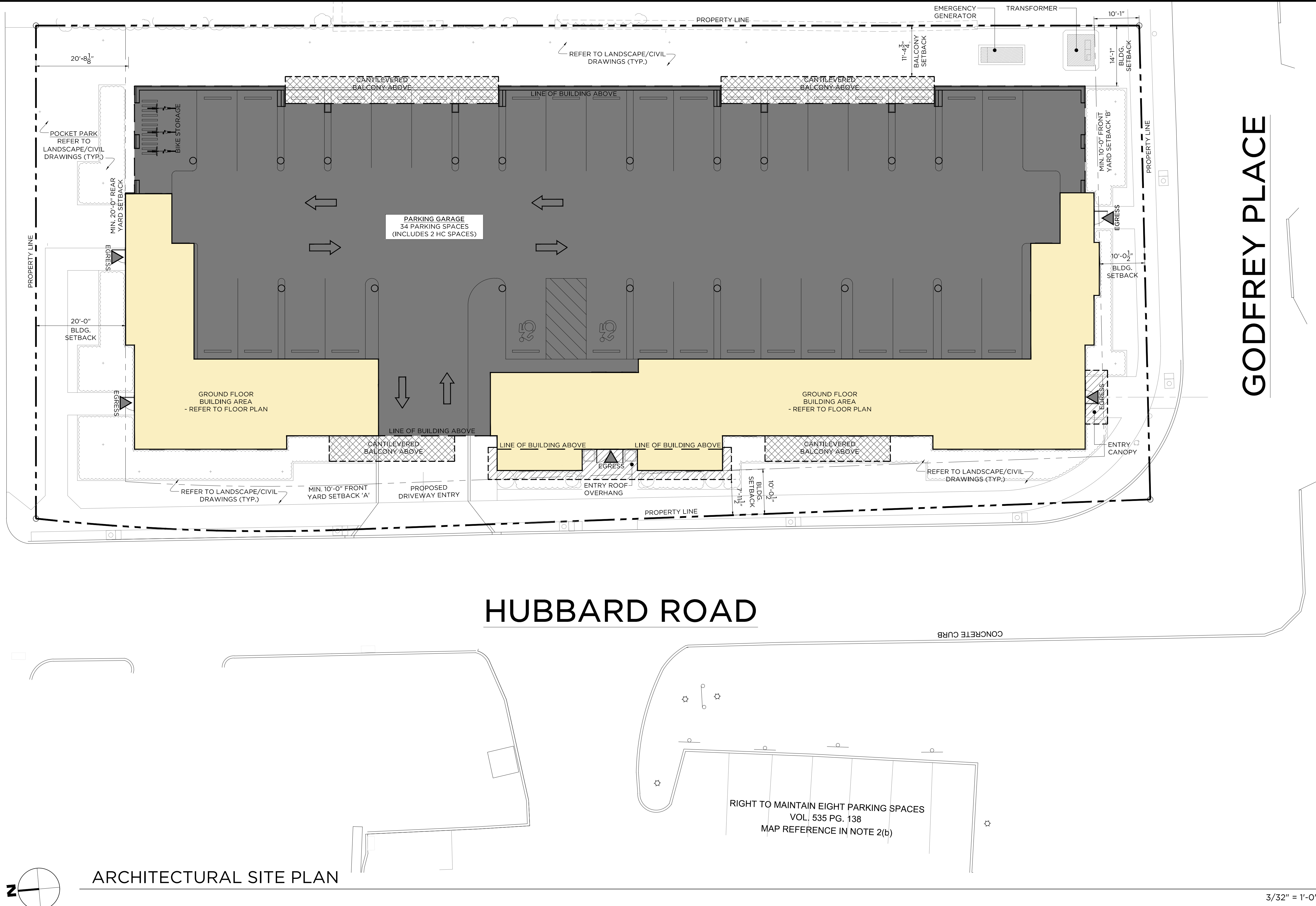


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WILTON CENTER LOFTS BUILDING & ZONING INFORMATION

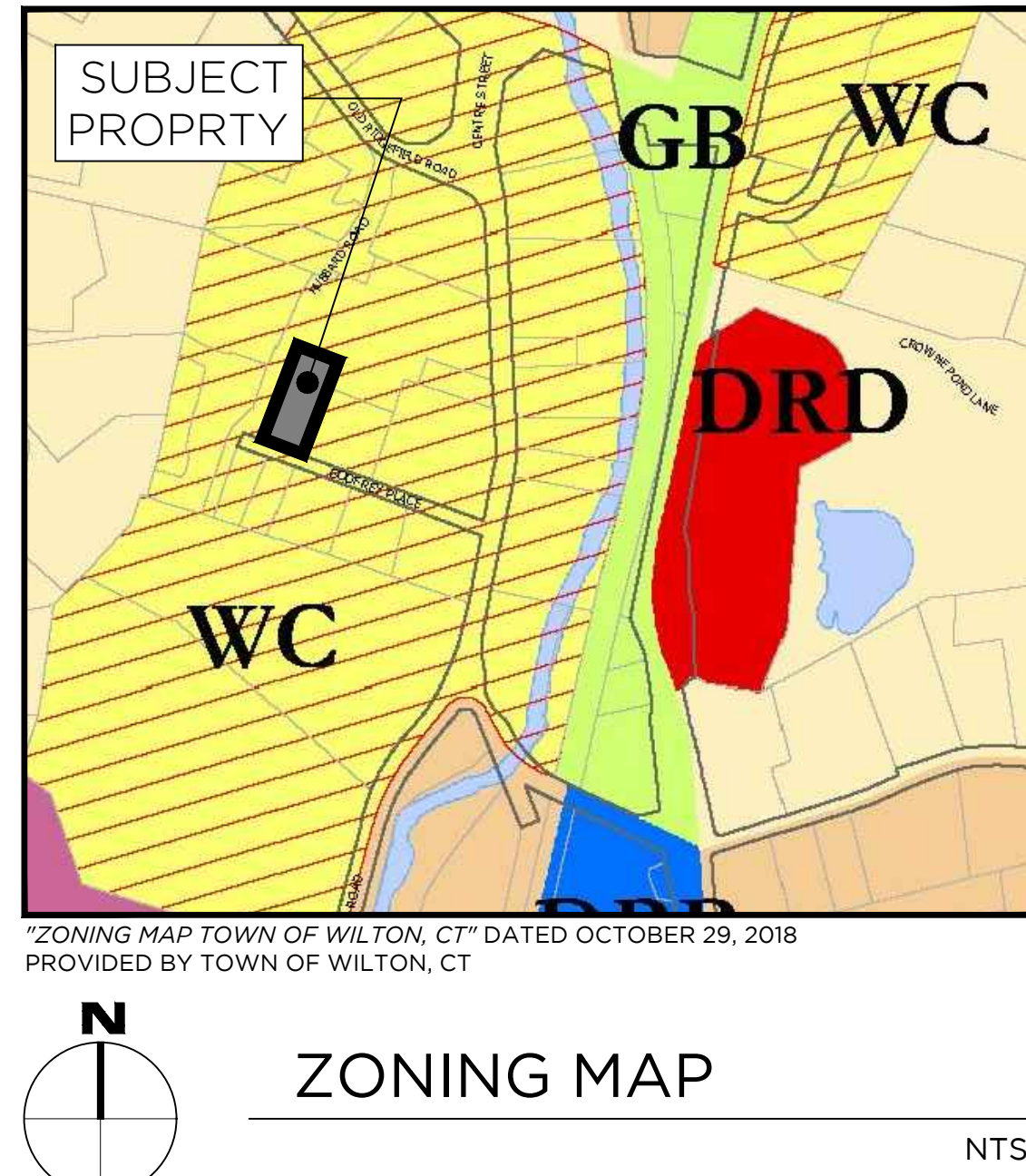
WILTON CENTER LOFTS ZONING CHART			
ZONING DISTRICT: WC WILTON CENTER			
ITEM	REQUIRED	PROPOSED	
FRONT YARD SETBACK 'A' (MIN./MAX.)	10' / 20'	10'-0"	
FRONT YARD SETBACK 'B' (MIN./MAX.)	10' / 20'	10'-0"	
SIDE YARD SETBACK	0' MIN.	11'-0"	
REAR YARD SETBACK	20' MIN.	20'-0"	
PARKING/LOADING SETBACK	0' MIN.	14'-1"	
BUILDING HEIGHT (STORIES/FEET)	3 STORIES/42' MIN.	5/62'-5"	
BUILDING COVERAGE (%)	30% MAX.	64%*	
SITE COVERAGE (%)	80% MAX.	75%*	
LOT SIZE	N/A	N/A	
LOT FRONTAGE	N/A	N/A	
LOT WIDTH	N/A	N/A	
FLOOR AREA RATION (F.A.R.)	0.5 MAX.	2.50	
* REFER TO CIVIL DRAWINGS			

