

November 5, 2021

VIA ELECTRONIC & HAND DELIVERY

Mr. Michael Wrinn
Planning and Zoning Department
Town of Wilton
Town Annex
238 Danbury Road
Wilton, CT 06897
Michael.wrinn@WILTONCT.GOV

**RE: Site Development Plan Application
Proposed Package Store Signage
Address: 920 Danbury Road, Wilton, Connecticut (the “Property”)
Applicant: Nutmeg Discount Liquors, Inc. d/b/a Caraluzzi’s Wine and Spirits
(the “Applicant”)**

Dear Mr. Wrinn:

Our firm represents the above-captioned applicants, who are seeking Planning & Zoning Commission (the “Commission”) review of signage proposed for a recently approved Package Store to occupy 3,675 square feet of the existing building located at the Property. The Property is located on the northeast corner of Danbury Road (Route 7) and School Street (Route 107) in the General Business District (the “GB Zone”). The Property is approximately 3.77 acres in size. The size and location of the existing building and site improvements will remain unchanged.

In furtherance of the proposed applications, please find enclosed one (1) copy of the following materials:

- One (1) Letter of Authority executed by the Applicant;
- One (1) Letter of Authority executed by the owner of the Property;
- One (1) Letter of Title and proof of Applicant’s legal interest in the Property;
- One (1) Site Development Plan Application Form, with the attached schedules:
 - Schedule A – Project Narrative & Site Development Plan Review Standards
 - Schedule B – Project Professionals
- Class A-2 Survey Map, titled “Shopping Center Expansion, Map 12 Lot 98, 920 Danbury Road, Wilton, Connecticut,” prepared by Appledore Engineering, and dated January 20, 2011;
- One (1) copy of a Site Plan depicting the Property, prepared by Benjamin V. Doto, III, P.C., LLC, and dated March 23, 2021, entitled “Caraluzzi’s Wine & Spirits, 920 Danbury Road, Wilton, Connecticut;”
- One (1) Zoning Data Chart for the Property;

- One (1) copy of signage plans, prepared by Seventy2 Architects, dated October 29, 2021 entitled:
 - “Existing;”
 - “Proposed Signage;”
 - “Existing Monument Sign;”
 - “Proposed Monument Sign;”
 - “Caraluzzi’s Proposed Building Sign;” and
 - “Caraluzzi’s Proposed Monument Sign.”
- One (1) copy of the Resolution of Approval for the previously approved Alternative Signage Program for the Property, including reduced-size copy of plans depicting the previously approved signage for the Chase Bank that previously occupied the Property; and
- Filing fee of \$360.00 payable to Town of Wilton.

This property is within 500 feet of the Town of Redding, and therefore pursuant to CGS 8-7d(f), notice of this application must be mailed to the Redding Town Clerk within 7 days of receipt by certified mail, return receipt requested.

Please let me know if you have any questions or require additional materials. Our client is anticipating opening its doors before Thanksgiving. We look forward to advice as to when the Commission will hear the enclosed application. As always, thank you for your time and attention regarding this matter.

Sincerely,

Rachel M. Breslin

Rachel M. Breslin

Enclosures.

cc: D. White daphne.white@WILTONCT.ORG
L. Russo Lorraine.russo@WILTONCT.ORG

April 9, 2021

Mr. Michael Wrinn
Town Planner
Planning and Zoning Department
Town of Wilton
Town Annex
238 Danbury Road
Wilton, CT 06897

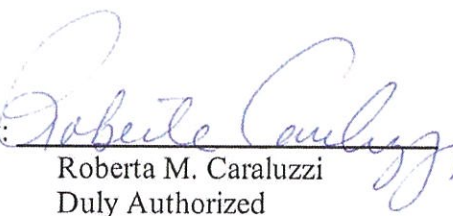
**RE: 920 Danbury Road, Wilton, CT (the "Property")
Letter of Authority**

Dear Mr. Wrinn:

Caraluzzi's Georgetown Food Market, LLC is a tenant of the property located at 920 Danbury Road, Wilton, CT (the "Property"), I hereby authorize the attorneys of Carmody Torrance Sandak & Hennessey, LLP, with offices located at 707 Summer Street, Stamford, Connecticut 06901, to act as agent for Nutmeg Discount Liquors Inc. dba/Caraluzzi's Wine & Spirits in connection with the enclosed land use applications. Thank you for your acknowledgement of said authority.

