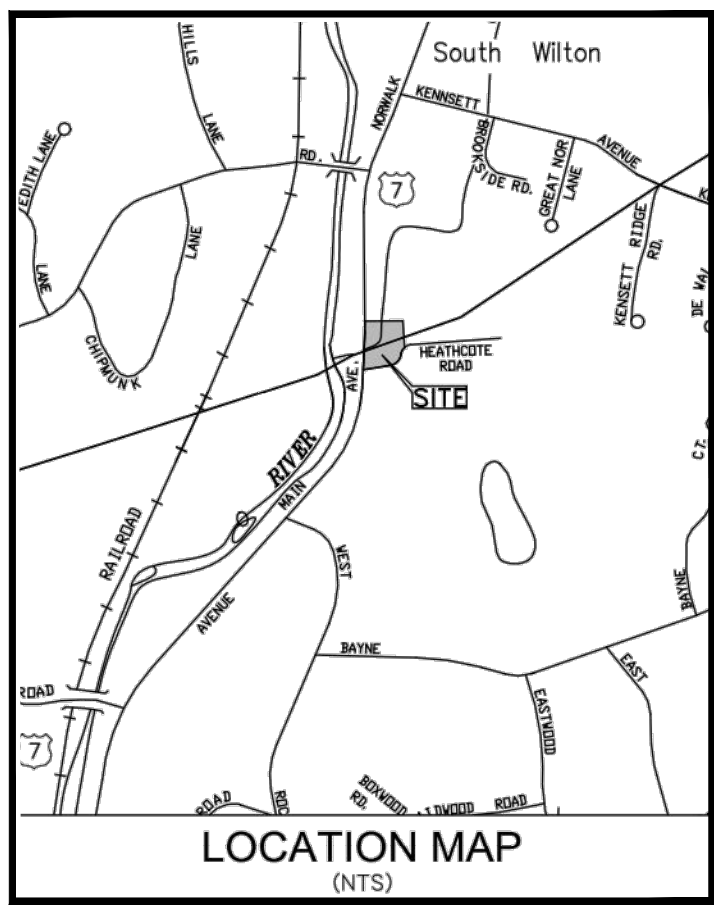
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
03/31/2021	ISSUE FOR REVIEW
04/14/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON AFB APPROVAL
07/19/2021	ISSUE FOR PERMIT
07/24/2021	ISSUE FOR BUILDING PERMIT
03/04/2022	REV PER ZONING CONDITIONS
03/20/2022	ISSUE FOR WILTON AFB APPROVAL

ARCHITECTURAL
SITE PLAN

DRAWING NUMBER

A-1.0



GENERAL NOTES

- LOT LINE & TOPOGRAPHIC INFORMATION FOR 4 DANBURY ROAD TAKEN FROM PROPERTY SURVEY PREPARED BY DENNIS A. DEILUS LAND SURVEYORS DATED SEPTEMBER 23, 2020.

LOT AREA

TOTAL LOT AREA = 21,009 SF
TOTAL LOT AREA IN NORWALK = 8,398 SF
TOTAL LOT AREA IN WILTON = 12,611 SF

LEGEND

EXISTING SYMBOLS:

- Iron Pin (Found)
- Monument (Found)
- Manhole
- *CB* Catch Basin
- Utility Pole
- Light Pole
- Water Gate
- Gas Valve
- Gas Meter
- Existing Well

EXISTING LINETYPES:

- Property Line
- S Sanitary Sewer Line
- E U/G Elec. Line
- W Water Line
- O/H Overhead Utilities
- T U/G Tele. Line
- E/T U/G Electric/Telephone Line
- Wood/Chain Link Fence
- Stone Ret. Wall
- Contour
- Wetland Limit
- Watercourse Limit
- Drainage Line
- Town/City Line
- 25 Year Flood Line
- 100 Year Flood Line
- FL FEMA Flood Zone Line
- Floodway Boundary
- MHW Mean High Water
- MLW Mean Low Water
- C.J.L. Coastal Jurisdiction Line

PROPOSED SYMBOLS:

- (YD) Storm Yard Drain
- (MH) Storm Drain Manhole
- (CB) Catch Basin
- (SSMH) Sanitary Sewer Manhole
- P-1 Perc Test Hole Location & Number
- DTH-1 Deep Test Hole Location & Number
- Proposed Well

PROPOSED LINETYPES:

- S Sanitary Sewer
- E Electric Service
- W Water Service
- T U/G Telephone Service
- E/T Electric/Telephone Service
- Primary Septic
- Reserve Septic
- Retaining Wall
- Contour
- Spot Elevation
- Silt Fence (GSF)
- Wood/Chain Link Fence
- Construction Fence
- Vegetative Buffer
- Wetland Limit (Flagged)



ZONING DATA - 4 DANBURY ROAD			
ZONING DISTRICT: WILTON DRG - DESIGN RETAIL BUSINESS DISTRICT			
DIMENSIONAL	REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA	1 ACRE	0.482 ACRES	0.482 ACRES
LOT FRONTAGE	100'	174'±	174'±
LOT WIDTH	100'	174'±	174'±
COVERAGE	MAX	20% BUILDING	20.2%
	FRONT	80% SITE	77.5%
	SIDE	16.9' 38'±	24.9'±
YARDS	REAR	25'	47.7'±
	MAXIMUM	35'	27.2'±
BUILDING HEIGHT	MAXIMUM	35'	27.2'±

ZONING DATA - 4 DANBURY ROAD			
ZONING DISTRICT: NORWALK BUSINESS #2			
DIMENSIONAL	REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA	12,000 SF	21,009 SF	21,009 SF
LOT WIDTH	50'	174'±	174'±
COVERAGE	MAX	50% BUILDING	21.3%
	FRONT	80% BUILDING/PARKING	77.5%
	20% OPEN SPACE	22.5%	22.5%
FLOOR AREA RATIO (FAR)	MAX	0.9	0.355
	FRONT	45' FROM CENTERLINE	50.9'±
	SIDE	20' (2 STORIES)	24.9'±, 47.7'±
YARDS	REAR	20' (2 STORIES)	72.6'±
	MAXIMUM	35'	27.2'±
BUILDING HEIGHT	MAXIMUM	35'	27.2'±