PROPOSED AFFORDABLE DWELLING UNITS (8-30g)		
- MINIMUM 30% ADU'S REQUIRED (8-30g): (42) UNITS x 30% = (12.6) + (13) ADU'S - (13) ADU'S PROPOSED: SEE BELOW FOR ADU MIX		
UNIT TYPE	NUMBER OF PROPOSED ADU'S 60% MAX. MEDIAN INCOME	80% MAX. MEDIAN INCOME
1BR-A	1	1
1BR-B (DEN)	1	1
1BR-C (DEN)	0	0
2BR-A	1	1
2BR-B (DEN)	1	0
2BR-C (DEN)	0	1
2BR-D (DUPLEX)	1	1
2BR-E (DEN)	0	0
3BR-A (DUPLEX)	1	1
3BR-B	1	0
3BR-C	0	0
TOTAL: 13 UNITS	7	6

NOTE: FINAL ADU MIX TO BE APPROVED BY AHJ.

WILTON CENTER LOFTS FLOOR AREA CALCULATIONS			
FLOOR	NON-RENTABLE AREA (SF)	RENTABLE AREA (SF)	TOTAL GROSS FLOOR AREA (SF)
GROUND	4,615.0	0.0	4,615.0
FIRST	1,729.0	14,583.7	16,312.7
SECOND	1,729.0	14,583.7	16,312.7
THIRD	1,729.0	14,583.7	16,312.7
PENTHOUSE	1,722.5	12,826.5	14,549.0
TOTAL	11,524.5	56,577.6	68,102.1
FLOOR AREA RATIO (F.A.R.) = TOTAL GROSS FLOOR AREA / LOT AREA			
FLOOR AREA RATIO (F.A.R.) = 68,240.9 SF / 27,246.6 SF			
FLOOR AREA RATIO (F.A.R.) = 2.50			

WILTON CENTER LOFTS UNIT MIX CHART						
		QUANTITY				
UNIT TYPE	SF	1ST FLOOR	2ND FLOOR	3ND FLOOR	PENTHOUSE	TOTAL
1BR-A	829.2	2	2	2	0	6
1BR-B (DEN)	921.3	2	2	2	0	6
1BR-C (DEN)	1,249.6	0	0	0	1	1
2BR-A	1,177.3	4	4	0	0	8
2BR-B (DEN)	1,474.4	1	1	1	0	3
2BR-C (DEN)	1,582.3	1	1	1	0	3
2BR-D (DUPLEX)	1,465.8	0	0	4	0	4
2BR-E (DEN)	1,409.5	0	0	0	1	1
3BR-A (DUPLEX)	2,330.5	0	0	4	0	4
3BR-B	1,504.1	0	0	0	2	2
3BR-C	1,658.4	2	2	0	0	4
TOTAL		12	12	14	4	42
UNIT TYPE	TOTAL	PERCENT	PARKING COUNT			
1BR	6	14.29%	LOCATION	COUNT		
1BR (DEN)	7	16.67%	ON-SITE	34*		
2BR	8	19.05%	OFF-SITE	8		
2BR (DEN)	7	16.67%	TOTAL	42		
2BR (DUPLEX)	4	9.52%	* INCLUDES (2) H.C. SPACES & (8) E.V. CHARGING STATIONS			
3BR	6	14.29%				
3BR (DUPLEX)	4	9.52%				
TOTAL	42	100.00%	SPACES/UNIT	1.00		



SITE PLAN LEGEND	
	GROUND FLOOR BUILDING AREA
	COVERED GARAGE AREA
	CANTILEVERED BALCONY ABOVE
	ENTRY ROOF OVERHANG/CANOPY ABOVE
	BUILDING EGRESS EXIT POINT

