

GREGORY AND ADAMS, P.C.

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ESTABLISHED 1964

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JULIAN A. GREGORY
(1912 - 2002)

THOMAS T. ADAMS
(1929 - 2015)

PLEASE REPLY TO SENDER:
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* ALSO ADMITTED IN NEW YORK

⚙ ALSO ADMITTED IN VERMONT

§ ADMITTED IN NY AND NJ ONLY

March 22, 2023

Via Email and Hand Delivery

Planning and Zoning Commission

Town Hall Annex

238 Danbury Road

Wilton, CT 06897

Attn: Mr. Michael E. Wrinn – Director of Planning and Land Use Management

Re: The Lake Club, Inc. – Application to Amend Special Permit
Premises: 175 and 195 Thayer Pond Road, Wilton, Connecticut

Dear Members of the Commission:

As attorney for The Lake Club, Inc. (“**Lake Club**”), I hereby submit its application to amend Special Permit #45 to allow the Lake Club to resurface, shift, and expand Court 1 as well as allow the ancillary site alterations necessitated by the court’s shift and expansion, see Site Development Plan, in accordance with Section 29-5.A.3.b of the Zoning Regulations of the Town of Wilton.

In support of the application, I enclose one copy each of the following:

1. Letter signed by Lake Club as applicant and owner authorizing Gregory and Adams to act as its agent in connection with this application.
2. Assessor’s Location Map.
3. Application for Special Permit with Project Narrative, Form B – Zoning Data and Statement of Compliance with Town Plan attached.
4. Topographic Survey (TS) prepared by Redniss & Mead (“R&M”) dated February 1, 2023.

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* ALSO ADMITTED IN NEW YORK
* ALSO ADMITTED IN VERMONT

March 23, 2022

By E-Mail Only

Mr. Hugh Underhill, General Manager
The Lake Club, Inc.
175 and 195 Thayer Pond Road
Wilton, CT 06897

Re: The Lake Club, Inc. - Land Use Applications to the Town of Wilton
Premises: 175 and 195 Thayer Pond Road, Wilton, Connecticut

Dear Mr. Underhill:

We are providing legal representation to The Lake Club, Inc. in connection with the above referenced Premises and the Land Use Commissions of the Town of Wilton. The Commissions require written authorization from the applicant and the property owner authorizing Gregory and Adams, P.C. to act as their agent. Please sign a copy of this letter as applicant and owner and return it to me by email.

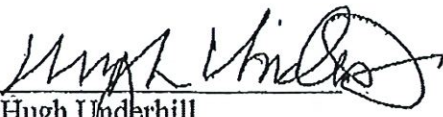
Very truly yours,

J. Casey Healy
J. Casey Healy

JCH/ko

The undersigned hereby authorizes Gregory and Adams, P.C. to act as its agent in connection with matters involving the Land Use Commissions of the Town of Wilton.

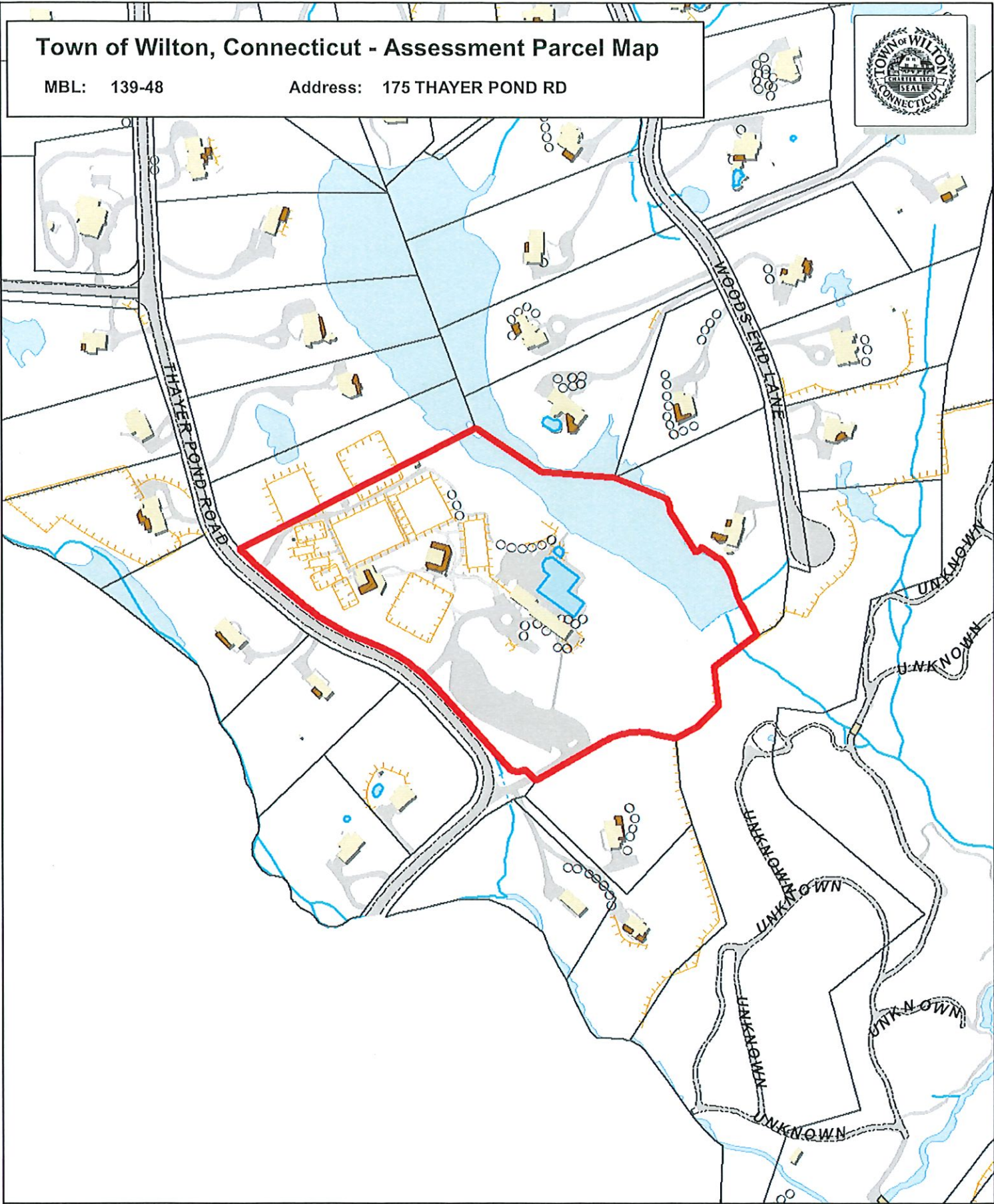
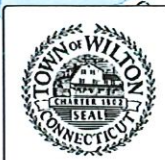
The Lake Club, Inc.

By: 
Hugh Underhill
Its: General Manager
Duly Authorized

Town of Wilton, Connecticut - Assessment Parcel Map

MBL: 139-48

Address: 175 THAYER POND RD



Approximate Scale:
1 inch = 300 feet

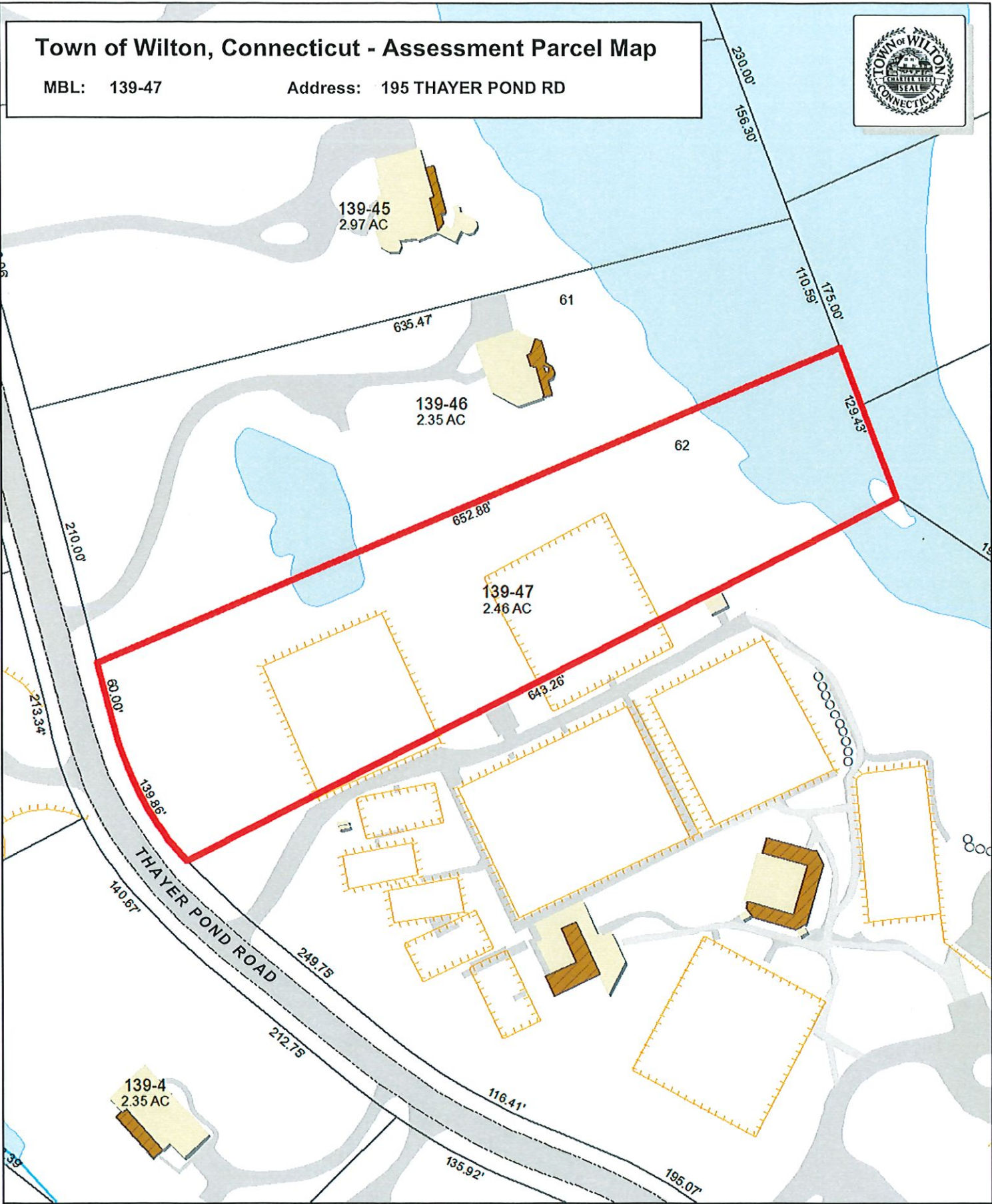
Disclaimer:
This map is for informational purposes only.
All information is subject to verification by any user.
The Town of Wilton and its mapping contractors
assume no legal responsibility for the information contained herein.

Map Grand List Date: Oct 2017
0 175 350 525 Feet

Town of Wilton, Connecticut - Assessment Parcel Map

MBL: 139-47

Address: 195 THAYER POND RD



Approximate Scale:
1 inch = 100 feet

Disclaimer:
This map is for informational purposes only.
All information is subject to verification by any user.
The Town of Wilton and its mapping contractors
assume no legal responsibility for the information contained herein.

Map Grand List Date: Oct 2017
0 50 100 150 Feet

WILTON PLANNING AND ZONING COMMISSION	SPECIAL PERMIT APPLICATION	SP#
---------------------------------------	----------------------------	-----

SPECIAL PERMIT DESCRIPTION: Cite specific section(s) of the Zoning Regulations and provide a detailed description of the proposed development. Attach additional sheets as required.
Section 29-5.A.3.b permits private membership recreation clubs in R-2A Zones by Special Permit.

The Lake Club, Inc.	c/o Gregory and Adams, P.C.				
	190 Old Ridgefield Road, Wilton, CT				
APPLICANT'S NAME	ADDRESS				
The Lake Club, Inc.	c/o Gregory and Adams, P.C.				
	190 Old Ridgefield Road, Wilton, CT				
OWNER'S NAME	ADDRESS				
175 and 195 Thayer Pond Road	R-2A				
PROPERTY LOCATION	ZONING DISTRICT				
1864 79 69 139	48 13.34				
1864 141 414 139	47 2.46				
WLR	VOLUME	PAGE	TAX MAP #	LOT #	ACREAGE

THE FOLLOWING MATERIALS ARE REQUIRED:

* Please see **SPECIAL INSTRUCTIONS FOR SUBMISSION DURING COVID** at:
[Application Forms / Materials | Wilton CT](#)
* All submitted plans and documents shall bear an **original signature, seal, and license number** of the professional responsible for preparing each item. Maps should be **folded, not rolled**.