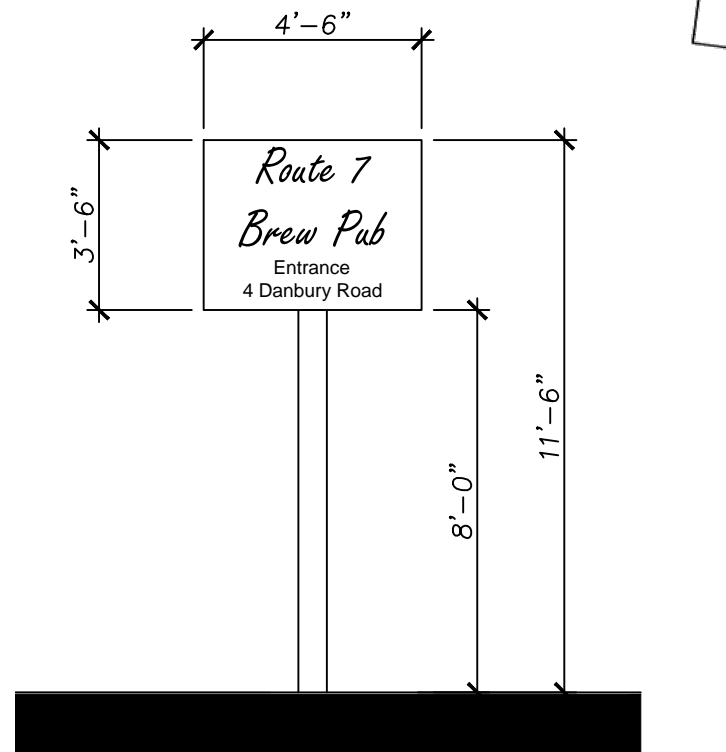
DANBURY ROAD (US ROUTE No. 7)

Proposed Brew Pub Parking - 24 Spaces Required	
Rationale	Planned SF
Brewery Production: 1 space per brewery production worker with a maximum of 4 workers planned = 4 spaces	3,705
No parking needed for storage, mechanical, electrical, common ingress/egress and other spaces that do not affect occupancy.	
Pub: 1 space per 3 patron seats with 57 seats planned = 19 spaces; or 1 space per 100 SF = 24 parking spaces	2,388
Total	7,468
Notes	
1. Brewery operations will not overlap with peak restaurant patron hours.	
2. Pub space is comprised of the patron, kitchen, bar service, bathrooms, common corridors, and lobby areas.	
3. A minimum of twenty-five (25) parking spaces will be available onsite.	

SPECIAL PERMIT NOTES

- Pursuant to Section 8-3.(j) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on June 30, 2026.
- For conditions of approval for Special Permit #479, see Resolution #0628-479SP.

PROPERTY SURVEY PREPARED FOR DWG PROPERTIES, LLC	
4 DANBURY ROAD	NORWALK-WILTON, CT.
PREPARED BY: SM	DATE: 9/23/20
REVIEW: DENNIS A. DEILUS	DO NO: SHEET NO.: 1
DENNIS A. DEILUS - LAND SURVEYORS 108 MAIN STREET, 2ND FLOOR, NORWALK, CT. 06851 P. 203-750-8832	



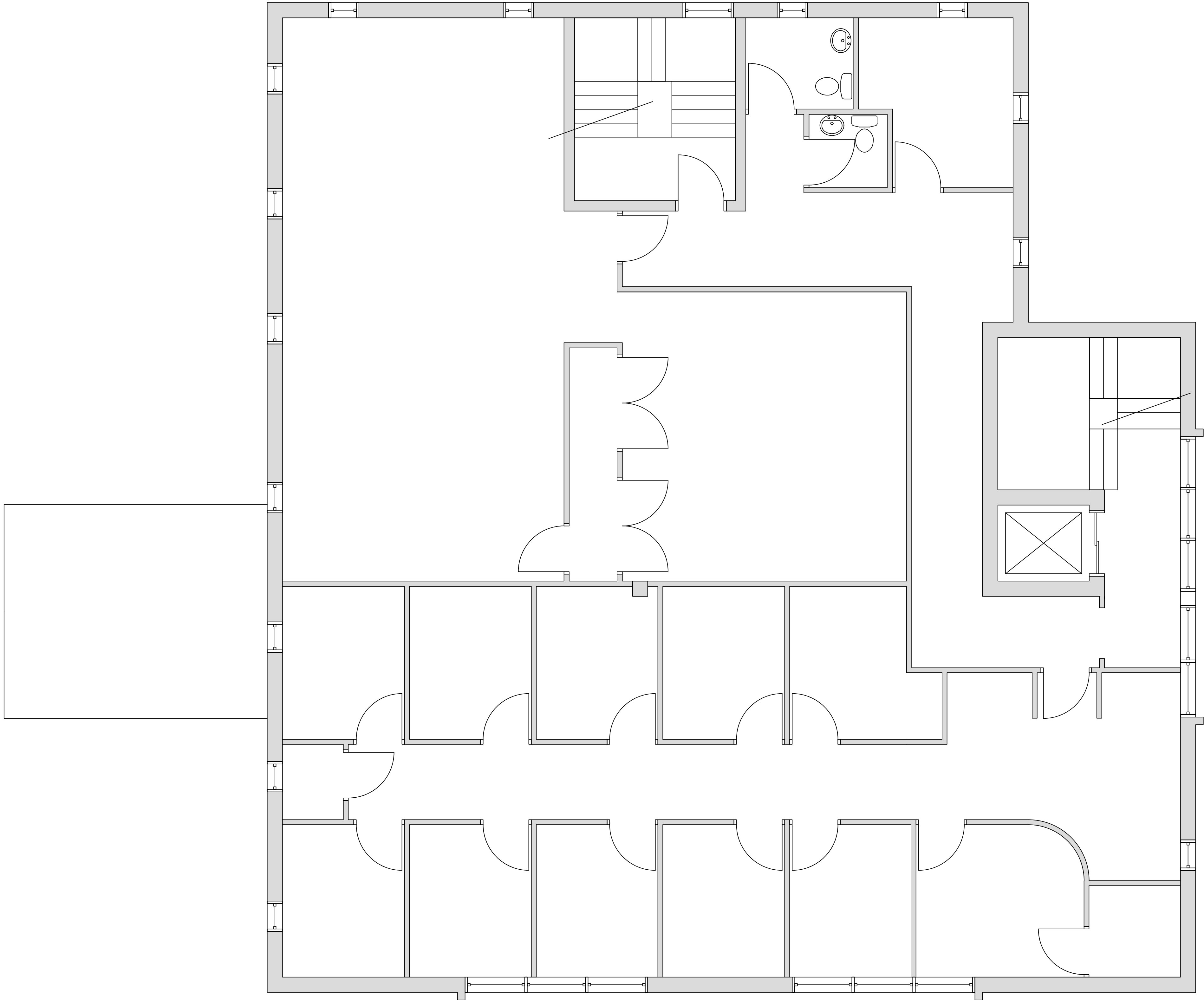
1A NEW PYLON SIGN
SCALE 1/4" = 1'-0"

1 SITE PLAN - PROPOSED
SCALE AS NOTED

SCALE = 1/4" = 1'-0"

A-1.1

3/20/2022, PCDF, A BUSINESS OF PCDF ARCHITECTURE, PROJECTS\2020 QUA BREWERY - WILTON, CT\3. DRAWINGS\2.020 QUA BREWERY - WILTON, CT\1. SECOND FLOOR EXISTING\A-1.2.