Sincerely,

Caraluzzi's Markets

By: 
Roberta M. Caraluzzi
Duly Authorized



April 16, 2021

Mr. Michael Wrinn
Planning and Zoning Department
Town of Wilton
Town Annex
238 Danbury Road
Wilton, CT 06897

**RE: 920 Danbury Road, Wilton, CT (the "Property")
Letter of Authority**

Dear Mr. Wrinn:

Remo-Wilton Associates LLC c/o Remo Tartaglia ("Owner") is the owner of the property located at 920 Danbury Road, Wilton, CT (the "Property"). I hereby authorize the attorneys of Carmody Torrance Sandak & Hennessey, LLP, with offices located at 707 Summer Street, Stamford, Connecticut 06901, to file the enclosed land use applications on ownership's behalf in connection with the Property. Thank you for your acknowledgement of said authority.

Sincerely,

Remo-Wilton Associates LLC c/o Remo Tartaglia

By: 

Lorraine Tartaglia
Duly Authorized

May 3, 2021

Michael Wrinn
Planning and Zoning Department
Town of Wilton
Town Annex
238 Danbury Road
Wilton, CT 06897

**RE: 920 Danbury Road, Wilton, CT (the "Property")
Letter of Title**

Dear Mr. Wrinn:

Based upon the quit-claim deed found in Volume 2222 at page 165, which is listed as the current deed of record on the Town Assessor's field card for the Property, a copy of which is attached hereto, and the enclosed letter of authority from the Owner, title of property appears to be vested in Remo-Wilton Associates, LLC c/o Remo Tartaglia.

Sincerely,

Jason A. Klein

Jason A. Klein

00123593

This instrument prepared by
and return to:
Charles A. Mantell, Esq.
Weiner, Mantell & Fornes, P.C.
59 Elm Street
New Haven, Connecticut 06510

VOL: 2222 PG: 165

QUIT-CLAIM DEED

WE, Sebastiana Tartaglia, Lorraine Tartaglia, Remo J. Tartaglia, Jr. and Isabel N.M. Tartaglia, as Trustees or their successors for The Tartaglia Family Trust of Wilton, Connecticut, for good and valuable consideration, but no monetary consideration grant to Remo-Wilton Associates, LLC, a Connecticut Limited Liability Company, whose mailing address is c/o Remo Tartaglia, 477 Main Street, Monroe, Connecticut 06468, with QUIT-CLAIM COVENANTS

All that certain land situate in Town of Wilton, State of Connecticut, viz:

A portion of Lot 4 and all of Lot 5 on that certain map entitled: "Property of Olive C. Miller, Georgetown District, Wilton, Conn., Scale 1" = 40', Total Area = 10.4 acres, certified substantially correct by Robert E. Ladd, Reg. Land Surveyor, New Milford, Conn. Said map is on file in the Land Records of the Town of Wilton bearing File No. 1520. Said premises are more particularly described as follows:

Southwesterly by Route U.S. 7, 116.18 feet; northwesterly by West Church Street, 295.00 feet; northeasterly by Lot No. 3 as indicated on said map, 301.37 feet; southeasterly by a 60-foot passway as indicated on said map, 75.85 feet; easterly by Lot No. 6 as indicated on said map, 368.51 feet; southeasterly again by Connecticut Route # 53, 227.04 feet; southwesterly again by land hitherto conveyed to the Shell Oil Company, 184 feet; and southerly by said land conveyed to the Shell Oil Company, 138.48 feet.

As to the bounds of the Shell Oil Company, reference is made to that certain map entitled "Map Prepared for Shell Oil Company, Wilton, Conn., Scale 1" = 40', certified substantially correct, Henricis, New Canaan, Ridgefield and Bethel, Connecticut" dated August 17, 1967, which map is on file in the Office of the Town Clerk of the Town of Wilton as Map No. 2708.

TOGETHER with the rights and easements as set forth in an "Easement" from Rolan Mattson and R. William Stromberg to Florida Hill Road Corporation, dated April 15, 1970, and recorded on April 27, 1970, in Volume 146 at page 526 of the Wilton Land Records.

This being the same premises referred to in Volume 358, Page 270 of the Wilton Land Records.

Signed this 13th day of December, 2011.