- ☒ VICINITY SKETCH at a scale of 1"=100' or 1"=200'. Said map shall show all existing zone boundaries, existing buildings and parcels, labeled by their corresponding Tax Map and Lot Number, within 500' of the subject property.
- ☒ CLASS A-2 SURVEY MAP of the subject property
- ☒ SITE DEVELOPMENT PLAN pursuant to Section 29-11 of the Zoning Regulations
- ☒ FORM B – ZONING DATA
- ☒ LIST OF PROJECT PROFESSIONALS including name, firm, address and telephone
- ☒ LETTER OF TITLE certifying owner of record as of date of the application
- ☒ PROOF OF APPLICANT'S LEGAL INTEREST in property
- ☒ LIST OF OWNERS WITHIN 500' of any portion of subject property, sorted by Tax Map and Lot #
[See online GIS instructions at: [owner list 500 ft gis directions.pdf \(wiltonct.org\)](#)]
- ☒ ANY OTHER PLAN OR DOCUMENT as required by Zoning Regulations
- ☒ ONE COPY OF THE DEED
- ☒ ELECTRONIC SUBMISSION of all materials, **consolidated into 1 or 2 PDFs maximum**, emailed to michael.wrinn@wiltonct.org and daphne.white@wiltonct.org
- ☒ \$460 FILING FEE + \$50/Unit or \$50/2000 sq. ft. (Accessory Apartment - \$260) payable to: Town of Wilton
- ☒ ENVELOPES, addressed to each property owner within 500' of any portion of subject property.
[See "Envelopes Instructions" at: [envelopes instructions 0.pdf \(wiltonct.org\)](#)]

☒

IS THE SUBJECT PROPERTY LOCATED WITHIN THE WATERSHED BOUNDARY?

☐

No

☒

IS THE SUBJECT PROPERTY WITHIN THE FLOOD ZONE?

☐

No

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted and is responsible for the payment of all legal notices incurred.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

The Lake Club, Inc. by its Agent, Gregory and Adams, P.C.

<i>Kathleen Ryle</i>		kroyle@gregoryandadams.com	203-762-9000
APPLICANT'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE
The Lake Club, Inc. by its Agent, Gregory and Adams, P.C.			
<i>Kathleen Ryle</i>		kroyle@gregoryandadams.com	203-762-9000
OWNER'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE

For Planning and Zoning Department Use Only:

Mandatory Referrals - Jurisdiction/Agency		
	Yes	No
Village District Design Advisory Committee (VDDAC):	<input type="checkbox"/>	<input type="checkbox"/>
Architectural Review Board (ARB):	<input type="checkbox"/>	<input type="checkbox"/>
Western Connecticut Council of Governments (WestCOG):	<input type="checkbox"/>	<input type="checkbox"/>
South Norwalk Electric and Water Company (SNEW) Designated Public Watershed:	<input type="checkbox"/>	<input type="checkbox"/>
First Taxing District Water Department Designated Public Watershed:	<input type="checkbox"/>	<input type="checkbox"/>
State-Designated Aquifer Protection Area:	<input type="checkbox"/>	<input type="checkbox"/>
Adjoining Community Notification:	<input type="checkbox"/>	<input type="checkbox"/>

The Lake Club, Inc.

Application for Special Permit

Premises: 175 and 195 Thayer Pond Road, Wilton, Connecticut

Project Narrative

The Lake Club proposes to expand and resurface Court 1 to a hard court surface and in conjunction with, and as necessitated by, the proposed court expansion make some minor site changes such as new retaining walls and reconfigured walkways. The Lake Club is proposing the expansion of Court 1 so that it may continue to provide its membership with access to the outdoor racquet sports that are played recreationally and competitively in Fairfield County (i.e., Tennis, Paddle Tennis, and Pickleball). Court 1 is in the most interior portion of the Lake Club Premises¹ and is not illuminated. Once converted, Court 1 will continue to support multiple uses including junior tennis lessons and will be the only court on the Lake Club premises where pickleball will be played. Even with the proposed alterations and enhancements, the Lake Club will continue to operate in compliance with Wilton's Zoning Regulations including the provisions of Section 29-5.C.1 (Private Membership Recreation Clubs).

¹ The Lake Club initially reviewed resurfacing a double set of courts (Courts 2 & 3) but was mindful of the proximity of those courts to the neighbors on Thayer Pond Road and elected to study a modest expansion and resurfacing of Court 1 based on its location within the Premises.

WILTON PLANNING AND ZONING COMMISSION	FORM B - ZONING DATA
Include the following data on the required Site Development Plan, as well.	

175 & 195 Thayer Pond Road	15.795± acres
PROPERTY ADDRESS	LOT ACREAGE
R-2A	1,075'±
ZONING DISTRICT	LOT FRONTAGE

	PER ZONING REGS (MAX OR MIN ALLOWED)	EXISTING	PROPOSED	TOTAL
GROSS FLOOR AREA [SF]	-----	20,650 sf	-----	20,650 sf
BUILDING FOOTPRINT [SF]	-----	33,040 sf	-----	33,040 sf
BUILDING COVERAGE [SF/%] (round up)	10%	4.8%	-----	4.8%
BUILDING HEIGHT [FT - Story]	35'/2.5 stories	18'/1 story	-----	18'/1 story
FLOOR AREA RATIO (F.A.R.)	-----	-----	-----	-----
PARKING SPACES (round up)	See below	90	-----	90
LOADING SPACES	See below	4	-----	4
SITE COVERAGE [SF/%]	35%	21.9%	deminimus	21.9%

OFF-STREET PARKING AND LOADING CALCULATIONS

Please provide the specific calculation used to determine the minimum required off-street parking and loading spaces pursuant to the Zoning Regulations.

PARKING CALCULATION (Use separate page, if necessary)
As previously determined by the Planning and Zoning Commission
LOADING CALCULATION (Use separate page, if necessary)
As previously determinted by the Planning and Zoning Commission

PLAN OF CONSERVATION AND DEVELOPMENT

Please indicate on separate page how this proposal complies with the Plan of Conservation and Development.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein:

The Lake Club, Inc. by its Agent, Gregory and Adams, P.C.

APPLICANT'S SIGNATURE

3/22/2023
DATE

The Lake Club, Inc.

Application for Special Permit

Premises: 175 and 195 Thayer Pond Road, Wilton, Connecticut

Statement of Compliance with Plan of Conservation and Development

The above-referenced Premises are comprised of 15.8± acres of land that is zoned Residential Two Acre ("R-2A"). Private membership recreation clubs are permitted by special permit in an R-2A zone (reference being made to Section 29-5.A.3.b. of the zoning regulations). This use is compatible with the Town's Plan of Conservation and Development adopted September 23, 2019, effective October 1, 2019 (the "Town Plan"). The Town Plan states in Section 6.4 the desire to improve and maintain recreational facilities including acknowledging that "private recreation providers" are important in meeting the recreation needs of Wilton residents (reference being made to page 87 of the Town Plan). The Lake Club is one of a limited number of private recreation providers in Wilton..

NOTES:

1. This survey has been prepared in accordance with Sections 20-300a-1 thru 20-300a-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Topographic Survey conforming to Horizontal Accuracy Class A-2 and the location and elevations of which conform to Topographic Accuracy Class T-2. It is intended to depict locations and elevations of improvements and topographic features in designated area depicted hereon.
2. Reference is hereby made to the Deed of Record found in Vol. 79, Pg. 69 of the Wilton Land Records (W.L.R.).
3. Reference is made to Parcel C, Map 1864 & Maps 2755, 2920, 3142, & 3170 W.L.R.
4. Elevations depicted hereon are based on an assumed datum.
5. Reference is made to FEMA Flood Insurance Rate Map (FIRM) Panel No. 527 of 618, Map No. 50001003897, Effective date June 18, 2010. Subject area does not lie in Special Flood Hazard Area, it lies in Zone X.
6. Wetlands depicted hereon were field identified and flagged on 3/8/2022, 4/22/2022 & 10/11/2022 by Mary Joanne Soti Scientist and located by Redniss & Mead on 3/16/2022, 5/2/2022 & 11/01/2022.
7. Contours depicted hereon are one foot intervals.
8. Field Work as of 11/01/2022.



TOPOGRAPHIC SURVEY
DEPICTING
A PORTION OF
175 THAYER POND ROAD
WILTON, CT
PREPARED FOR
THE LAKE CLUB

Scale: 1"=30'

Drawn by: RLB Checked by: LMP Date: 01/30/2023

TS
CARRIERS



2	02/16/2023	REVISED TO REMOVE DUMPSTER & WALK RELOCATION
1	01/26/2023	ORIGINAL ISSUE DATE
No.	Date	Revision

SITE DEVELOPMENT PLAN
DEPICTING
SITE IMPROVEMENTS
WILTON, CT
PREPARED FOR
THE LAKE CLUB

SCALE: 0 20 40
1"=20'

DRAWN BY: FBS CHECKED BY: C.J.F.

REDNISS & MEAD
22 J. J. J. J.
CRAG J. FLUERTY CT. P.E. 21149
February 16, 2023
DATE

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any deduction herein null & void.

LAND SURVEYING
CIVIL ENGINEERING
PLANNING & ZONING CONSULTING
PERMITTING

22 First Street | Stamford, CT 06905
Tel: 203.317.0900 | Fax: 203.317.1118
www.rednissandmead.com

SHEET No:
SE-1
Comm. No: 10324

GENERAL NOTES:

1. These drawings are intended only to depict the design of site grading, paving, drainage and erosion controls. These drawings are for approval purposes only. No construction may begin prior to obtaining all necessary permits and approvals.

2. All survey data, boundary lines, topography, building locations and area calculations are from a survey prepared by Redniss & Mead, Inc. entitled Topographic Survey dated November 14, 2022. Elevation depicted or labeled are based on an assumed datum.

3. Refer to soils report prepared by Mary Juhling Soil Scientists for a description of site soils. There are wetland soil types on the property or within 100' of the property.

4. Property lies in a R-2 zone.

5. Reference is made to FEMA Flood Insurance Rate Map (FIRM) Panel No. 387 of 436, Map No. 09001C0877, effective date June 18, 2010. Subject area does not lie in Special Flood Hazard Area, it lies in Zone X.

6. All construction shall comply with the Town of Wilton requirements, the State of Connecticut Basic Building Code Americans with Disabilities Act (ADA), the Connecticut Guidelines for Soil and Erosion and Sediment Control, OSHA, and CT DOT Form 818 (latest edition).

7. All development activities to be undertaken within the street right-of-way and other public lands shall comply fully with Town standards unless approved deviation is specifically set forth as part of this application. All work within the State right-of-way will comply with the CT DOT Form 818 with the latest special Provisions and Typical State Standard Details.

8. Contractor shall supply complete shop drawings including manufacturer's product data sheets to the Site Engineer, for all construction material used in conjunction with these drawings. Contractor shall allow a 5 day review period, prior to fabrication and installation.

9. Information on existing utilities has been compiled from various sources including utility company records, municipal record maps and field survey and is not guaranteed to be correct or complete. The contractor is solely responsible for determining actual locations and elevations of all utilities including underground services.

10. The property is served by private well and septic system.

11. Prior to any excavation the Contractor and/or Applicant, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark-out of underground utilities. Dig test pit(s) at utility crossing(s) to check actual clearances with new utilities prior to construction. If conflicts are found the contractor shall notify the engineer, at which time the sewer in question shall be redesigned. If such redesign is not possible, the existing pipes or utilities shall be relocated to avoid the conflict. Such relocation shall be done with knowledge of and in accordance with the owner of the utility.

12. It shall be the responsibility of the contractor to provide any excavation safeguards, necessary barricades, flagmen, etc., for traffic control and site safety. All work shall be done in accordance with OSHA requirements. The contractor shall be responsible for compliance with OSHA requirements.

13. When preparing the existing site for the proposed development, all materials removed shall be disposed of in conformance with all governing agencies.

EARTHWORK & GRADING:

14. Earth slopes shall be no steeper than 2:1 (horz:vert).

15. Disturbed areas shall be topsoiled, seeded with grass and mulched in a manner conforming to the recommendations of the "Guidelines for Soil Erosion and Sediment Control", published by The Connecticut Council on Soil and Water Conservation, May 2002.

16. After the areas to be topsoiled have been brought to grade, the subgrade shall be loosened by scarifying to a depth of at least 2" to ensure bonding of the topsoil and subsoil.

17. Topsoil shall be friable and loamy with high organic content. It shall be free of debris, rocks larger than 2" and roots. Topsoil shall have at least 1.5 percent by weight of fine textured stable organic material and no greater than 6 percent. Topsoil shall not have less than 20% fine textured material (passing the No. 200 sieve) and not more than 15% clay. pH range shall be 6.0-7.5 and soluble salts shall not exceed 500ppm.

STORM SEWER SYSTEMS:

18. All pipe shall be installed straight and at the vertical and horizontal alignment shown. Pipes shall have a uniform slope as specified.

19. Minimum cover on all pipes shall be two feet (2') unless otherwise noted.

20. All storm pipe specified as Poly Vinyl Chloride Pipe (PVC) shall be SDR 35 with rubber gasketed joints and meet the requirements of ASTM D2034 and D2112.

21. All area drains shall have a two foot (2') sump with bell traps or 90° PVC elbows.

22. All crushed stone shall be Gradation No. 4 as per CT DOT Form 818, Article H01.02. Stone shall consist of sound, tough, durable particles free from soft, elongated, laminated, flinty, micaceous, or disintegrated pieces of mud, dirt or other deleterious material.