1 PLAN - SECOND FLOOR EXISTING
SCALE = 1/4" = 1'-0"

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mobile: (203) 918-1176
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INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
10/29/2020	ISSUE FOR REVIEW
12/01/2020	ISSUE FOR REVIEW
02/01/2021	ISSUE FOR REVIEW
03/22/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR REVIEW
12/29/2021	ISSUE FOR WILTON ARB APPROVAL
01/24/2022	ISSUE FOR PRICING
03/04/2022	ISSUE FOR BUILDING PERMIT
03/30/2022	REV PER ZONING CONDITIONS
	ISSUE FOR WILTON ARB APPROVAL

SECOND FLOOR
EXISTING

DRAWING NUMBER

A-1.2

3/20/2022, PCDF, A BUSINESS OF PCDF ARCHITECTURE, PROJECTS\2020 QUA BREWERY - WILTON, CT\3. DRAWINGS\1.7 CONSTRUCTION PLAN - FIRST FLOOR ZONING REV. 02/20/2022\DWG-A-1.7.



1 PLAN - FIRST FLOOR PROPOSED
SCALE = 1/4" = 1'-0"

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INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
04/19/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON ARE APPROVAL
07/30/2021	ISSUE FOR REVIEW
11/29/2021	ISSUE FOR REVIEW
01/28/2022	ISSUE FOR PRICING
01/24/2022	ISSUE FOR PRICING REV
01/24/2022	ISSUE FOR BUILDING PERMIT
02/05/2022	UPDATED PLUMBING FIXTURES
02/17/2022	REV PER ZONING CONDITIONS
03/30/2022	ISSUE FOR WILTON ARE APPROVAL

FIRST FLOOR
PROPOSED

DRAWING NUMBER

A-1.3

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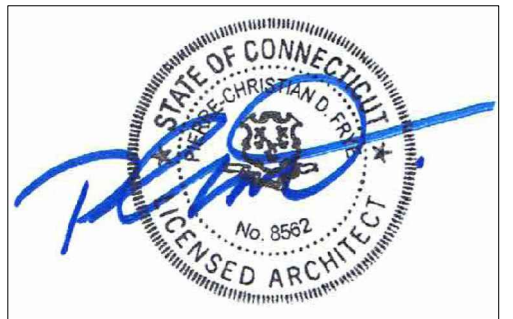
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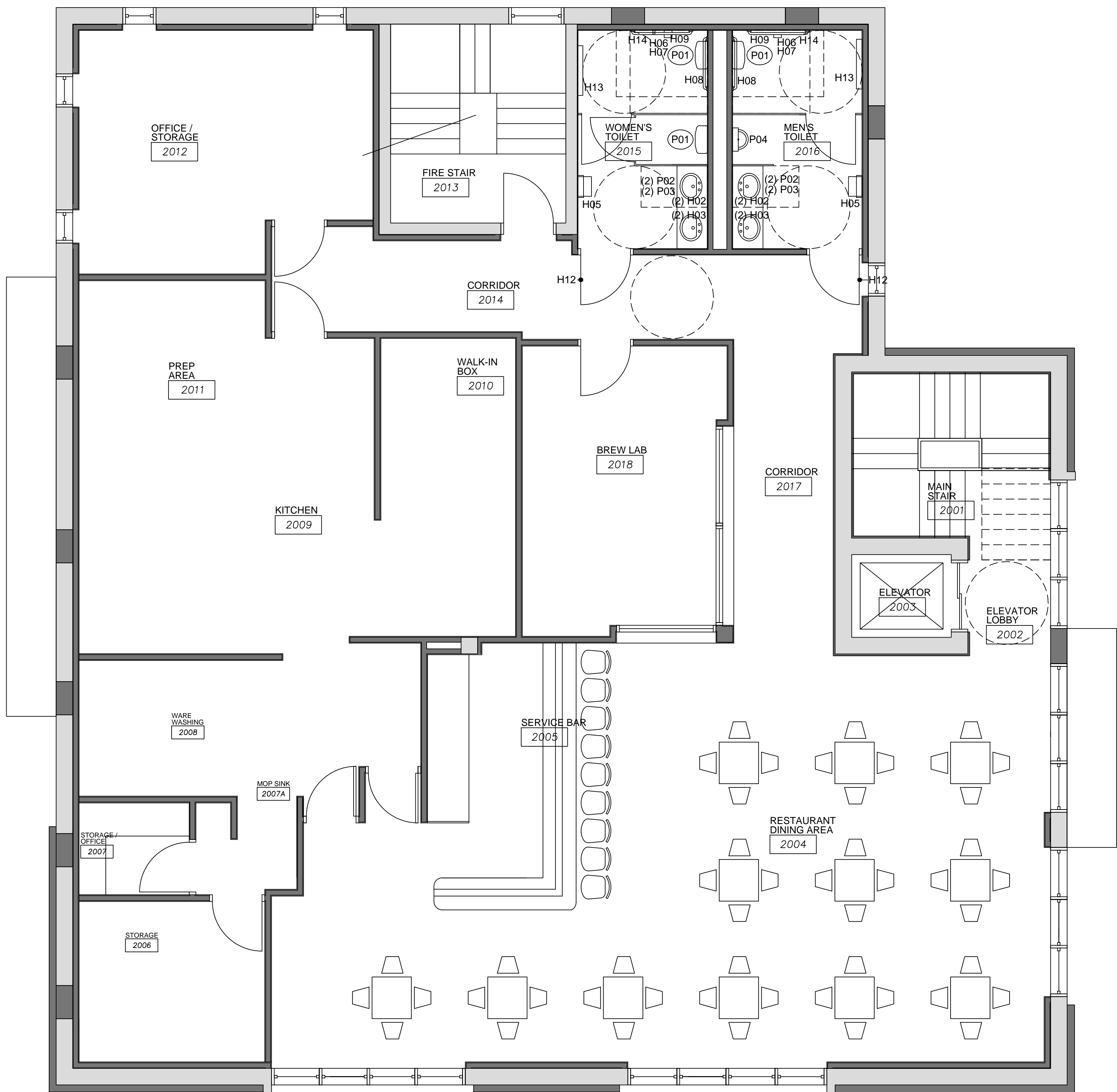
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
04/19/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON ARE APPROVAL
12/29/2021	ISSUE FOR PRICING
01/24/2022	ISSUE FOR PRICING REV
02/05/2022	ISSUE FOR BUILDING PERMIT
02/06/2022	REV PER ZONING CONDITIONS
03/30/2022	ISSUE FOR WILTON ARE APPROVAL