PHASE
P&Z SUBMISSION (8-30G)
NOT FOR CONSTRUCTION

PROJECT NAME:
WILTON CENTER LOFTS

PROJECT ADDRESS:
12 GODFREY PLACE
WILTON, CT 06897

JOB NO.: 22013

DRAWN BY: CC/GC PROJ. MANAGER: RG

DATE: 02/07/2023 SCALE: AS NOTED

DRAWING TITLE
**ARCHITECTURAL SITE PLAN &
ZONING INFORMATION**

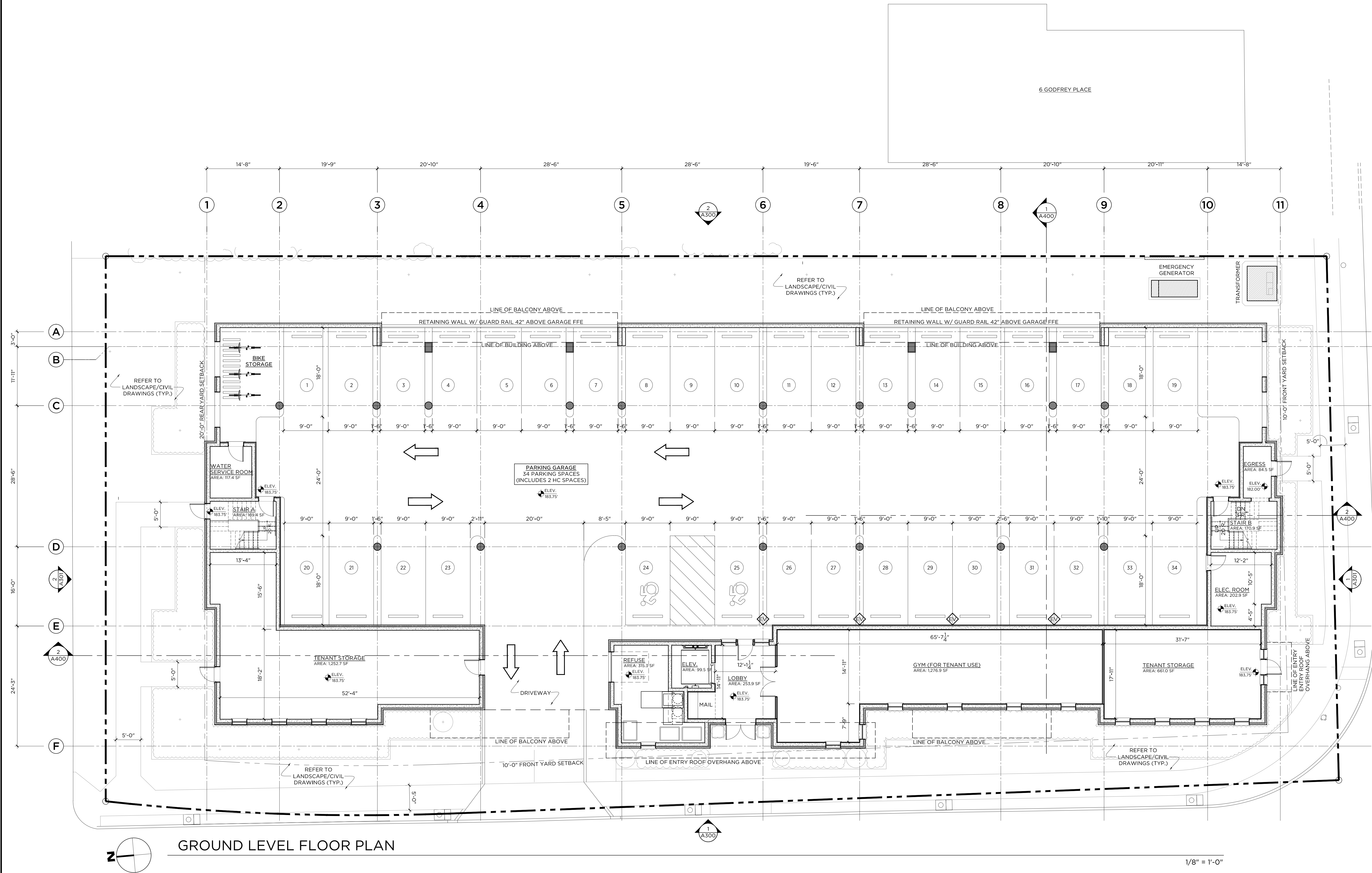
DRAWING NO.

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GROUND LEVEL FLOOR PLAN

1/8" = 1'-0"

SUBMITTALS/REVISIONS

#	DATE	DESCRIPTION	BY:
1	09.30.2022	P&Z SUBMISSION	CC
2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30g)	CC

PHASE
P&Z SUBMISSION (8-30G)
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12 GODFREY PLACE
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CC/GC

PROJ. MANAGER:

RG

DATE:

02/07/2023

SCALE:

AS NOTED

DRAWING TITLE

GROUND FLOOR PLAN

DRAWING NO.

A100