23. At the end of construction, after the site has been fully stabilized, all new and previously existing storm sewer facilities including, but not limited to, catch basins, area drains, manholes, junction boxes, flow control structures, pipes, oil/grease separators, permeable pavers and porous pavement shall be fully cleaned with equipment designed for that purpose to the satisfaction of the inspecting engineer.

CULTEC INFILTRATION SYSTEM:

24. There shall be a minimum of one foot (1') of crushed stone on the sides of the outer units.

25. There shall be 6" of 1/4" crushed stone below all units.

26. The infiltration systems are to remain disconnected until up gradient areas are fully stabilized.

27. The infiltration systems shall be a minimum of 12" above high groundwater and shall be a minimum of 10' from any footing drain.

28. Each gallery run to have observation ports as shown on plan.

29. Remove any topsoil and replace with select fill prior to installation of gallery.

30. All non-select fill on the downhill sides of galleries shall be a silty soil (Type SH, SC, or MH as per the Unified Soil Classification System). Native material can be used if it conforms to these requirements.

31. All existing fill material below the infiltration systems shall be removed and select fill shall be installed.

32. Select fill shall be a material with a percolation rate of 1" in 20 minutes or faster after compaction. It shall have no more than 5% fines passing the #200 sieve and no stones larger than 6" and less than 10% passing the #100 sieve and be approved by the inspecting engineer.

33. Contact the Design Engineer three (3) days prior to excavation for the galleries. During the excavation, the Design Engineer may revise the elevations of the galleries if field conditions dictate.

34. Maintenance of all onsite drainage facilities shall be the responsibility of the property owner.

PAVEMENT:

35. Areas of asphalt pavement that are disturbed by the construction of this project shall be replaced in accordance with the asphalt pavement repair detail. The finished grade of asphalt paving shall blend to existing grade and the edge of the concrete pavement smoothly with no slopes exceeding 4%.

36. Existing features such as but not limited to walks, curbs, and pavement damaged by construction activities shall be repaired at no additional cost to the owner.

37. Bituminous curbs damaged by the project shall be replaced with the new bituminous curbing machine laid Class 3 as described in Sections 8.15 and H04 of the CT DOT Form 818.

38. Saw cut perimeter of area to be excavated. Saw cut shall be straight and vertical.

39. Contractor is responsible to place the hot-mix asphalt mix as required in the drawings, details and the applicable Section of the CT DOT FORM 818 (latest edition).

40. Finished paving shall be free of "bird baths" and be smooth at the slopes specified on the plans.

41. Thickness of all layers shown are after compaction. Compact all layers to 95% per ASTM D 1557 (Modified Proctor Method).

42. New pavement markings shall be painted with epoxy paint in compliance with the CT DOT Form 818 Section 12.10 as revised.

SEDIMENT AND EROSION CONTROL NARRATIVE:

The purpose of the Sediment and Erosion Control Plan, details, and notes is to outline a program that minimizes soil erosion during construction. The primary policies of this program are:

a) Trapping particles at source by promptly stabilizing disturbed areas;

b) Avoid concentration of water;

c) Avoid contamination of existing storm drains;

d) Maintenance (weekly maintenance and after storm events) of controls to ensure they are functioning properly.

SEDIMENT AND EROSION CONTROL NOTES:

43. All sediment and erosion controls shall be done in conformance with the "Connecticut Guidelines for Soil Erosion and Sediment Control" dated May 2002 prepared by The Connecticut Council on Soil and Water Conservation.

44. The contractor is assigned the responsibility for implementing this sediment and erosion control plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan notifying the Zoning Department of any transfer of this responsibility, and Environmental Affairs Department that construction is to begin three (3) days prior to commencing work.

45. Temporary sediment control measures and tree protection must be installed in accordance with drawings and manufacturer recommendations prior to work in any upland areas.

46. No construction or construction equipment or storage of materials will be allowed on the downhill side of the site fence or within fenced off areas, except during construction of the proposed facilities shown beyond the fences.

47. Land disturbance shall be kept to a minimum. All disturbed area shall be planted in where permanent plantings are called for as soon as practicable. Seed and mulch disturbed areas with grass seed where permanent plantings are not called for, as soon as practicable. Prepare seedbed (4" thick minimum) with topsoil. Seed, rake, roll, water and mulch areas according to notes below. Water as often as necessary (up to 3 times per day) to establish cover. Mulch seeded areas at 1 to 2 tons/acre with salt hay. Maintain mulch and watering until grass is 3" high with 85% cover. Reseed or overseed if necessary.

Temporary Seed Mix:

Perennial ryegrass 40 lbs/ac (1 lb/1000 sq ft)

Permanent Lawns:

Kentucky Bluegrass 20 lbs/ac

Crested Red Fescue 20 lbs/ac

Perennial Ryegrass 5 lbs/ac

48. Optimum Seeding Dates:

April 15 through June 15

August 15 through October 1

49. Affected portions of off site roads and sidewalks must be swept clean when required to keep down dust and prevent safety hazards or at least once a week during construction and as directed by Site Engineer.

50. Additional sediment and erosion control measures may be installed during the construction period if found necessary by the inspecting engineer or any Governing Agency.

51. All permanent and temporary sediment control devices will be maintained in effective condition throughout the construction period until upland disturbed areas are thoroughly stabilized. Upon completion of work and stabilization of all upland areas, all temporary sediment control devices and tree protection should be removed from the site and any silt disposed of legally.

BITUMINOUS CONCRETE SIDEWALK N.T.S.

ASPHALT TRENCH REPAIR N.T.S.

FABRIC & POST SILTATION BARRIER (SILT FENCE) N.T.S.

SPLASH PAD N.T.S.

STONE RETAINING WALL N.T.S.

TREE PROTECTION (SHOWING ACCEPTABLE TYPES OF FENCING) N.T.S.

NOTES & DETAILS

DEPICTING

SITE IMPROVEMENTS

WILTON, CT

PREPARED FOR

THE LAKE CLUB

REDNISS & MEAD

LAND SURVEYING

CIVIL ENGINEERING

PLANNING & ZONING CONSULTING

PERMITTING

22 First Street | Stamford, CT 06905

Tel: 203.357.0000 | Fax: 203.357.1118

www.rednissmead.com

Scale: N.T.S.

Drawn By: FBS

Checked By: CJF

Craig J. Flaherty, P.E. 21149

February 16, 2023

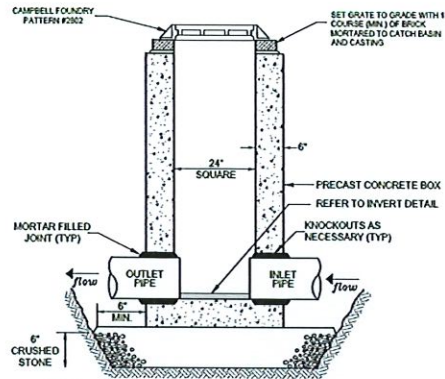
DATE

This document and notes thereof are valid only if they bear the signature and seal of the duly licensed professional. Unauthorized disclosure renders any deduction herein null and void.

SHEET No.

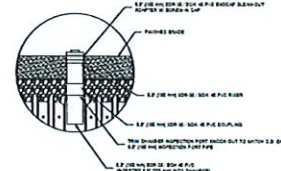
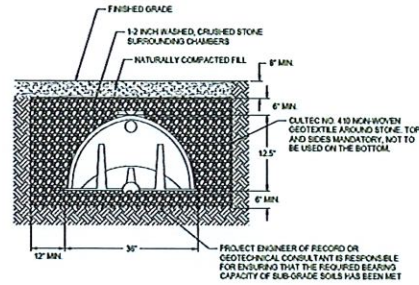
SE-2

Comm. No: 10324

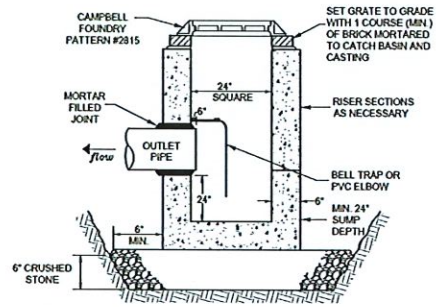
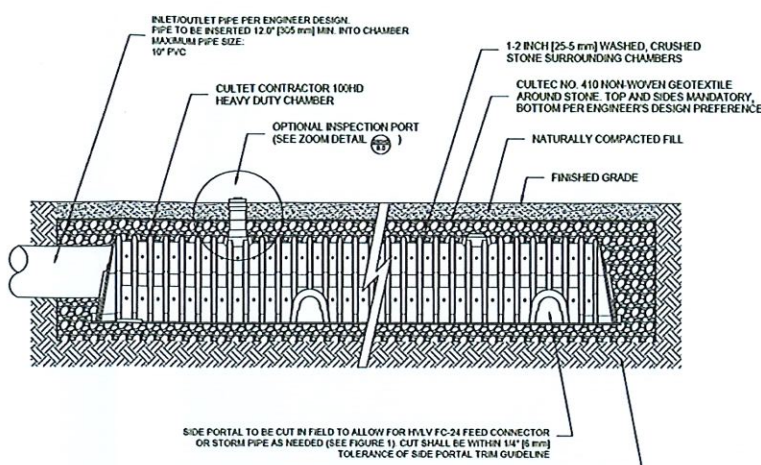


- NOTES:
1. ALL COMPONENTS TO BE PRE-CAST REINFORCED CONCRETE, ABLE TO WITHSTAND THE APPLIED EARTH LOADS OF AN H-20 TRUCK LOAD.
 2. ALL JOINTS TO BE MORTARED.
 3. JUNCTION BOXES SHALL CONFORM TO ASTM C478.
 4. ALL CRUSHED STONE SHALL BE GRADATION NO. 4 AS PER C.D.T. FORM 818, ARTICLE M.01.01. STONE SHALL CONSIST OF SOUND, TOUGH, DURABLE PARTICLES FREE FROM SOFT, THIN, ELONGATED, LAMINATED, FRAGILE, IMACEOUS OR DISINTEGRATED PIECES, MUD, DIRT OR OTHER DELETERIOUS MATERIAL.

JUNCTION BOX
N.T.S.

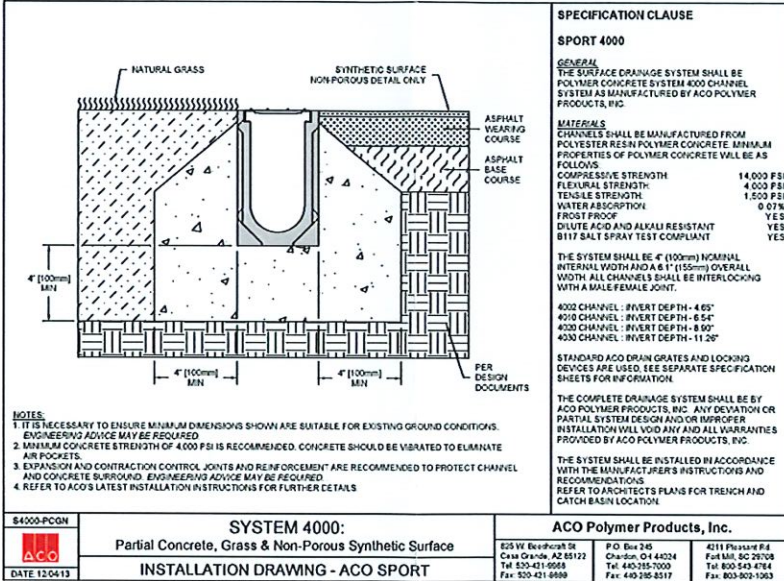


CULTEC 100HD DETAIL
N.T.S.

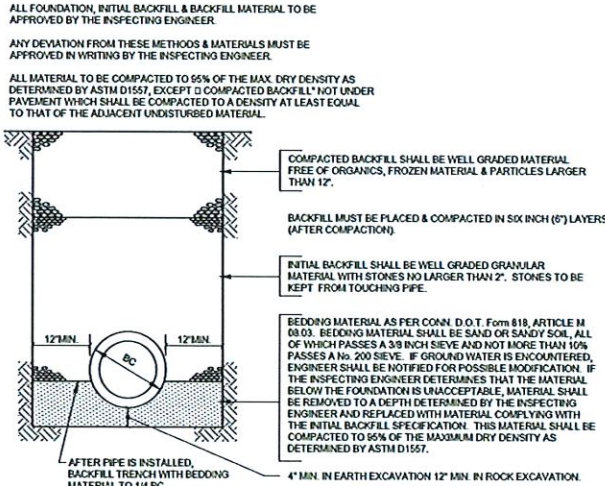


- NOTES:
1. ALL CATCH BASIN COMPONENTS TO BE PRE-CAST REINFORCED CONCRETE, ABLE TO WITHSTAND THE APPLIED EARTH LOADS WITH AN H-20 TRUCK LOAD.
 2. ALL JOINTS TO BE MORTARED.
 3. AREA DRAIN SHALL CONFORM TO ASTM C478.
 4. ALL CRUSHED STONE SHALL BE GRADATION NO. 4 AS PER C.D.T. FORM 818, ARTICLE M.01.01. STONE SHALL CONSIST OF SOUND, TOUGH, DURABLE PARTICLES FREE FROM SOFT, THIN, ELONGATED, LAMINATED, FRAGILE, IMACEOUS OR DISINTEGRATED PIECES, MUD, DIRT OR OTHER DELETERIOUS MATERIAL.