SECOND FLOOR PROPOSED

DRAWING NUMBER

A-1.4



1 PLAN - SECOND FLOOR PROPOSED
SCALE = 1/4" = 1'-0"

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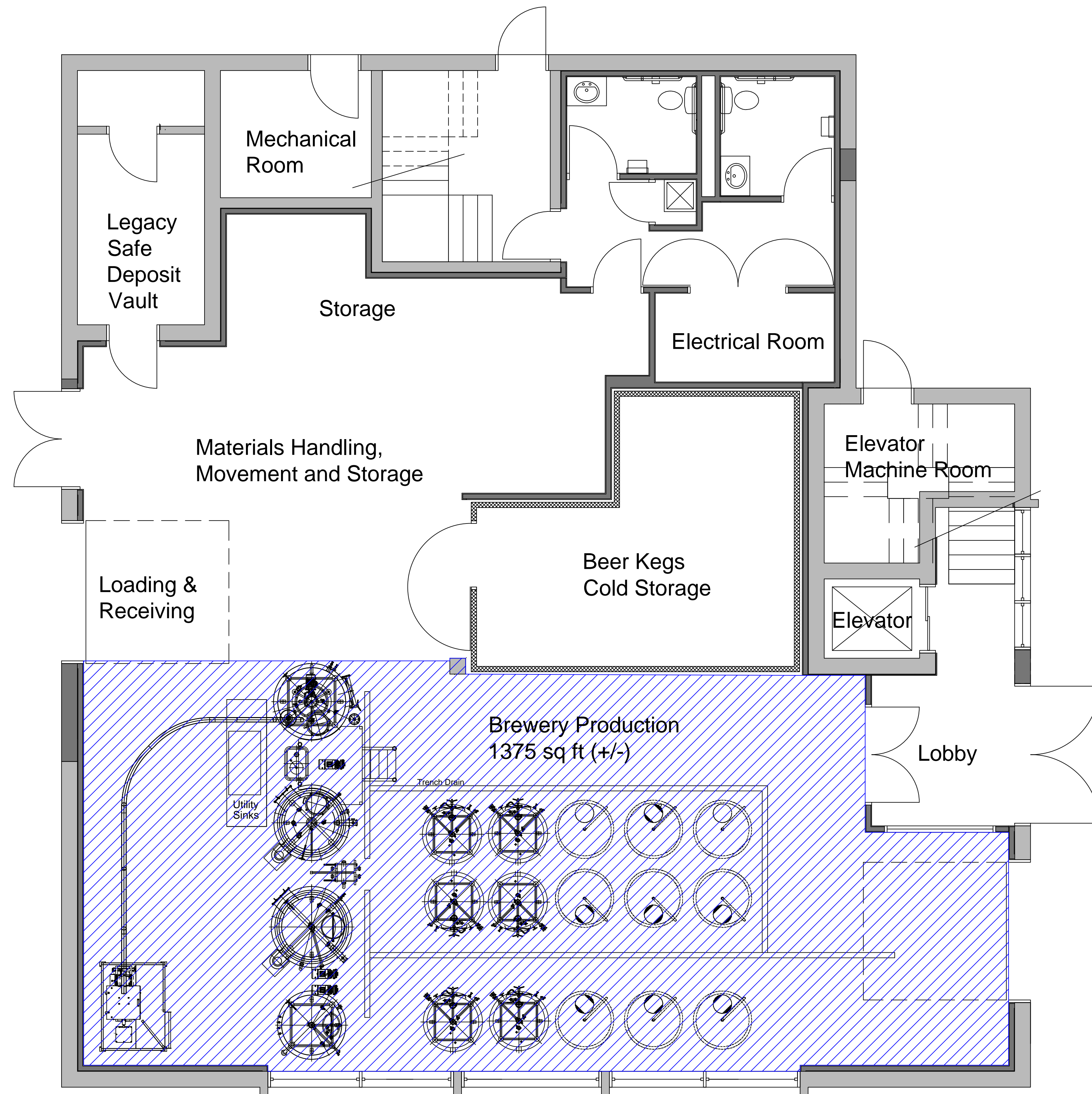
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

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SPACE ALLOCATION PLAN FIRST FLOOR PROPOSED

DRAWING NUMBER

A-1.5



1 SPACE ALLOCATION PLAN - FIRST FLOOR PROPOSED
SCALE = 1/4" = 1'-0"



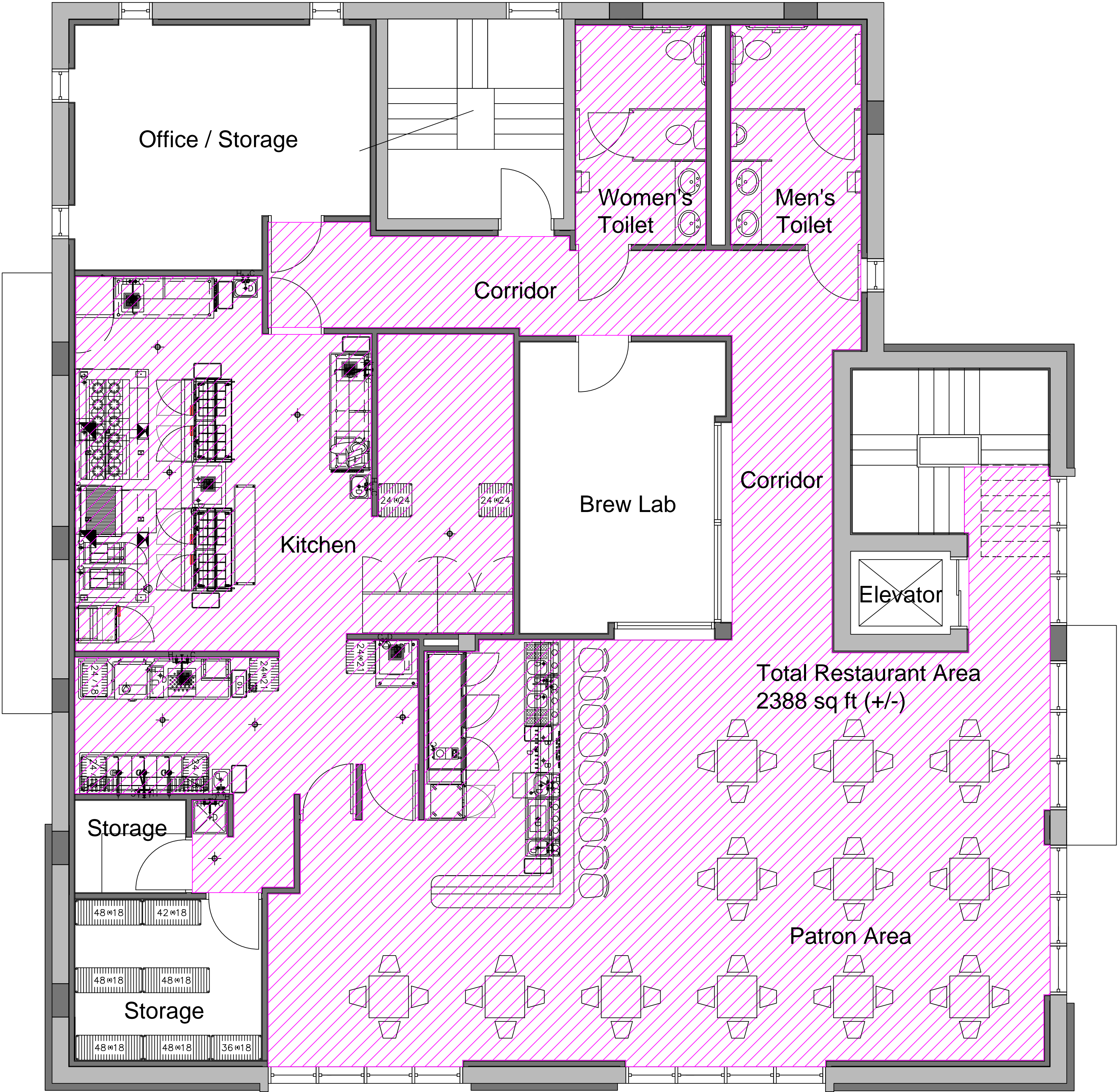
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
04/14/2021	ISSUE FOR REVIEW
04/19/2021	ISSUE FOR REVIEW ARE APPROVAL
05/07/2021	ISSUE FOR REVIEW ARE APPROVAL
05/07/2022	REVISED ZONING CONDITIONS
03/30/2022	ISSUE FOR WILTON ARE APPROVAL