Witnessed by:

Charles A. Mantell

Rosemary Balasciano

Charles A. Mantell

Rosemary Balasciano

THE TARTAGLIA FAMILY TRUST

Sebastiana Tartaglia L.S.
SEBASTIANA TARTAGLIA, Trustee

Lorraine Tartaglia L.S.
LORRAINE TARTAGLIA, Trustee

00123593

VOL: 2222 PG: 166

Charles C. MontellREMO J. TARTAGLIA, JR. L.S.
REMO J. TARTAGLIA, JR., TrusteeRosemary BaluscianoCharles C. MontellISABEL N.M. TARTAGLIA L.S.
ISABEL N.M. TARTAGLIA, TrusteeRosemary BaluscianoSTATE OF CONNECTICUT)
COUNTY OF NEW HAVEN ss.: NEW HAVENThe foregoing instrument was acknowledged before me this 13th day of December, 2011 by SEBASTIANA TARTAGLIA, Trustee.Charles C. Montell
Commissioner of the Superior Court/
~~Notary Public~~STATE OF CONNECTICUT)
COUNTY OF NEW HAVEN ss.: NEW HAVENThe foregoing instrument was acknowledged before me this 13th day of December, 2011 by LORRAINE TARTAGLIA, Trustee.Charles C. Montell
Commissioner of the Superior Court/
~~Notary Public~~STATE OF CONNECTICUT)
COUNTY OF NEW HAVEN ss.: NEW HAVENThe foregoing instrument was acknowledged before me this 13th day of December, 2011 by REMO J. TARTAGLIA, JR., TrusteeCharles C. Montell
Commissioner of the Superior Court/
~~Notary Public~~STATE OF CONNECTICUT)
COUNTY OF NEW HAVEN ss.: NEW HAVENThe foregoing instrument was acknowledged before me this 13th day of December, 2011 by ISABEL N.M. TARTAGLIA, Trustee.Charles C. Montell
Commissioner of the Superior Court/
~~Notary Public~~

**WILTON PLANNING AND
ZONING COMMISSION****SITE DEVELOPMENT
PLAN****SDP#**

SITE DEVELOPMENT PLAN: Cite specific section(s) of the Zoning Regulations and provide a detailed description of the proposed development. Attach additional sheets as required.

Section 29 - 11 and 29-8.A.8 to permit signage for the recently approved Package Store

 at 920 Danbury Road in the G-B Zone.

Nutmeg Discount Liquors, Inc. d/b/a
Caraluzzi Wine & Spirit

Agent: Carmody Torrance Sandak & Hennessey LLP, 707 Summer St, Stamford, CT 06901

APPLICANT'S NAME**ADDRESS**

Remo-Wilton Associates LLC c/o Remo Tartaglia 477 Main Street, Suite 212, Monroe, CT 06468

OWNER'S NAME**ADDRESS**

920 Danbury Road

G-B

PROPERTY LOCATION**ZONING DISTRICT**

2222

165

12

98

3.772

WLR**VOLUME****PAGE****TAX MAP #****LOT #****ACREAGE*****THE FOLLOWING MATERIALS SHALL BE ATTACHED:***

- * Fifteen (**15**) complete ***COLLATED/FOLDED*** sets are required.
- * All plans shall be equal in sheet size, collated into sets (either stapled or clipped), with **maps folded**, not rolled.
- * All submitted plans and documents shall bear an **original signature, seal, and license number** of the professional responsible for preparing each item.

- X **VICINITY SKETCH** at a scale of 1"=100' or 1"=200'. Said map shall show all existing zone boundaries, existing buildings and parcels, labeled by their corresponding Tax Map and Lot Number, within 500' of the subject property.
- X **CLASS A-2 SURVEY MAP** of the subject property.
- X **SITE DEVELOPMENT PLAN** pursuant to Section 29-11 of the Zoning Regulations.
- X **FORM B – ZONING DATA.**

- X **LIST OF PROJECT PROFESSIONALS** including name, firm, address and telephone.
- X **LETTER OF TITLE** certifying owner of record as of date of the application.
- X **PROOF OF APPLICANT'S LEGAL INTEREST** in property.
- X **ANY OTHER PLAN OR DOCUMENT** as required by Zoning Regulations.
- X **ELECTRONIC EMAILED SUBMISSION** of all materials (Consolidated into 1- 2 PDFs Maximum)
- X **\$360 FILING FEE + \$50/Unit or \$50/2000 sq. ft.** payable to: **Town of Wilton.**

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted and is responsible for the payment of all legal notices incurred.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