24" AREA DRAIN
N.T.S.



ACO SYSTEM 4000 DRAIN
N.T.S.



PVC/RCP PIPE TRENCH BEDDING DETAIL
(48" DIA. & UNDER)
N.T.S.

2	02/16/2023	REVISED TO REMOVE EXISTING & WALK RELOCATION
1	01/26/2023	ORIGINAL ISSUE DATE
No.	Date	Revision

NOTES & DETAILS
DEPICTING
SITE IMPROVEMENTS
WILTON, CT
PREPARED FOR
THE LAKE CLUB

REDNISS & MEAD
LAND SURVEYING
CIVIL ENGINEERING
PLANNING & ZONING CONSULTING
PERMITTING

22 First Street | Stamford, CT 06903
Tel: 203.337.0600 | Fax: 203.337.1118
www.rednissandmead.com

SCALE: N.T.S.
DRAWN BY: FBS
CHECKED BY: C.J.F.
DATE: February 16, 2023
SHEET No: SE-3
Comm. No: 10324

Drainage Statement**The Lake Club****January 26, 2023****Revised: February 22, 2023**

The Lake Club, the owner of 175 Thayer Pond Road, is proposing to resurface and enlarge an existing Har-Tru Court with a paved hard-court surface. The proposed improvements shift the court eight feet to the south and widen it by six feet to the west. The surrounding walks are reconfigured.

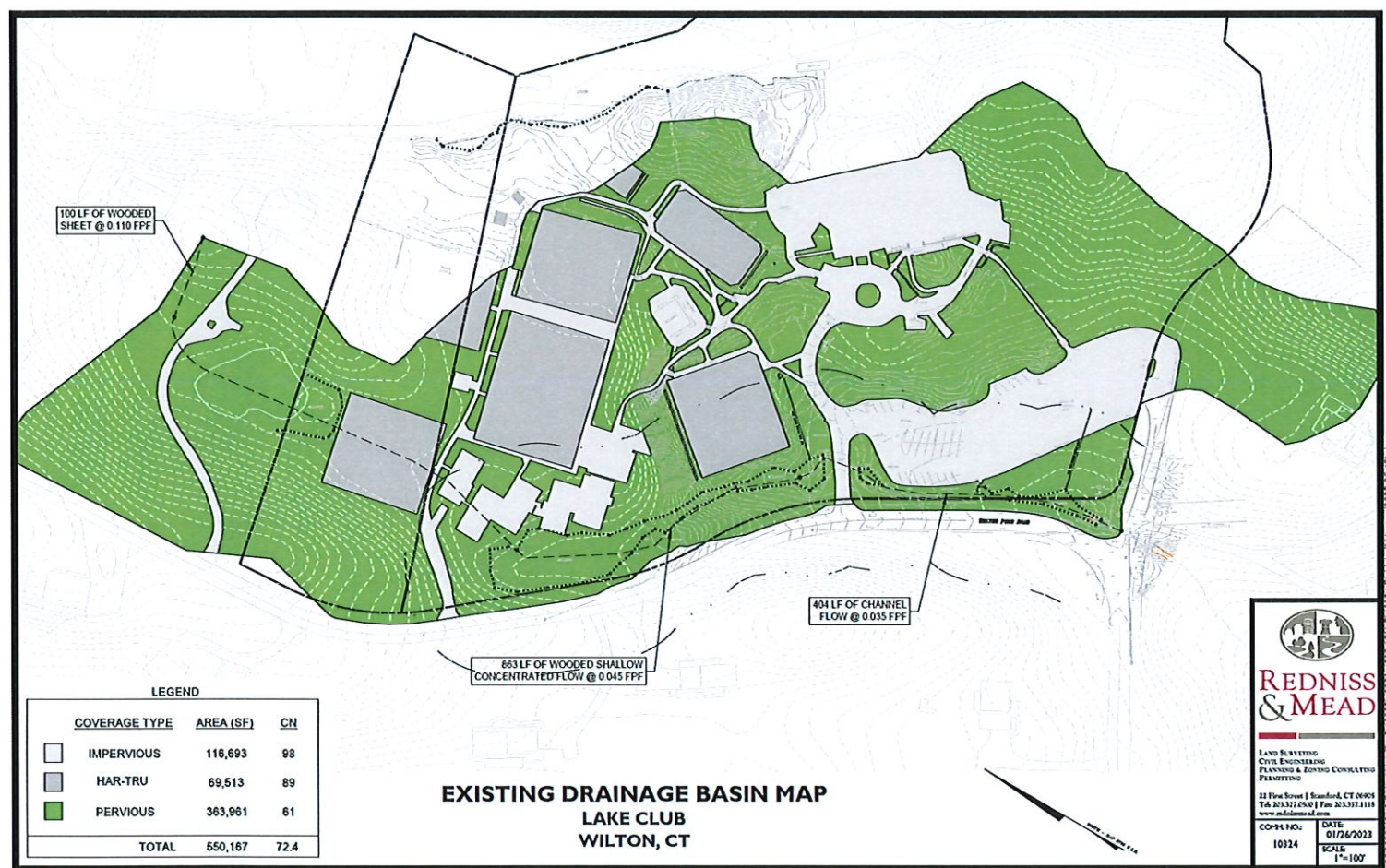
The Lake Club property at 175 Thayer Pond Road is 13.34± acres and lies within an R-2A Zone. The property is located along the eastern side of Thayer Pond Road, approximately 1,000' south of its intersection with Parting Brook Road.

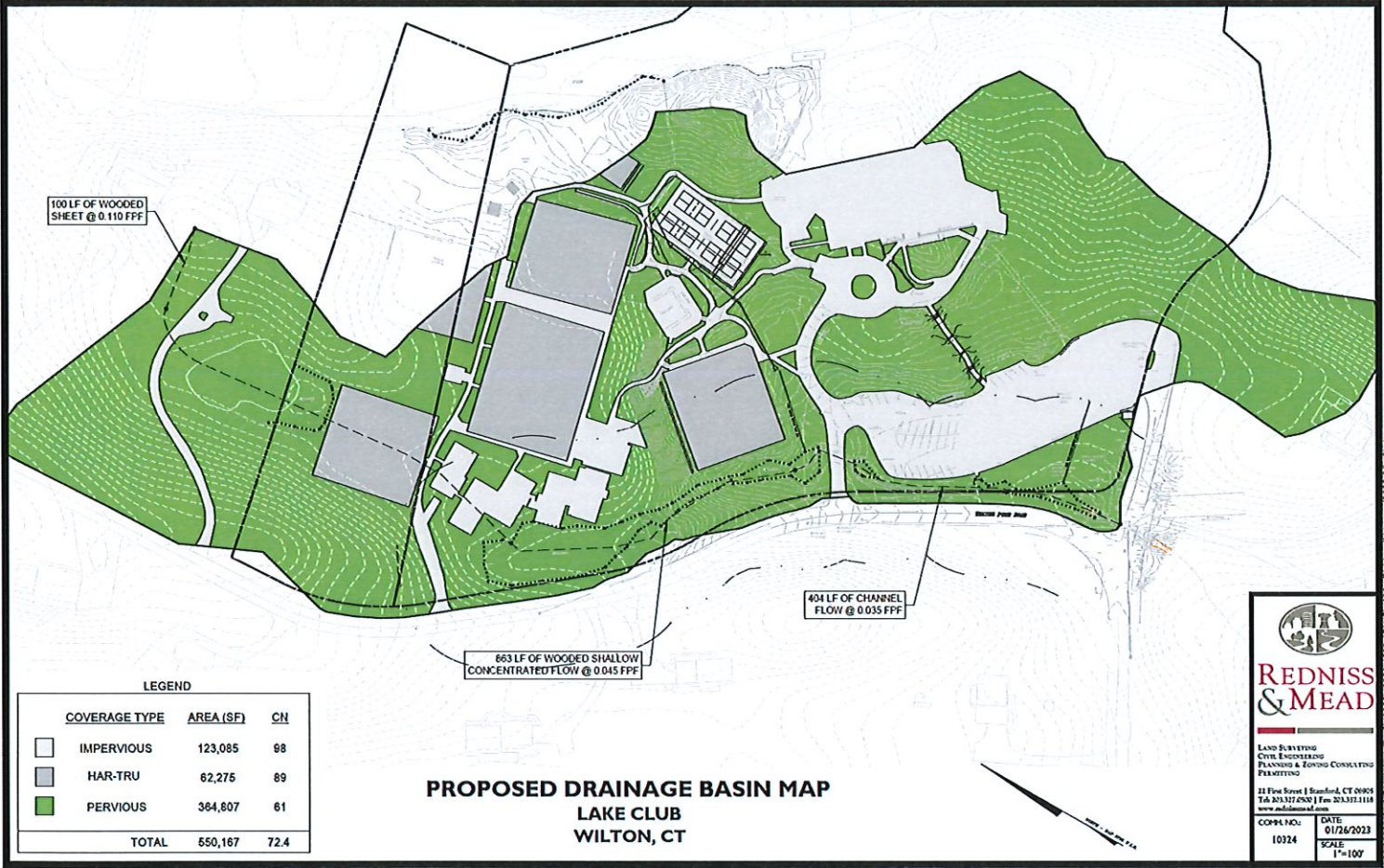
The subject area of the site is not located in a Special Flood Hazard Area as depicted on the Federal Emergency Management Agency – Flood Insurance Map Community No. 090020 Panel 387 Suffix G, effective date July 18, 2010. Wetland soils were identified by Mary Jaehnig Soil Scientist and located by Redniss & Mead, Inc. No work is proposed within 100' of a wetland or watercourse. The site is served by private well and septic system.

The site is currently developed with a private club featuring multiple structures, a swimming pool, paddle and tennis courts and surface parking. Most of the developed site currently flows to the southwest corner of the property into a small tributary of Parting Brook. A 12.6± acre basin tributary to the culvert in the southwest corner of the site was studied. Under proposed conditions the same drainage patterns are maintained.

This drainage analysis includes minor site alterations which were previously approved administratively. The cumulative proposed improvements result in an increase in pervious coverage of 846 square feet. The resurfacing of the Har-Tru court converts 7,238 square foot of existing court from a curve number of 89 to 98. However, an analysis was performed on the studied basin that determined the proposed improvements result in no net change in curve number for the basin (CN=72.4). Included herewith are Existing and Proposed Drainage Basin Maps and a HydroCAD Report. Given that the curve number remains unchanged, there are no increases in peak flow rates generated by the site. Even so, an infiltration system consisting of 108 LF of Cultec 100HD units was designed to capture the Water Quality Volume from half of the resurfaced court. If constructed according to the design plans, this project will generate no additional runoff and have no adverse impacts to on-site or downstream hydrology.


Craig J. Flaherty, P.E.
CT Lic. No. 21149







Existing



Proposed



Summary for Subcatchment EX: Existing

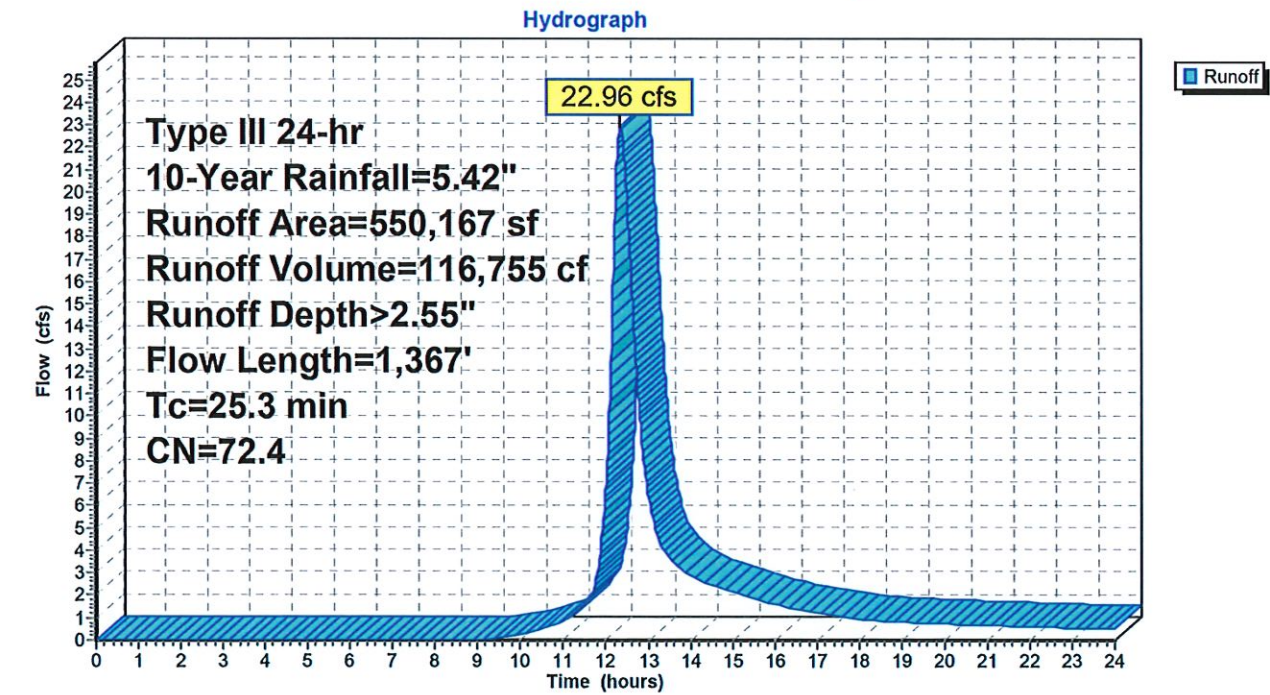
Runoff = 22.96 cfs @ 12.35 hrs, Volume= 116,755 cf, Depth> 2.55"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.0100 hrs
Type III 24-hr 10-Year Rainfall=5.42"