SPACE ALLOCATION PLAN
SECOND FLOOR
PROPOSED

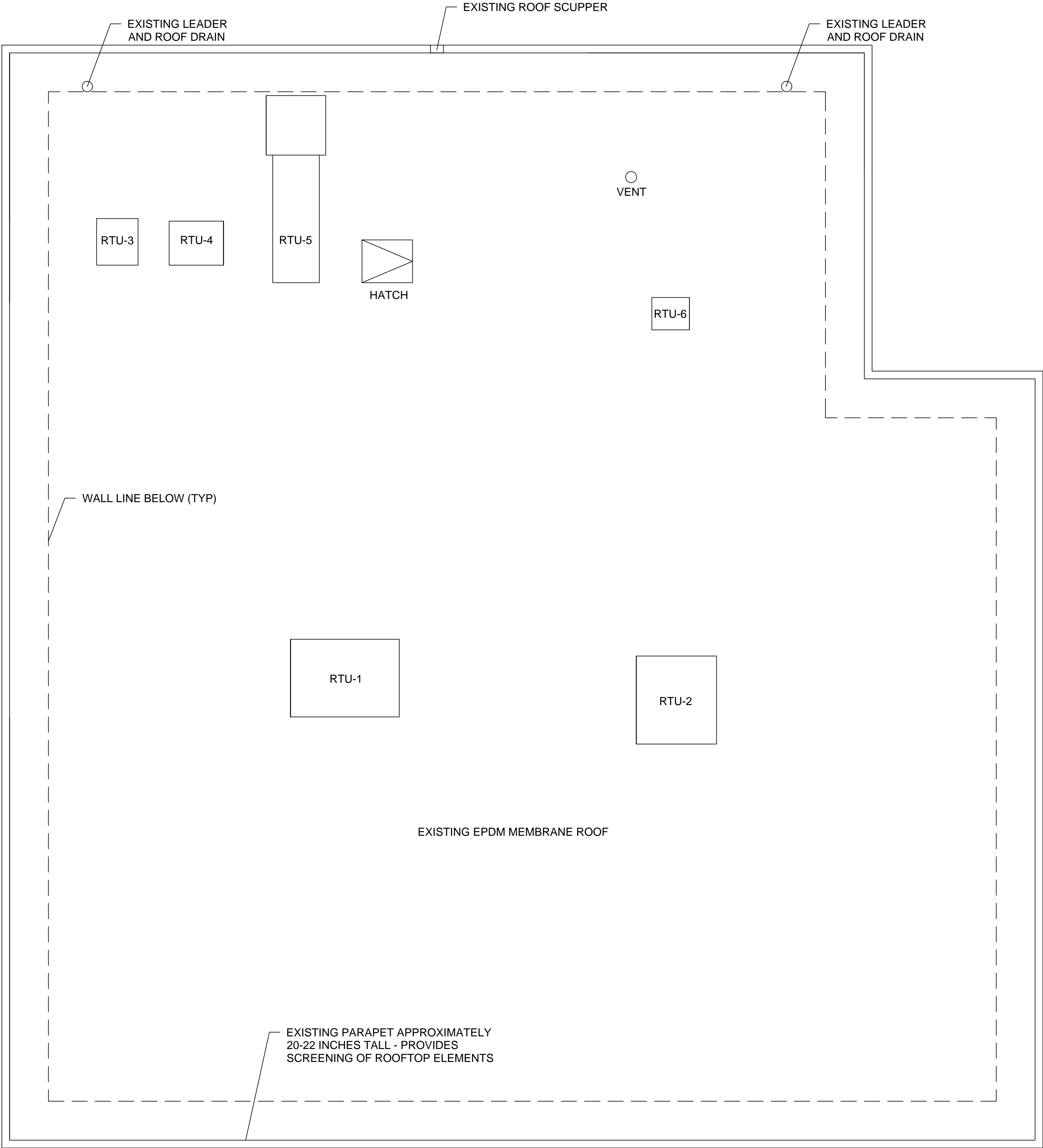
DRAWING NUMBER

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1 SPACE ALLOCATION PLAN - SECOND FLOOR PROPOSED
SCALE = 1/4" = 1'-0"

3/20/2022, PCDF, A BUSINESS OF PCDF ARCHITECTURE, PROJECTS\2020 QUA BREWERY - WILTON, CT\3. DRAWINGS\3.020 QUA BREWERY - WILTON, CT\1.7 ROOF PLAN - EXISTING ZONING REV. 02/20/2022\DWG-A-1.1



1 **ROOF PLAN - EXISTING**
SCALE = 1/4" = 1'-0"