Rachael Breslin 11/04/21 rbreslin@ccarmodylaw.com 203-252-2693
APPLICANT'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE

See Attached Letter of Authority

Rachael Breslin 11/04/21 rbreslin@ccarmodylaw.com 203-252-2693
OWNER'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE

See Attached Letter of Authority

For Planning and Zoning Department Use Only:

Mandatory Referrals - Jurisdiction/Agency		
Village District Design Advisory Committee (VDDAC):	Yes	No
Architectural Review Board (ARB):	Yes	No
Western Connecticut Council of Governments (WestCOG):	Yes	No
South Norwalk Electric and Water Company (SNEW) Designated Public Watershed:	Yes	No
First Taxing District Water Department Designated Public Watershed:	Yes	No
State-Designated Aquifer Protection Area:	Yes	No
Adjoining Community Notification:	Yes	No

Schedule A

Project Narrative

The Caraluzzi family has owned and operated grocery stores in Connecticut since 1949. Caraluzzi's Georgetown Market ("Caraluzzi's") is one of these stores and has operated from 920 Danbury Road (the "Property") since 2003. The Property is located on the northeast corner of Danbury Road (Route 7) and School Street (Route 107), in a General Business District (the "GB Zone"), and is approximately 3.77 acres in size.

Caraluzzi's provides Wilton residents with quality, low-priced groceries while maintaining the highest level of customer service. Earlier this year, Caraluzzi's sought Planning & Zoning Commission (the "Commission") approval to open a Package Store in the vacant retail space adjacent to the grocery store (previously occupied by Chase Bank). The Commission approved the Package Store use on May 24, 2021. Caraluzzi's now seeks the Commission's approval of an Alternative Signage Program pursuant to Section 29-8.A.8 of the Zoning Regulations of the Town of Wilton, Connecticut (the "Zoning Regulations"). The Package Store will be called "Caraluzzi's Wine & Spirits" and will incorporate design elements from existing Caraluzzi's signage on the Property.

I. Background & Proposal

The Property is improved with a multitenant commercial building originally constructed in 1972¹ and approximately 193 parking spaces. In addition to Caraluzzi's facilities, the building also includes a dry-cleaning establishment known as Classic Cleaners. The Commission previously approved an Alternative Signage Program for the Property in 2012.² The Package Store will occupy 3,675 square feet in the former Chase Bank space. The size and location of the existing building and site improvements will remain unchanged.

Caraluzzi's proposes replacing signage previously associated with Chase Bank with signage for the Package Store. Proposed signage includes:

- 1 panel (9.92 square feet) on the existing Freestanding Sign located on the westerly side of the Property. The size of the proposed panel on the existing Freestanding Sign is identical to that previously approved for Chase Bank.
- 3 Wall Signs (53.31 square feet) on the westerly façade of the Existing Building. The proposed Wall Signs will result in a more unified and cohesive scheme for the Property than the previously approved Chase Bank signage.

A copy of the proposed signage plan is included for your reference.

II. Site Plan Review Standards

¹ The date of construction was obtained from the Online Field Card.

² A copy of the Resolution of Approval #01 12-1Z, dated January 9, 2012, is enclosed for your reference.

The proposal complies with the Site Plan Review Standards of the Zoning Regulations as follows:

a. *Conformity of Site Plan with the Town's Plan of Development:*

No changes are proposed to the site plan for the Existing Building. This site plan was approved by the Commission on May 24, 2021 and has not been modified since. The proposed signage is consistent with the vision for the Georgetown Village in the Town Plan of Conservation and Development (the "POCD"). The signage will enhance this moderate intensity, commercial use that is located on Danbury Road.³

b. *Arrangement of Buildings & Structures:*

No changes to the arrangement of buildings or structures located on the Property are proposed.

c. *Adequacy of Onsite Circulation:*

No changes are proposed to the parking lot circulation.

d. *Onsite Pedestrian Safety:*

No changes are proposed to the onsite parking area, which will continue to operate safely for pedestrians.

e. *Adequacy of Fire, Police & Ambulance Access to Property:*

Fire, police, and ambulatory services will continue to be able to access the Property via existing curb cuts. The proposed signage package has no impact on these services.

f. *Adequacy of Storm Drainage System:*

No changes are proposed to the building footprint, site coverage, or infrastructure onsite. Therefore, the change of use will have no impact on the Storm Drainage System.

g. *Location, Intensity & Direction of Proposed Lighting:*

No changes in site lighting are proposed.

h. *Size, Location, & Type of Any Outdoor Storage Facilities:*

No changes in outdoor storage facilities are proposed.

i. *Size, Location, & Type of Signage:*

³ See POCD, at page 95.