	Area (sf)	CN	Description
*	116,693	98.0	Impervious
*	363,961	61.0	Pervious, HSG B
*	69,513	89.0	Hard Tru
	550,167	72.4	Weighted Average
	433,474		78.79% Pervious Area
	116,693		21.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.5	100	0.1100	0.16		Sheet Flow, 100 LF of Wooded Sheet Woods: Light underbrush n= 0.400 P2= 3.40"
13.6	863	0.0450	1.06		Shallow Concentrated Flow, 863 LF of Woody SCF Woodland Kv= 5.0 fps
1.2	404	0.0350	5.74	34.45	Channel Flow, 404 LF of Channel Flow Area= 6.0 sf Perim= 12.3' r= 0.49' n= 0.030 Earth, grassed & winding
25.3	1,367	Total			

Subcatchment EX: Existing



Summary for Subcatchment PR: Proposed

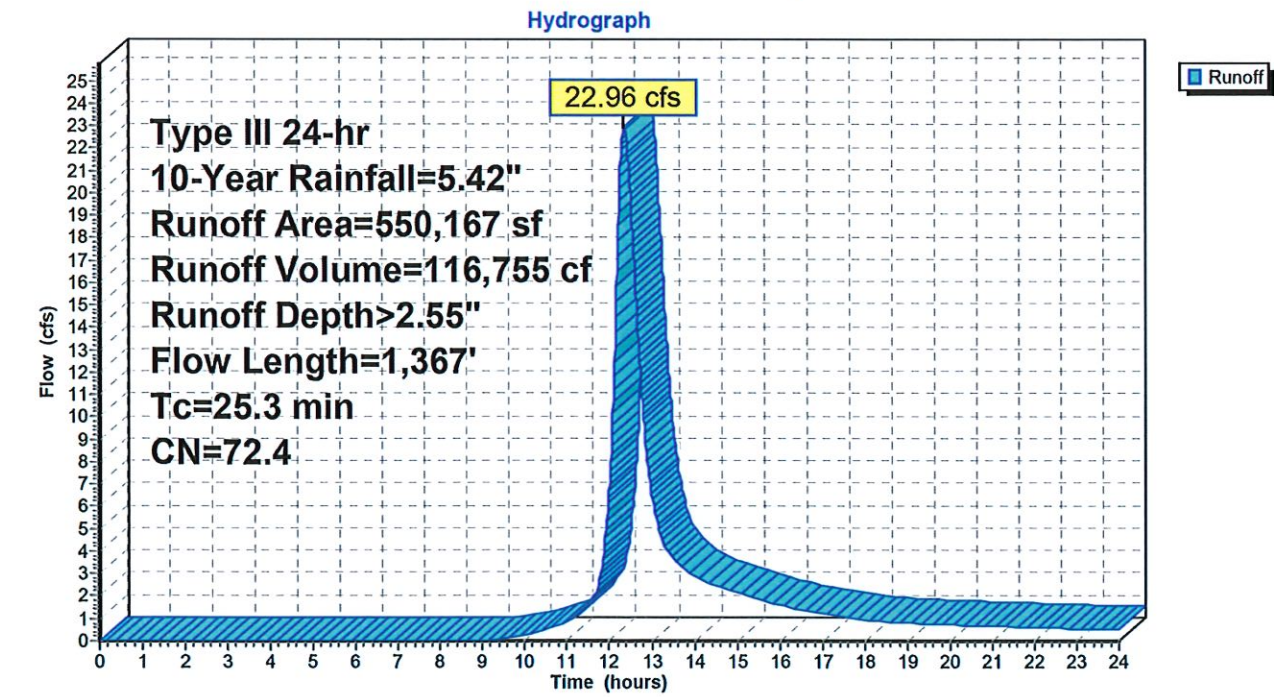
Runoff = 22.96 cfs @ 12.35 hrs, Volume= 116,755 cf, Depth> 2.55"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.0100 hrs
Type III 24-hr 10-Year Rainfall=5.42"

	Area (sf)	CN	Description
*	123,085	98.0	Impervious
*	364,807	61.0	Pervious, HSG B
*	62,275	89.0	Hard Tru
	550,167	72.4	Weighted Average
	427,082		77.63% Pervious Area
	123,085		22.37% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.5	100	0.1100	0.16		Sheet Flow, 100 LF of Wooded Sheet Woods: Light underbrush n= 0.400 P2= 3.40"
13.6	863	0.0450	1.06		Shallow Concentrated Flow, 863 LF of Woody SCF Woodland Kv= 5.0 fps
1.2	404	0.0350	5.74	34.45	Channel Flow, 404 LF of Channel Flow Area= 6.0 sf Perim= 12.3' r= 0.49' n= 0.030 Earth, grassed & winding
25.3	1,367	Total			

Subcatchment PR: Proposed



Summary for Subcatchment EX: Existing

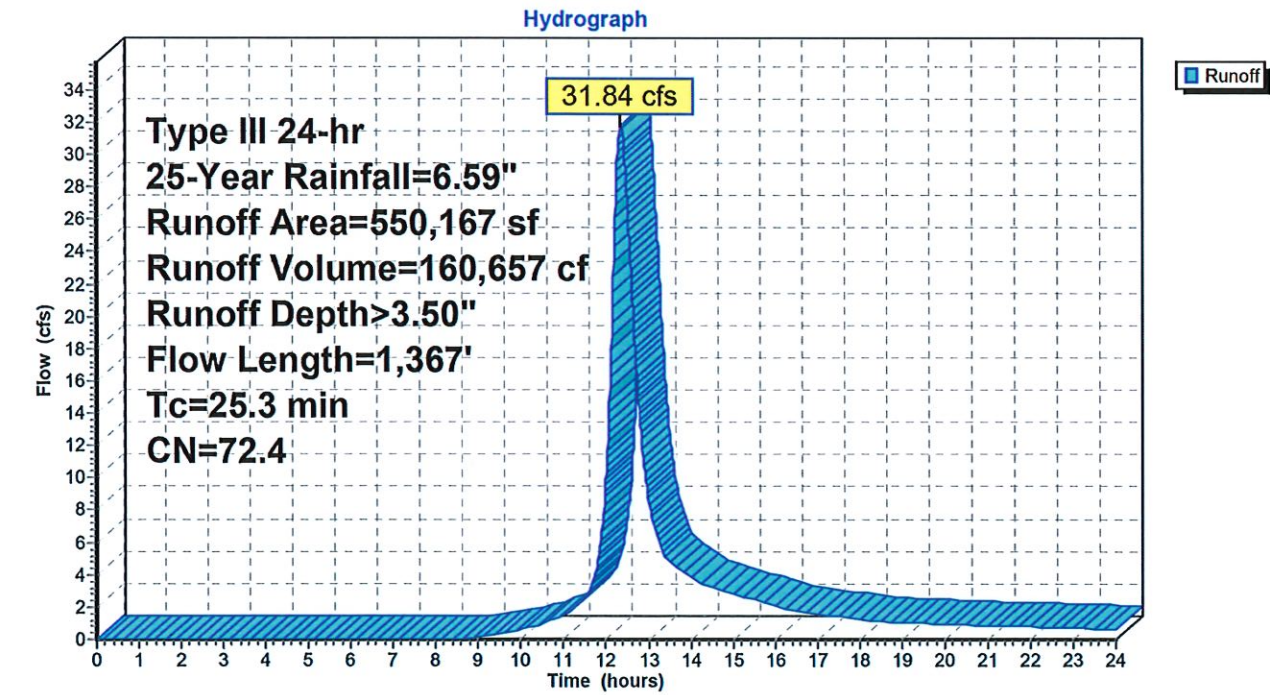
Runoff = 31.84 cfs @ 12.34 hrs, Volume= 160,657 cf, Depth> 3.50"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.0100 hrs
Type III 24-hr 25-Year Rainfall=6.59"

	Area (sf)	CN	Description
*	116,693	98.0	Impervious
*	363,961	61.0	Pervious, HSG B
*	69,513	89.0	Hard Tru
	550,167	72.4	Weighted Average
	433,474		78.79% Pervious Area
	116,693		21.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.5	100	0.1100	0.16		Sheet Flow, 100 LF of Wooded Sheet
13.6	863	0.0450	1.06		Woods: Light underbrush n= 0.400 P2= 3.40"
					Shallow Concentrated Flow, 863 LF of Woody SCF
					Woodland Kv= 5.0 fps
1.2	404	0.0350	5.74	34.45	Channel Flow, 404 LF of Channel Flow
					Area= 6.0 sf Perim= 12.3' r= 0.49'
					n= 0.030 Earth, grassed & winding
25.3	1,367	Total			

Subcatchment EX: Existing



Summary for Subcatchment PR: Proposed

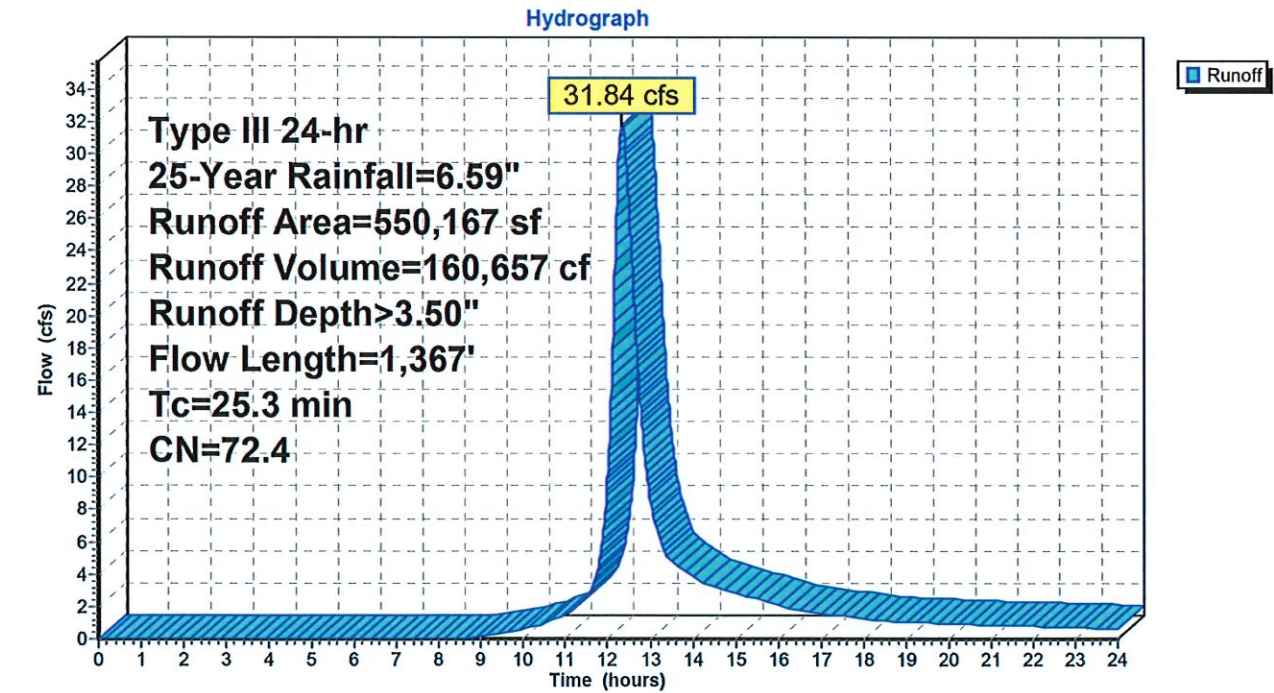
Runoff = 31.84 cfs @ 12.34 hrs, Volume= 160,657 cf, Depth> 3.50"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.0100 hrs
Type III 24-hr 25-Year Rainfall=6.59"

	Area (sf)	CN	Description
*	123,085	98.0	Impervious
*	364,807	61.0	Pervious, HSG B
*	62,275	89.0	Hard Tru
	550,167	72.4	Weighted Average
	427,082		77.63% Pervious Area
	123,085		22.37% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.5	100	0.1100	0.16		Sheet Flow, 100 LF of Wooded Sheet Woods: Light underbrush n= 0.400 P2= 3.40"
13.6	863	0.0450	1.06		Shallow Concentrated Flow, 863 LF of Woody SCF Woodland Kv= 5.0 fps
1.2	404	0.0350	5.74	34.45	Channel Flow, 404 LF of Channel Flow Area= 6.0 sf Perim= 12.3' r= 0.49' n= 0.030 Earth, grassed & winding
25.3	1,367	Total			

Subcatchment PR: Proposed



March 10, 2022

Wetland Delineation Report

Portion of the Lake Club
Thayer Pond Road
Wilton, Connecticut

Introduction:

A wetland delineation was conducted along the intermittent watercourse that flows parallel to Thayer Pond Road on the Lake Club property. The flagging was done on March 8, 2022 by Mary Jaehnig, soil scientist.