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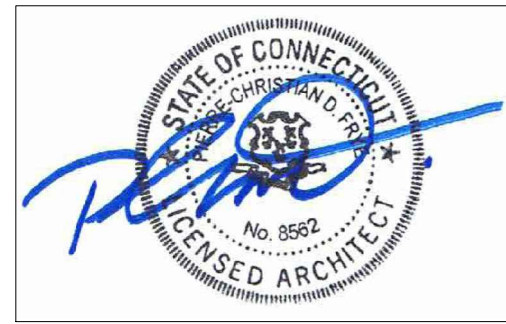
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
04/19/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON ARE APPROVAL
07/29/2021	ISSUE FOR ZONING PERMIT
07/29/2021	ISSUE FOR BL
07/27/2022	REVIEW ZONING CONDITIONS
03/30/2022	ISSUE FOR WILTON ARE APPROVAL

ROOF PLAN
EXISTING

DRAWING NUMBER

A-1.7



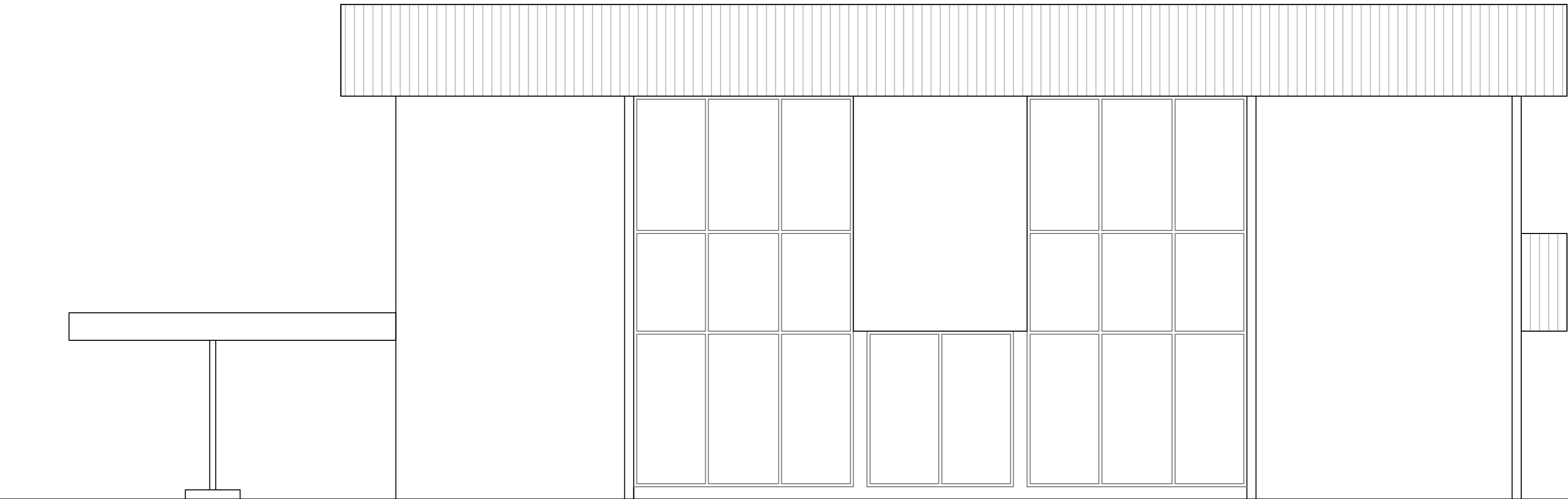
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
02/01/2021	ISSUE FOR REVIEW
02/14/2021	ISSUE FOR REVIEW
02/26/2021	ISSUE FOR REVIEW
03/09/2021	ISSUE FOR REVIEW
03/14/2021	ISSUE FOR REVIEW
03/31/2021	ISSUE FOR REVIEW
04/19/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON ARB APPROVAL
02/17/2022	REV PER ZONING CONDITIONS