The intermittent watercourse and associated wetlands were flagged in the field using chronologically labeled pink ribbon from 1 to 15 and area B as well as area C, 1-13. The watercourse exits the parcel under the driveway adjacent to the road in the southwestern corner of the site.

The Inland Wetlands and Watercourses Act (Connecticut General Statutes 22a-38) defines inland wetlands as “land...which consists of any soil types designated as poorly drained, very poorly drained, alluvial, and floodplain.” Watercourses are defined in the act as “rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs and all other bodies of water, natural or artificial, vernal or intermittent, public or private, which are contained within, flow through or border upon the state or any portion thereof.” The act defines intermittent watercourses as having a defined permanent channel and bank and the occurrence of two or more of the following characteristics: A) evidence of scour or deposits of recent alluvium or detritus, B) the presence of standing or flowing water for a duration longer than a particular storm incident, and C) the presence of hydrophytic vegetation.

Soils:

Soil samples were obtained using an auger. Features noted include color, texture and depth to wetland indicators. Soils were classified according to guidelines established by the USDA NRCS.

The upland soils adjacent to the watercourse and wetlands consist of Urban land in the area of the road and parking areas and Charlton-Chatfield complex, very rocky in the undisturbed areas.

PFIZER – JÄHNIG
ENVIRONMENTAL CONSULTING

Charlton-Chatfield complex, very rocky consists of the deep and well drained Charlton loam and the somewhat deep and well drained Chatfield loam in an undulating landscape with stones and boulders.

The depth to bedrock in Charlton loam usually exceeds 5 feet below grade and averages 20 to 40 inches below grade in Chatfield loam. The water table usually exceeds 6 feet below grade in both loams.

The wetland soil is Ridgebury, Leicester and Whitman, extremely stony loams. This unit is deep, poorly and very poorly drained with stones and boulders covering much of the surface. The water table is located close to the surface from fall into early spring.

The watercourse begins in wetland 'C' and the wetland is undisturbed and vegetated. Flow frequently ponds north of the accessway before being piped to area 'B'. Area B collects flow and functions as a detention area. Flow resumes in area 'C' with a contribution of stormwater runoff from paved areas of the site. The channel has been excavated and deepened and is piped beneath the southernmost accessway before leaving the site.

Submitted by,



Mary Jaehnig

April 23, 2022

Wetland Delineation Report

Northern portion of the Lake Club
Wilton, Connecticut

Introduction:

Additional wetland areas were delineated in the northern portion of the Lake Club on April 22, 2022 by Mary Jaehnig, soil scientist. The areas include the southern edge of a pocket wetland along the northern property line, flagged E1 to E 10 and the northern portion of a wetland that descends to the south and is part of the already flagged 'C' wetland. This wetland was flagged D.

The Inland Wetlands and Watercourses Act (Connecticut General Statutes 22a-38) defines inland wetlands as “land...which consists of any soil types designated as poorly drained, very poorly drained, alluvial, and floodplain.” Watercourses are defined in the act as “rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs and all other bodies of water, natural or artificial, vernal or intermittent, public or private, which are contained within, flow through or border upon the state or any portion thereof.” The act defines intermittent watercourses as having a defined permanent channel and bank and the occurrence of two or more of the following characteristics: A) evidence of scour or deposits of recent alluvium or detritus, B) the presence of standing or flowing water for a duration longer than a particular storm incident, and C) the presence of hydrophytic vegetation.

Soils:

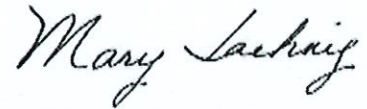
Soil samples were obtained using an auger. Features noted include color, texture and depth to wetland indicators. Soils were classified according to guidelines established by the USDA NRCS.

The upland soil is the Charlton-Chatfield complex, very rocky. This unit consists of the deep and well drained Charlton loam with the somewhat deep and well drained Chatfield loam in a landscape with stones and boulders.

PFIZER – JÄHNIG
ENVIRONMENTAL CONSULTING

The wetland soil is Ridgebury, Leicester and Whitman, extremely stony.
This unit is deep, poorly and very poorly drained and formed in glacial till.
Stones and boulders cover much of the surface.

Submitted by,



Mary Jaehnig

GREGORY AND ADAMS, P.C.

ATTORNEYS AT LAW
190 OLD RIDGEFIELD ROAD
WILTON, CT 06897
(203) 762-9000
FAX: (203) 834-1628

ESTABLISHED 1964

NEW YORK OFFICE:
399 KNOLLWOOD ROAD - SUITE 201
WHITE PLAINS, NY 10603
(914) 848-5000

WWW.GREGORYANDADAMS.COM

JULIAN A. GREGORY
(1912 - 2002)

THOMAS T. ADAMS
(1929 - 2015)

PLEASE REPLY TO SENDER:
KATHLEEN L. ROYLE
DIRECT DIAL: 203-571-6319
kroyle@gregoryandadams.com

PAUL H. BURNHAM
DANIEL L. CONANT*
TREVOR CONLOW§
SUSAN L. GOLDMAN
J. VANCE HANCOCK
J. CASEY HEALY
MICHAEL LAMAGNA*
DERREL M. MASON*
MATTHEW C. MASON*
JAMES D'ALTON MURPHY*
KATHLEEN L. ROYLE *
RALPH E. SLATER
ROGER R. VALKENBURGH *

* ALSO ADMITTED IN NEW YORK
* ALSO ADMITTED IN VERMONT
§ ADMITTED IN NY AND NJ ONLY

March 6, 2023

Via Email and Hand Delivery

Planning and Zoning Commission
Town Hall Annex
238 Danbury Road
Wilton, CT 06897

Attn: Mr. Michael E. Wrinn – Director of Planning and Land Use Management

Re: The Lake Club Inc. – Application for Special Permit
Premises: 175 and 195 Thayer Pond Road, Wilton, CT

Dear Mr. Chairman and Members of the Commission:

Set forth below is The Lake Club Inc.'s ("Lake Club") Environmental Impact Statement in satisfaction of the requirements of Section 29-10.A.5 of the Zoning Regulations of the Town of Wilton (the "**Regulations**"):

a. Compatibility with Town's Plan of Development

The above-referenced Premises are comprised of 15.8± acres of land that is zoned Residential Two Acre ("R-2A"). Private membership recreation clubs are permitted by special permit in an R-2A zone (reference being made to Section 29-5.A.3.b. of the zoning regulations). This use is compatible with the Town's Plan of Conservation and Development adopted September 23, 2019, effective October 1, 2019 (the "Town Plan"). The Town Plan states in Section 6.4 the desire to improve and maintain recreational facilities including acknowledging that "private recreation providers" are important in meeting the recreation needs of Wilton residents (reference being made to page 87 of the Town Plan). The Lake Club is one of a limited number of private recreation providers in Wilton.

b. Sensitive Environmental Features

No sensitive environmental features will be disturbed by the proposed site changes and enhancements.

c. Impact on Water, Sewer and Storm Drainage Systems of the Town

The premises are serviced by private well and septic system. There will be no impacts to the Town storm drainage systems.

d. Traffic Impact

There will be no traffic impact from the proposed site changes.

e. Impact on Town Services

There will be no impact on Town services by the proposed site changes.

f. Alternatives to mitigate adverse impacts

There are no adverse impacts that need to be mitigated by the proposed site changes.

If you have any questions, please contact me.

Respectfully submitted,
Gregory and Adams, P.C.

By: Kathleen L. Royle
Kathleen L. Royle

/klr

GREGORY AND ADAMS, P.C.

PAUL H. BURNHAM
DANIEL L. CONANT*
TREVOR CONLOW§
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DIRECT DIAL: 203-571-6319
kroyle@gregoryandadams.com

* ALSO ADMITTED IN NEW YORK
§ ALSO ADMITTED IN VERMONT
§ ADMITTED IN NY AND NJ ONLY

February 27, 2023

Planning and Zoning Commission
Town Hall Annex
238 Danbury Road
Wilton, CT 06897

Re: The Lake Club, Inc. – Land Use Applications to the Town of Wilton
Premises: 175 and 195 Thayer Pond Road, Wilton, CT

Dear Members of the Commission:

As attorneys for The Lake Club, Inc., we hereby certify that: title to the properties located at 175 and 195 Thayer Pond Road are vested in The Lake Club, Inc. by virtue of the following:

- 1) Warranty Deed from Parting-Brook Homes, Incorporated dated March 17, 1959 and recorded in Volume 79 of the Wilton Land Records at Page 69; and
- 2) Warranty Deed from Thayer Lake Corp. dated July 8, 1969 and recorded in Volume 141 of the Wilton Land Records at Page 414.

Copies of the Deeds are enclosed.

Very truly yours,
GREGORY AND ADAMS, P.C.

By: 
Kathleen L. Royle

KLR/ko
Enclosure

Form 173 (Revised) WARRANTY DEED.

TUTORIALS ARE STATED IN THE OFFICE
Tutoring can be in the following manner:

To all People to Whom these Presents shall Come Greeting:

Know Ye, That PARTING-BROOK HOMES, INCORPORATED, a Connecticut corporation organized and existing under and by virtue of the statute laws of the State of Connecticut and having its principal place of business in the Town of Norwalk, County of Fairfield and State of Connecticut, acting herein by CHARLES H. PRICE, its President, and PAUL BLITZ, ITS Treasurer, herunto duly authorized

for the consideration of ONE DOLLAR (\$1.00) and other valuable consideration

received to its full satisfaction of THE LAKE CLUB, INC., a Connecticut non-stock corporation organized and existing under the laws of the State of Connecticut

does give, grant, bargain, sell and confirm unto the said THE LAKE CLUB, INC.

ALL THAT CERTAIN tract or parcel of land situated in the Town of Wilton, County of Fairfield and State of Connecticut, shown and designated as Parcel "C" on that certain map entitled, "Map Prepared for Parting Brook Homes Wilton, Connecticut Scale 1" = 100'" Certified "Substantially Correct" Henry P. Henriol, Land Surveyor, Henriol Associates New Canaan, Conn. Feb. 3, 1959 Revised Feb. 16, 1959 Henry P. Henriol, said map being on file in the Office of the Town Clerk of the Town of Wilton under File No. 1864, reference being had to said map for a more particular description of said Parcel "C".

Said premises are conveyed together with the right to use the entire confines of Thayer Pond ~~for swimming purposes~~ in common with others to whom a similar right may be granted.

Said premises are further conveyed together with a right to pass and repass over Thayer Pond Road, as shown on said map, the "Proposed Road" projecting easterly from Thayer Pond Road and bounding the southwesterly corner of Parcel "C", Parcel "L", Parcel "K", Parcel "J", Parcel "M", Parcel "N" and Parting Brook Road, all as shown on said map, in common with others, for all lawful purposes.

Said premises are conveyed free and clear of all encumbrances whatsoever, except:

1. Zoning and planning rules and regulations of the Town of Wilton.
2. Taxes of the Town of Wilton next becoming due and payable.
3. Easements of record.
4. Riparian rights of others in and to Thayer Pond, as shown on said map.
5. The rights of others to whom portions of Thayer Pond may be granted, to use the entire water surface thereof.
6. A restriction which shall be a covenant running with the land prohibiting the use of motor boats on any portion of Thayer Pond, as shown on said map, which restriction shall pertain to the entire confines of said Thayer Pond and which restriction shall be incorporated in deeds to subsequent purchasers of any property within the confines of said Thayer Pond.

* Said Thayer Pond Road is in the Town of New Canaan as is part of the projection therefrom.

The grant of the right to pass and repass over the "Proposed Road" as above described shall pertain to so much thereof of said "Proposed Road" as may be owned by the grantor herein.



U.S.I.R.
Stamps
\$36.85

To Have and to Hold the above granted and bargained premises, with the appurtenances thereof, unto ~~it~~ the said grantee ~~its~~ ~~successors~~ and assigns forever, to ~~them~~ And their own proper use and behoof.

And also, ~~it~~ the said grantor does for ~~itself~~, its ~~successors~~ and assigns, covenant with the said grantee ~~its~~ ~~successors~~, ~~that~~ and assigns, that at and until the enrolling of these presents, ~~it is~~

well seized of the premises, as a good indefeasible estate in FREE SIMPLE; and has good right to bargain and sell the same in manner and form as is above written; and that the same is free from all incumbrances whatsoever, except as hereinbefore mentioned.

And Furthermore, ~~it~~ the said grantor does by these presents bind ~~itself~~ and ~~its~~ ~~successors~~ and assigns forever to WARRANT AND DEFEND the above granted and bargained premises to ~~it~~ the said grantee ~~its~~ ~~successors~~, ~~that~~ and assigns, against all claims and demands whatsoever, except as hereinbefore mentioned.

IN WITNESS WHEREOF, PARTING-BROOK HOMES, INCORPORATED has caused these presents to be signed in its corporate name by CHARLES H. PRICE, its President, and PAUL BLITZ, its Treasurer, authorized as aforesaid and its corporate seal to be hereunto affixed

~~Witness my hand and seal this~~ ~~17th~~ day of March In the year of our Lord nineteen hundred and ~~fifty-nine~~.