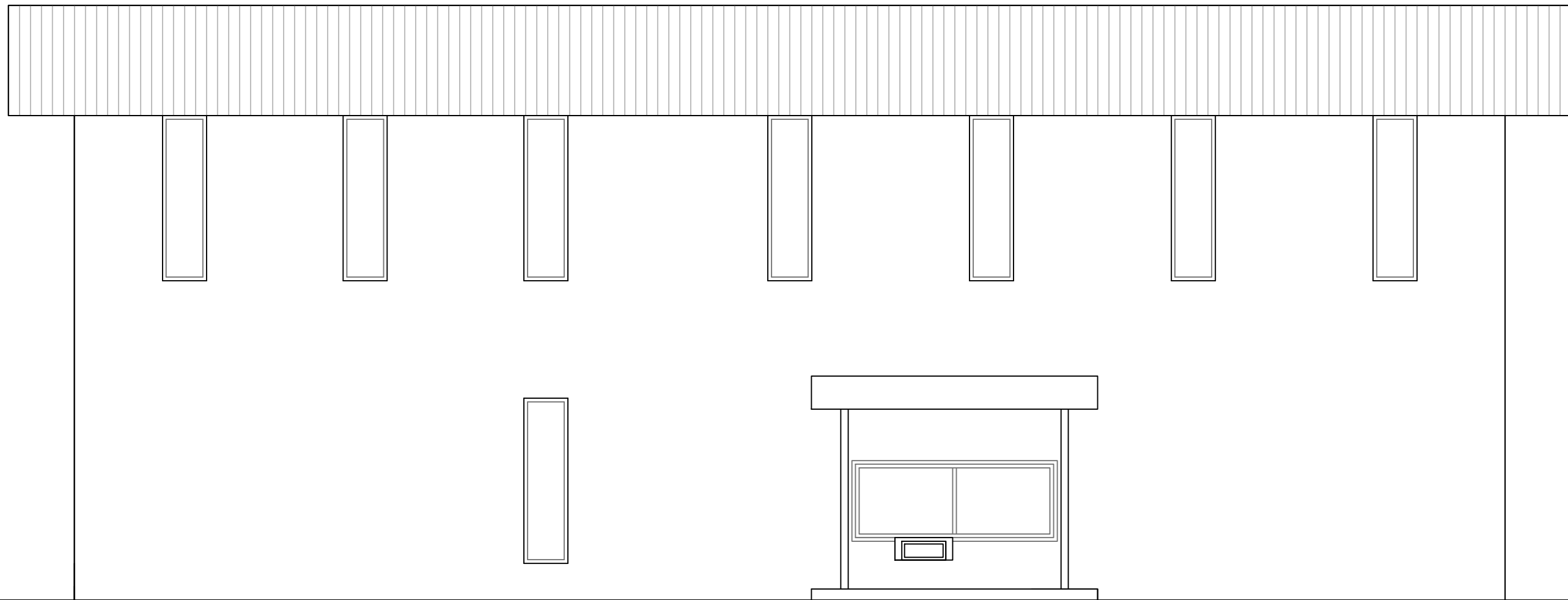
EXTERIOR ELEVATIONS
EXISTING

DRAWING NUMBER

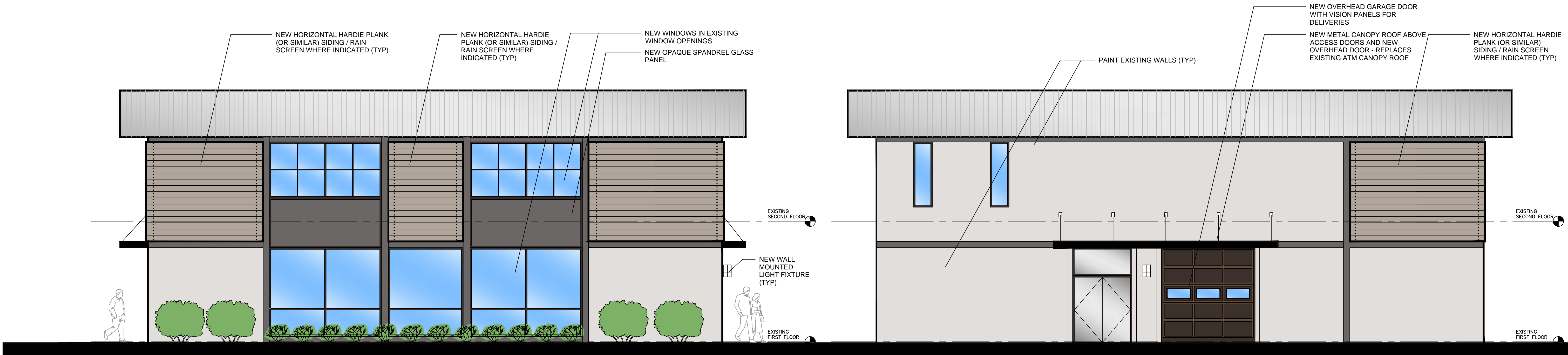
A-2.1



1 ELEVATION - FRONT EXISTING
SCALE = 3/16" = 1'-0"



2 ELEVATION - SIDE EXISTING
SCALE = 3/16" = 1'-0"



3 ELEVATION - FRONT PROPOSED
SCALE = 3/16" = 1'-0"

4 ELEVATION - SIDE PROPOSED
SCALE = 3/16" = 1'-0"



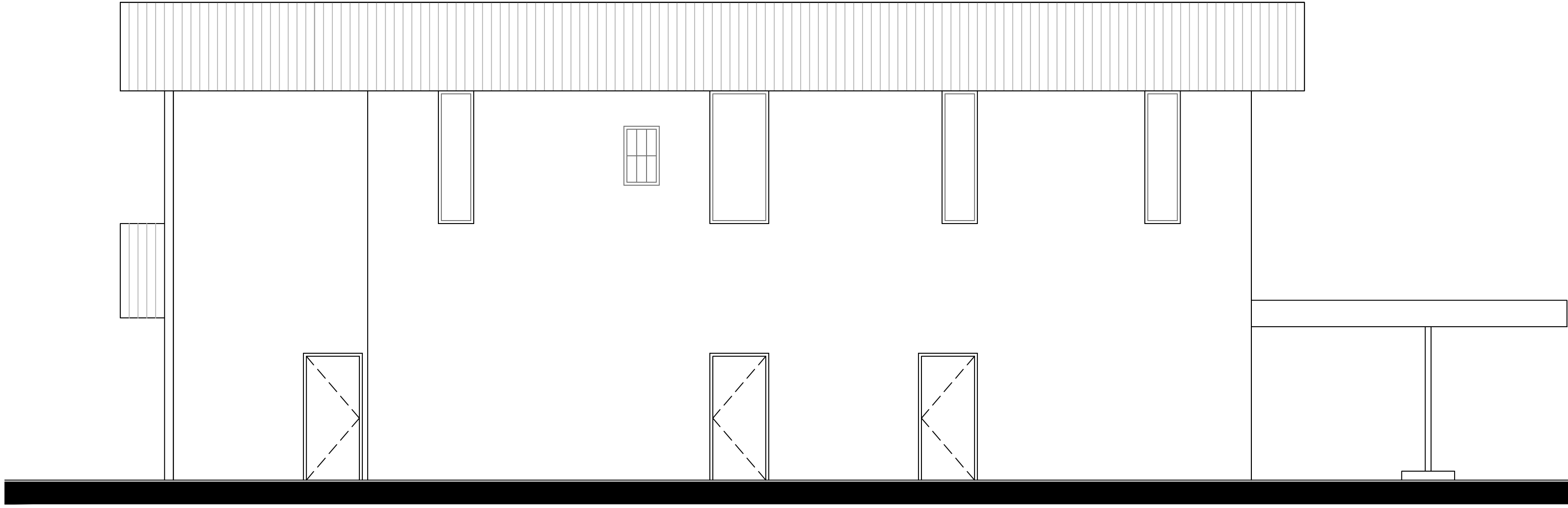
INTERIOR & EXTERIOR ALTERATIONS
ROUTE 7 BREW PUB
4 DANBURY ROAD
WILTON, CT

DATE	ISSUE / REVISION
02/01/2021	ISSUE FOR REVIEW
02/14/2021	ISSUE FOR REVIEW
02/26/2021	ISSUE FOR REVIEW
03/09/2021	ISSUE FOR REVIEW
03/14/2021	ISSUE FOR REVIEW
03/31/2021	ISSUE FOR REVIEW
04/19/2021	ISSUE FOR REVIEW
04/20/2021	ISSUE FOR WILTON ARE APPROVAL
05/24/2021	REV PER ARE COMMENTS
02/17/2022	REV PER ZONING CONDITIONS