Signed, Sealed and Delivered in presence of PARTING-BROOK HOMES, INCORPORATED

Max R. Lepofsky
Max R. Lepofsky
Charles H. Price
Charles H. Price, President
Paul Blitz
Paul Blitz, Treasurer

State of Connecticut,
County of Fairfield

SS. Norwalk

March 7, A.D. 1959

Personally Appeared PARTING-BROOK HOMES, INCORPORATED by CHARLES R. PRICE, its President, and PAUL BLITZ, its Treasurer

Signers and Sealers of the foregoing Instrument, and acknowledged the same to be their free act and deed and the free act and deed of said corporation before me.

MAX R. LEPOFSKY

Notary Public
in and for the State of Connecticut
Commissioner of the Superior Court

Received April 21, 1959 At 3:24 P.M. Edith R. Gregory
Attest: Town Clerk

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME, GREETING:

KNOW YE, that CHICHESTER ESTATES, INCORPORATED, a Connecticut corporation having its principal place of business in the Town of New Canaan, County of Fairfield and State of Connecticut, acting herein by ROBERT G. ROLES, its President, hereunto duly authorized, for the consideration of One Dollar (\$1.00) and other value, received to its full satisfaction of THE LAKE CLUB, INC., a Connecticut non-profit corporation having its principal office in the Town of Wilton, County and State aforesaid, DOES GIVE, GRANT, BARGAIN, SELL AND CONFIRM unto the said THE LAKE CLUB, INC., its successors and assigns, a perpetual right of way or easement through, over and across a certain parcel of land situated in the Town of Wilton, County of Fairfield and State of Connecticut and bounded and described as follows:

A strip of land fifty (50) feet in horizontal width, extending Easterly from the New Canaan-Wilton town line to and along the Southernly boundary line and along the Westernly boundary line of a certain piece of land designated as "Parcel 'G' 11.007 AC. Area To Be Conveyed To The Lake Club Inc." as shown and delineated on a certain map entitled "Map Prepared For Parting-Brook Homes Wilton, Connecticut" certified "Substantially Correct" Henry F. Heinrich, Land Surveyor New Canaan, Conn. Feb. 3, 1959, which map is on file in the office of the Town Clerk of the Town of Wilton as Map No. 1864, and thereon designated "Proposed Road" and "Parcel 'L' 1.5 AC."

The said right of way is conveyed subject to the following terms and conditions:

148 - WARRANTY DEED

Executive Sales Co., Philadelphia, Pa.

To all People to Whom these Presents shall Come Greeting

Know all Men, That THAYER LAKE CORP., a Connecticut corporation organized and existing under and by virtue of the statute laws of the State of Connecticut and having its principal place of business in the Town of Norwalk, County of Fairfield and State of Connecticut, acting herein by EDWARD CADOUX, its President, hereunto duly authorized

for the consideration of THIRTY THREE THOUSAND (\$33,000.00) DOLLARS -----

received to its full satisfaction of THE LAKE CLUB, INC., a Connecticut corporation having its principal place of business in the Town of Wilton, County of Fairfield and State of Connecticut

does give, grant, bargain, sell and confirm unto the said THE LAKE CLUB, INC.

ALL THAT certain tract or parcel of land situated in the Town of Wilton, County of Fairfield and State of Connecticut, being shown and designated as Lot 62 on a certain map entitled, "Section 1 of 3 Map Prepared for David Katz & Sons Inc. Wilton, Connecticut Total Area of Sec. #1, #2 & #3 = 160.713 Acres" Certified "Substantially Correct" Henry F. Henriel, Land Surveyor Henriel's New Canaan, Ridgefield, Bethel & Westbrook Connecticut Henry F. Henriel L.S. 3241, which map is on file in the Town Clerk's Office of the Town of Wilton under File No. 2796, and to which map reference may be had for a more particular description of said Lot 62.

Together with the right to pass and repass for all lawful purposes, in common with others, over all of the roads shown on Maps 2796, 2797, and 2798.

Said premises are conveyed free and clear of all encumbrances whatsoever, except:

1. Building lines, zoning regulations and municipal ordinances of the Town of Wilton and any and all provisions of public or private law.
2. Taxes of the Town of Wilton next becoming due and payable.
3. Rights of others, if any, to the cart paths shown and indicated on Map No. 670.
4. Rights of upper and lower riparian owners in or to any brooks or streams which flow through or border on said property.
5. Rights given to The Lake Club, Inc. to use the entire confines of Thayer Pond in common with others to whom a similar right may be granted as recorded in Volume 79 at Page 69 of the Wilton Land Records.
6. A right of way granted to The Lake Club, Inc. to pass and repass over Thayer Pond Road, as shown on Map 1864, in common with others to whom such right may be granted for all lawful purposes, said right of way being recorded in Volume 79 at Page 69 of the Wilton Land Records.
7. Easements, grants, and restrictions of record.
8. Easements on said maps.

\$ 33.30 Conveyance Tax retained

Edith R. Grogan

Town Clerk of Wilton

To Have and to Hold the above granted and bargained premises, with the appurtenances thereof, unto **it** the said grantee **its** heirs, successors and assigns forever, to **it** and their own proper use and behoof. **And Also,** **it** the said grantor does for **itself, its** heirs, successors and assigns, covenant with the said grantee **its** heirs, successors and assigns, that at and until the enrolling of these presents, **it is** well seized of the premises, as a good indefeasible estate in FEE SIMPLE; and has good right to bargain and sell the same in manner and form as is above written; and that the same is free from all incumbrances whatsoever, except as above stated.

And Furthermore, **it** the said grantor does by these presents bind **itself** and **its** heirs, successors and assigns forever to **WARRANT AND DEFEND** the above granted and bargained premises to **it** the said grantee **its** heirs, successors and assigns, against all claims and demands whatsoever, except as above stated. **IN WITNESS WHEREOF,** THAYER LAKE CORP. has caused these presents to be signed in its corporate name by EDMOND CADOUX, its President, authorized as aforesaid, and its corporate seal to be hereunto affixed.

Witness my hand and seal this **8th** day of **July** in the year of our Lord nineteen hundred and sixty-nine.

Signed, Sealed and Delivered in presence of

THAYER LAKE CORP.

Henry Van Dyke
HENRY VAN DYKE

By *Edmond Cadoux*
Edmond Cadoux, its President



State of Connecticut
County of Fairfield

} ss. Norwalk

July 8th A. D. 1969

Personally appeared THAYER LAKE CORP. by EDMOND CADOUX, its President

Signer and Sealer of the foregoing Instrument, and acknowledged the same to be his free act and deed and the free act and deed of said corporation, before me.

Max R. Lepofsky
Max R. Lepofsky
Notary Public
Commissioner of the Superior Court

175 Thayer Pond Road – Owners of Property within 500' of the Premises Wilton

138-2
144 HUCKLEBERRY HILL RD LLC
144 HUCKLEBERRY HILL RD
WILTON CT 06897

138-18
NASH ROBERT F & PATRICIA J
147 THAYER POND RD
WILTON CT 06897

139-2
CHILA SCOTT & MARIA
150 THAYER POND RD
WILTON CT 06897

139-5
DUBROCK MARK J &
196 THAYER POND RD
WILTON CT 06897

139-28
FOODMAN MARC D & AMY
46 WOODS END DR
WILTON CT 06897

139-32
WITKE ROXANE TR REVOCABLE
61 WOODS END DR
WILTON CT 06897

139-35
LOON ISLAND LLC
35 WOODS END DR
WILTON CT 06897

139-44
LOVE RYAN & LOVE ALYSIA F
225 THAYER POND RD
WILTON CT 06897

139-47
LAKE CLUB INC THE
165 THAYER POND RD
WILTON CT 06897

138-3
144 HUCKLEBERRY HILL RD LLC
144 HUCKLEBERRY HILL ROAD
WILTON CT 06897

138-19
DAHL DAWN D
153 THAYER POND RD
WILTON CT 06897

139-3
CALDWELL ROBERT L IV & LYNNE W
174 THAYER POND RD
WILTON CT 06897

139-6
RAGHAVAN VIJAY & ANU K
206 THAYER POND RD
WILTON CT 06897

139-29
HIDALGO GABRIEL &
52 WOODS END DR
WILTON CT 06897

139-33
ROWLEY EDWARD M III &
45 WOODS END DR
WILTON CT 06897

139-36
KOECKERT ELIZABETH H
29 WOODS END DR
WILTON CT 06897

139-45
PETRIKAS REGINA
215 THAYER POND RD
WILTON CT 06897

139-48
LAKE CLUB INC THE
165 THAYER POND RD
WILTON CT 06897

138-17
GIACALONE KRISTEN JESSOP
155 THAYER POND RD
WILTON CT 06897

139-1
KIRINCICH JOSEPH C & VALERIE
140 THAYER POND RD
WILTON CT 06897

139-4
BISHOP WILLIAM A REVOC TRUST
180 THAYER POND RD
WILTON CT 06897

139-7
GORMAN JONATHAN &
212 THAYER POND RD
WILTON CT 06897

139-30
SOLECKI MICHAEL J & KATHLEEN E
60 WOODS END DR
WILTON CT 06897

139-34
BRYN RICHARD J & CHRISTINE R
39 WOODS END DR
WILTON CT 06897

139-37
QAMAR OSMAN & SABA
21 WOODS END DR
WILTON CT 06897

139-46
BENSON ROBERT L & KARIN B
205 THAYER POND RD
WILTON CT 06897

195 Thayer Pond Road - Owners of Property within 500' of the Premises Wilton

139-2 CHILA SCOTT & MARIA 150 THAYER POND RD WILTON CT 06897	139-3 CALDWELL ROBERT L IV & LYNNE W 174 THAYER POND RD WILTON CT 06897	139-4 BISHOP WILLIAM A REVOC TRUST 180 THAYER POND RD WILTON CT 06897
139-5 DUBROCK MARK J & 196 THAYER POND RD WILTON CT 06897	139-6 RAGHAVAN VIJAY & ANU K 206 THAYER POND RD WILTON CT 06897	139-7 GORMAN JONATHAN & 212 THAYER POND RD WILTON CT 06897
139-8 LIE PETER & LINDA 214 THAYER POND RD WILTON CT 06897	139-9 GREIS KURT L 216 THAYER POND RD WILTON CT 06897	139-32 WITKE ROXANE TR REVOCABLE 61 WOODS END DR WILTON CT 06897
139-33 ROWLEY EDWARD M III & 45 WOODS END DR WILTON CT 06897	139-34 BRYN RICHARD J & CHRISTINE R 39 WOODS END DR WILTON CT 06897	139-35 LOON ISLAND LLC 35 WOODS END DR WILTON CT 06897
139-36 KOECKERT ELIZABETH H 29 WOODS END DR WILTON CT 06897	139-37 QAMAR OSMAN & SABA 21 WOODS END DR WILTON CT 06897	139-40 IRWIN RICHARD D & VIRGINIA D 23 WILD DUCK RD WILTON CT 06897
139-41 WOLFGRUBER LINDA C 15 WILD DUCK RD WILTON CT 06897	139-43 TOOTHAKER NANCY JO REVOC TRUST 235 THAYER POND RD WILTON CT 06897	139-44 LOVE RYAN & LOVE ALYSIA F 225 THAYER POND RD WILTON CT 06897
139-45 PETRIKAS REGINA 215 THAYER POND RD WILTON CT 06897	139-46 BENSON ROBERT L & KARIN B 205 THAYER POND RD WILTON CT 06897	139-47 LAKE CLUB INC THE 165 THAYER POND RD WILTON CT 06897
139-48 LAKE CLUB INC THE 165 THAYER POND RD WILTON CT 06897		

**The Lake Club, Inc.
Land Use Applications**

Premises: 175 and 195 Thayer Pond Road, Wilton, CT

List of Project Professionals

- | | |
|----------------------------------|--|
| 1. Owner and Applicant | The Lake Club, Inc.
c/o Gregory and Adams, P.C.
190 Old Ridgefield Road
Wilton, CT 06897 |
| 2. Surveyors and Civil Engineers | Lawrence W. Posson, Jr., L.S.
Craig Flaherty, P.E.
Redniss & Mead
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Stamford, CT 06905
203-327-0500
cflaherty@rednissmead.com |
| 3. Soil Scientist | Mary Jaehnig
Pfizer-Jahnig
17 Fairview Avenue
Ridgefield, CT 06877
203-431-8113
MaryJaehnigSoils@gmail.com |
| 4. Sound Engineer | Mr. Martin Schiff
Lally Acoustical Consulting
101 Avenue of the Americas, 9 th Floor
New York, NY 10013
212-614-3280 |
| 5. Attorney | Kathleen L. Royle, Esq.
Gregory and Adams, P.C.
190 Old Ridgefield Road
Wilton, CT 06897
203-762-9000
kroyle@gregoryanddadams.com |

lally acoustical consulting
we listen.

The Lake Club Pickleball Court Noise Impact Assessment

Prepared for:

The Lake Club, Inc.
165 Thayer Pond Road
Wilton, CT 06897

Lally Report #22018.2

March 14, 2023

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1.0 Summary

We have completed a noise impact analysis of the proposed replacement of one tennis court with four Pickleball courts at The Lake Club in Wilton, CT. This noise impact assessment included evaluation of the relative changes in noise level from tennis to Pickleball. While a comparison to the provided local zoning noise limits has also been made, the assessment does not ascertain the legal disposition of these changes or the applicability of any local or state code, ordinance, or regulation, which must be established by an attorney, architect, and/or code consultant.