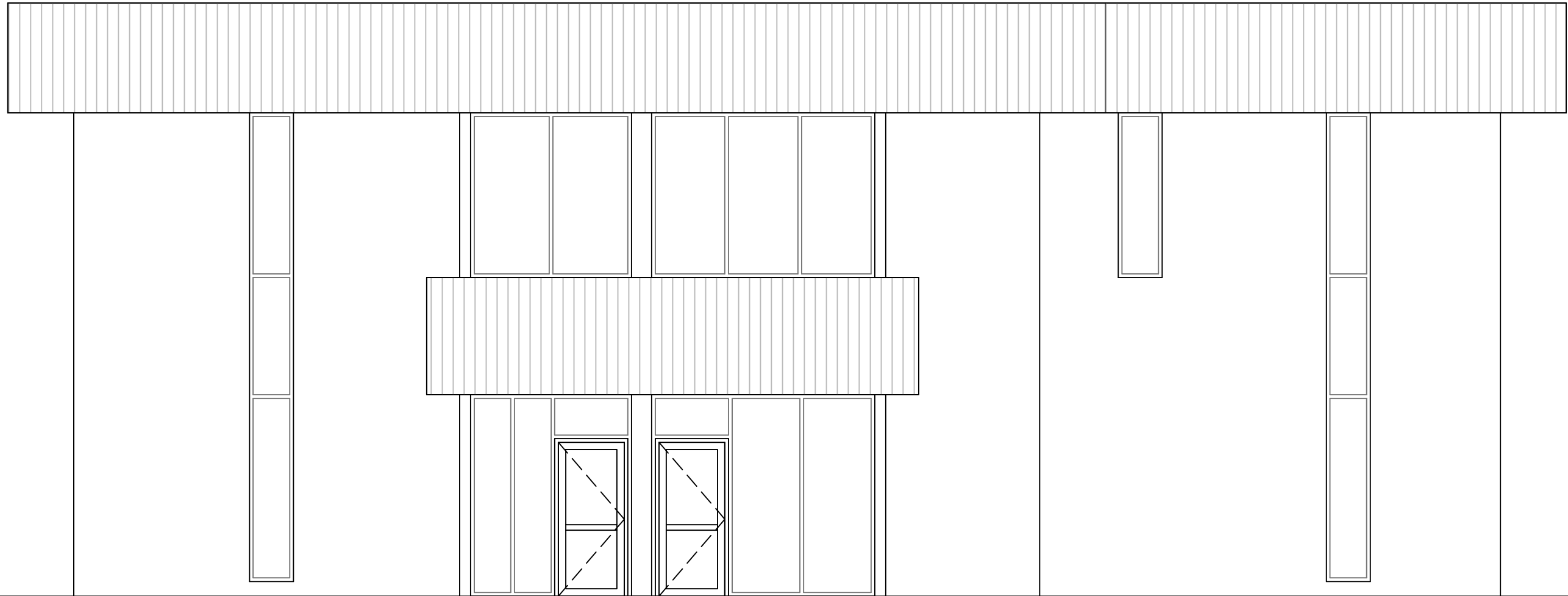
REAR + SIDE ELEVATIONS
EXISTING + PROPOSED
OPTION K

DRAWING NUMBER

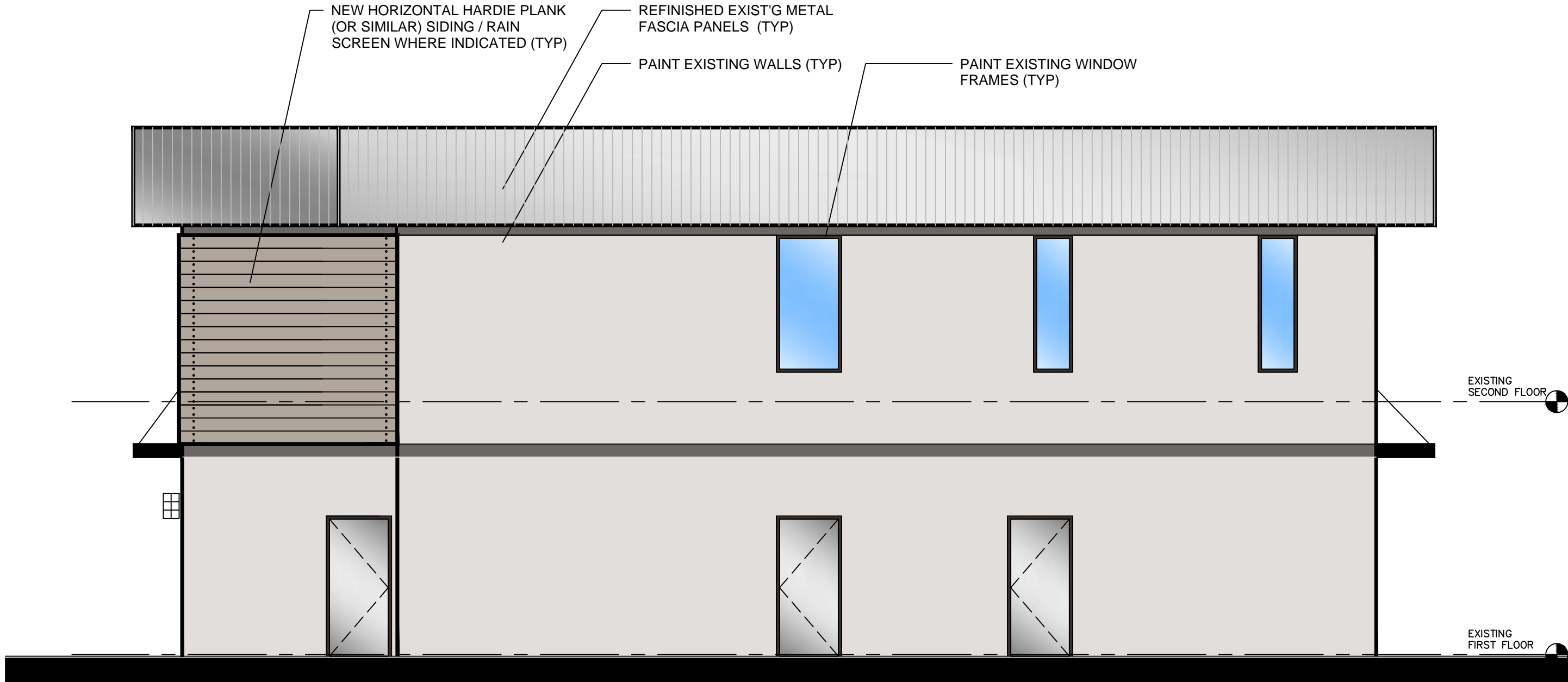
A-2.2



1 ELEVATION - REAR EXISTING
SCALE = 3/16" = 1'-0"



2 ELEVATION - SIDE (ENTRY) EXISTING
SCALE = 3/16" = 1'-0"



3 ELEVATION - REAR PROPOSED
SCALE = 3/16" = 1'-0"



4 ELEVATION - SIDE (ENTRY) PROPOSED
SCALE = 3/16" = 1'-0"



Refinished Existing Metal Fascia and Soffit (matte finish)



New Hardie-Plank or similar horizontal siding on Second Floor North, West and South sides as indicated



Metal canopy over entry doors



Metal louvered HVAC equipment enclosure screen



New metal entry doors



New lanterns (industrial look)



New metal spandrel panels below West elevation windows



New Pin Mounted Metal Signage LED back-lit on fascia



New black/ dark bronze metal framed windows