We visited the site on May 25, 2022 to evaluate noise generated by each activity and to measure background noise near the surrounding properties.

Our impact analysis found that loudest individual Pickleball strike noises will be nearly the same relative to the measured background noise as the loudest tennis strike noises being replaced, at properties in all directions from the facility. Because the two strikes do not sound the same, the change may nonetheless be noticeable even if the overall sound level is similar.

While similar in maximum strike noise level, Pickleball noise differs in frequency character from tennis noise, and so subjectively the two do not sound the same. Pickleball also generates strike noises more frequently than tennis due to the smaller court, and so its continuous average noise level increases relative to a tennis game, particularly with 4 concurrent Pickleball games replacing a single tennis game.

Despite this, sustained average game noise level is also expected to be nearly the same relative to the background noise in all directions when 4 concurrent Pickleball games occur, as compared with the single tennis game they will replace. This is a consequence of the significant distance to the nearest receivers in combination with the measured background noise level. Because the two activities do not sound the same, the change may nonetheless be noticeable.

Even with the above-noted difference, neither the individual Pickleball strike noise level nor the sustained average noise level of 4 Pickleball games and 11 tennis games concurrently is expected to approach the quantitative noise limits in the Zoning Regulations of the Town of Wilton.

2.0 Project Description

The Lake Club is an outdoor racket sports and pool club that currently incorporates twelve full-size tennis courts and five platform paddle tennis courts. According to the project documents provided on February 13, 2023, one existing tennis court is proposed to be converted into a grid of four hard-surfaced Pickleball courts. An assessment of potential changes in noise impact to the surrounding residential properties has been requested, along with a comparison to provided Wilton zoning ordinance noise limits.

The proposed court for the reconfiguration is the easternmost tennis court on the site (Court 1). The current single-court fenced enclosure would be shifted 8 feet south and changed to four Pickleball courts.

The nearest potentially-affected residential neighbors include three homes across Thayer Pond Road to the south and west (174-196 Thayer Pond Road), with 174 Thayer Pond Road as close as 430 ft. to the proposed courts. These homes are similar or higher in elevation to the proposed courts and partially shielded by a ridge along the road. The closest home across the pond to the northeast (39 Woods End Drive) is higher in elevation and approximately 320 ft. from the proposed courts. Finally, one property directly adjoining the Club to the north (205 Thayer Pond Road) has a home as close as 550 ft. from the proposed courts, and higher in elevation.



3.0 Criteria & Methodology

The following describes our criteria for identifying potential noise impacts, our site measurements, and our analysis methodology. This noise impact assessment included evaluation of the relative changes in noise level from tennis to Pickleball. While a comparison to the provided local zoning noise limits has also been made, the assessment does not ascertain the legal disposition of these changes or the applicability of any local or state code, ordinance, or regulation, which must be established by an attorney, architect, and/or code consultant.

3.1 Acoustics & Impact Criteria

Airborne noise is measured as a sound pressure level in decibels (dB). Overall noise level is usually summed on the A-weighting scale (dBA) which weights sound frequencies according to the sensitivity of human hearing.

Noise impacts are normally judged against the ambient background noise without the noise source in question, or against the existing noise source prior to a proposed change. The decibel scale for sound level increases logarithmically, as does human perception of sound loudness. Individual hearing sensitivity varies, but the following subjective perception benchmarks are useful in judging noise impacts:

- An overall increase of 3 dBA or a sound that is 3 dBA above the background is considered a barely-perceptible change to most people. Noise increases of greater than 3 dBA can be considered the threshold of a perceptible noise impact. Changes of less than 3 dBA are less likely to be perceived as a change.
- An increase of 6 dBA is considered a clearly perceptible increase to most people.
- An increase of 10 dBA is perceived as approximately twice as loud to most people.

While the above perception criteria are derived from the total, overall noise level (in dBA), changes in sound at specific frequencies (i.e. different pitches) can occur without affecting the overall total. Noise that is focused at a specific frequency or pitch is often easier to perceive than a broad-band noise, particularly against a typical outdoor background noise environment.

In addition to the above guidelines for assessing relative changes in noise, we have been provided with the following excerpt from the Town of Wilton Zoning Regulations which provides an absolute criterion for evaluation.

29.9-H 7. Noise: No noise shall be transmitted outside the property from which it originates at a level that exceeds 80 decibels during daylight hours or 55 decibels from 10:00 P.M. to 7:00 A.M. at any lot line, as registered on A-weighted network of a sound level meter manufactured according to standards prescribed by the American National Standards Institute, ANSI S1.4, type 1 or type 2.

3.2 Site Survey

During our May 25, 2022 site visit, we evaluated the layout of the site relative to the surrounding properties, and took sound measurements while both tennis and Pickleball games were demonstrated at a recreational level by two members of the site staff. The demonstrations were measured both on an average sound level (L_{eq}) and a maximum sound level (L_{Fmax}) basis at multiple distances from the demonstration court, for later use in extrapolating sound transmission across the site. These demonstrations have been incorporated as provided, and the suitability and typicality of each demonstration remains the responsibility of others. Platform tennis was not requested to be included as part of our analysis and was not demonstrated.

During this visit, we also measured prevailing daytime ambient noise levels at three locations near the surrounding properties: two locations along Thayer Pond Road, and one location along the shore of the pond itself. Sources of background noise included wind through foliage, birds, and general background noise from distant roadways. Direct vehicle or aircraft pass-bys and landscape maintenance noise were excluded. Each measurement was analyzed statistically to determine the 90th percentile level (L_{90}), which is often used to characterize a sustained minimum background noise level while excluding instantaneous minima.

3.3 Analysis

Noise transmission from each court was studied using a 3-D sound propagation model implemented in DataKustik CadnaA software. The software accounts for factors including distance attenuation, ground absorption, surface reflection, screening, and related aspects based on the ISO-9613 standard for sound propagation outdoors. This standard makes a conservative assumption of downward sound refraction in all directions, as would occur downwind or in a moderate temperature inversion (as can occur on clear, calm nights). The published uncertainty for ISO-9613 sound propagation is generally ± 3 dBA.

Site conditions including layout, topography, and structures were taken from provided project documents along with public satellite imagery and our site observations.

4.0 Findings

The following presents the findings of our study of Pickleball noise versus tennis noise in general, along with potential noise impacts of the proposed court reconfiguration.

4.1 Source Noise

The primary source of noise observed in both tennis and Pickleball is the impact of the racket or paddle on the ball, with lesser secondary noise from participants running and voices. Since there is only one ball, the primary racket/paddle noise is similar for both singles and doubles. This noise is impulsive, or sharp and concentrated at brief moments in time. Over the duration of a game, however, the average noise level of each game depends not only on the loudness of the racket strike but also on how frequently these strikes occur. Because of its smaller court and faster action compared to tennis, Pickleball is more influenced by this effect.

We measured both the maximum (L_{Fmax}) and the average (L_{eq}) sound level during each demonstration. In a one-to-one comparison between Pickleball and tennis games as they were demonstrated, we found the following:

- On a maximum basis, the loudest tennis strike was 2 dBA louder overall than the loudest Pickleball strike. This is a slight difference that does not reach the 3 dBA threshold of likely perceiving a change. At each individual sound frequency (i.e. pitch), the two noises differed, with tennis louder at low frequencies and Pickleball louder in high frequencies. This difference in sound level at each specific pitch corroborates that the two strikes subjectively do not sound alike, which could contribute to perceptibility even if the overall sound levels are nearly the same.
- On an average basis over the course of a single demonstrated game, Pickleball noise was 1 dBA louder than tennis, a slight difference unlikely to be perceptible. This slight increase is likely related to the pace of play, with more strike noises per minute than in tennis. Again, the sound frequency content differed; Pickleball was louder in high sound frequencies, the two did not sound alike, and this could contribute to perceptibility.

4.2 Noise Impact Findings for Proposed Site

The potential noise impacts of Pickleball play on nearby properties will depend on how loud each game is at the source as discussed above, but it will also be influenced by other factors. The number of concurrent Pickleball games (4 courts are proposed) are not expected to affect the peak strike noise, but will strongly influence the continuous average noise since strikes occur more frequently with more games. The number of other tennis games occurring (11 courts will remain) will also influence the relative impact of Pickleball. Finally, noise impact at any receiver will always be relative to the background noise level at the receiver location.

4.2.1 Receivers across Pond

The maximum overall sound level of each individual racket strike is not projected to differ significantly between tennis and Pickleball at the nearest property across Thayers Pond (39 Woods End Drive). These strike sounds will likely be similar in level to the current tennis strikes they replace on the proposed court. Based on the prevailing daytime background noise we measured along the pond, both tennis strikes and Pickleball strikes will likely remain audible (greater than 3 dBA above background) to the same degree before and after the proposed project. Because the sound frequency character of the noise differs between the two sports, a change may nonetheless be noticeable.

On a sustained average basis from ongoing games, the continuous level of Pickleball noise from 4 concurrent games is not expected to reach the 3 dBA impact threshold at the properties across the pond, compared to the single tennis game they would replace. This is a consequence of the significant distance to this receiver in combination with the measured background noise level. However, since the character of the noise will differ, a change may nonetheless be noticeable.

On an absolute basis, the maximum Pickleball strike noises are projected to reach approximately 42-45 dBA, falling well below both the 55 dBA nighttime and the 80 dBA time limits at this property. Likewise, concurrent games on all 11 tennis courts and 4 Pickleball courts are projected to reach approximately 38-41 dBA, falling well below both the nighttime and daytime limits on a sustained average (L_{eq}) basis. These noise level projections are subject to the uncertainty in the underlying ISO standard (generally ± 3 dBA), and may vary further with different players and playing styles at the source.

Other properties across the pond would be expected to receive less noise than 39 Woods End Drive due to the increased distance from the proposed project site.

4.2.2 Receivers across Thayer Pond Road

The maximum overall sound level of each individual racket strike is not projected to differ significantly between tennis and Pickleball at any of the nearest properties across Thayer Pond Road (174, 180, and 196 Thayer Pond Road). These strike sounds will likely be similar in level to the current tennis strikes they replace on the proposed court. Based on the prevailing daytime background noise we measured, both tennis strikes and Pickleball strikes will likely remain audible (greater than 3 dBA above background) to the same degree before and after the proposed project. Because the sound frequency character of the noise differs between the two sports, a change may nonetheless be noticeable.

On a sustained average basis from ongoing games, the continuous level of Pickleball noise from 4 concurrent games is not expected to reach the 3 dBA impact threshold at the properties across the road, as compared to the single tennis game that they would replace. This is a consequence of the significant distance to these receivers in combination with the measured background noise level. However, since the character of the noise will differ, a change may nonetheless be noticeable.

On an absolute basis, the maximum Pickleball strike noises are projected to reach approximately 42-45 dBA, falling well below both the 55 dBA nighttime and the 80 dBA time limits at these properties. Likewise, concurrent games on all 11 tennis courts and 4 Pickleball courts are projected to reach approximately 39-42 dBA, falling well below both the nighttime and daytime limits on a sustained average (L_{eq}) basis. These noise level projections are subject to the uncertainty in the underlying ISO standard (generally ± 3 dBA), and may vary further with different players and playing styles at the source.

Other properties across the road and to the south would be expected to receive less noise than these closest properties due to the increased distance from the proposed project site.

4.2.3 Adjacent Receiver

The maximum overall sound level of each individual racket strike is not projected to differ significantly between tennis and Pickleball at the adjacent property to the north (205 Thayer Pond Road). These strike sounds will likely be similar in level to the current tennis strikes they replace on the proposed court. Based on the prevailing daytime background noise we measured near the property, both tennis strikes and Pickleball strikes will likely remain perceptible (greater than 3 dBA above background) to the same degree before and after the proposed project. Because the sound frequency character of the noise differs between the two sports, a change may nonetheless be noticeable.

On a sustained average basis from ongoing games, the continuous level of Pickleball noise from 4 concurrent games is not expected to reach the 3 dBA impact threshold at the adjoining property, compared to the single tennis game they would replace. This is a consequence of the significant distance to this receiver in combination with the measured background noise level. However, since the character of the noise will differ, a change may nonetheless be noticeable.

On an absolute basis, the maximum Pickleball strike noises are projected to reach approximately 38-41 dBA, falling well below both the 55 dBA nighttime and the 80 dBA time limits at this property. Likewise, concurrent games on all 11 tennis courts and 4 Pickleball courts are projected to reach approximately 43-46 dBA, falling well below both the nighttime and daytime limits on a sustained average (L_{eq}) basis. These noise level projections are subject to the uncertainty in the underlying

ISO standard (generally ± 3 dBA), and may vary further with different players and playing styles at the source.

Other properties in this direction would be expected to receive less noise than 205 Thayer Pond Road due to the increased distance from the proposed project site.

The results and information provided in this report are supplied for the addressee and only for the purposes of this project. This report inclusive of findings, sketches, and recommendations may not be duplicated or reused in any way, or applied to different projects by any party.

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