Proposed signage associated with the Package Store is appropriate for the neighborhood and consistent with existing signage on the building. This signage is almost identical in size and locations to the previously approved signage for the former Chase Bank.

Additionally, the proposed alternative signage program conforms to the requirements of Section 29-8.A.8 of the Zoning Regulations:

- *In approving such an alternative signage program, the Commission shall find that:*
 - *Such signage program would be consistent with the purpose of this section.*

The proposed alternative signage program will adequately identify Caraluzzi's via the display of attracted and well-designed signs, while also promoting public safety, protecting property values, minimizing visual clutter, and enhancing the visual appearance of Wilton.

- *Such signage program would result in a more comprehensive and attractive arrangement and display of signs than could otherwise be accomplished under the standards of this section.*

The Package Store signage compliments the existing grocery store signage located on the Property. The proposed wall signage will allow the Applicant to tastefully identify the tenant occupying the southernly portion of the existing building and utilize the existing Freestanding Sign.

j. *Adequacy of Site Landscaping:*

No changes to site landscaping are proposed.

Schedule B

Project Professionals

Land Use Lawyer

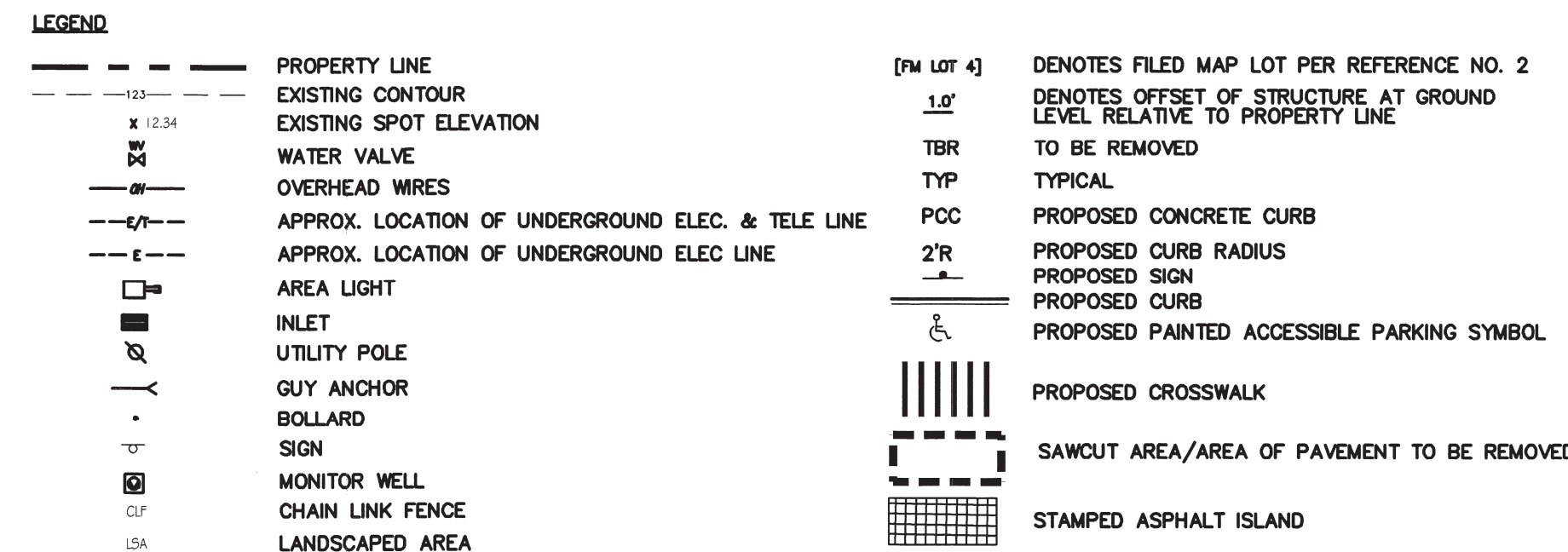
Carmody Torrance Sandak & Hennessey LLP
707 Summer Street
Stamford, CT 06901
203-425-4200

Sign Architect

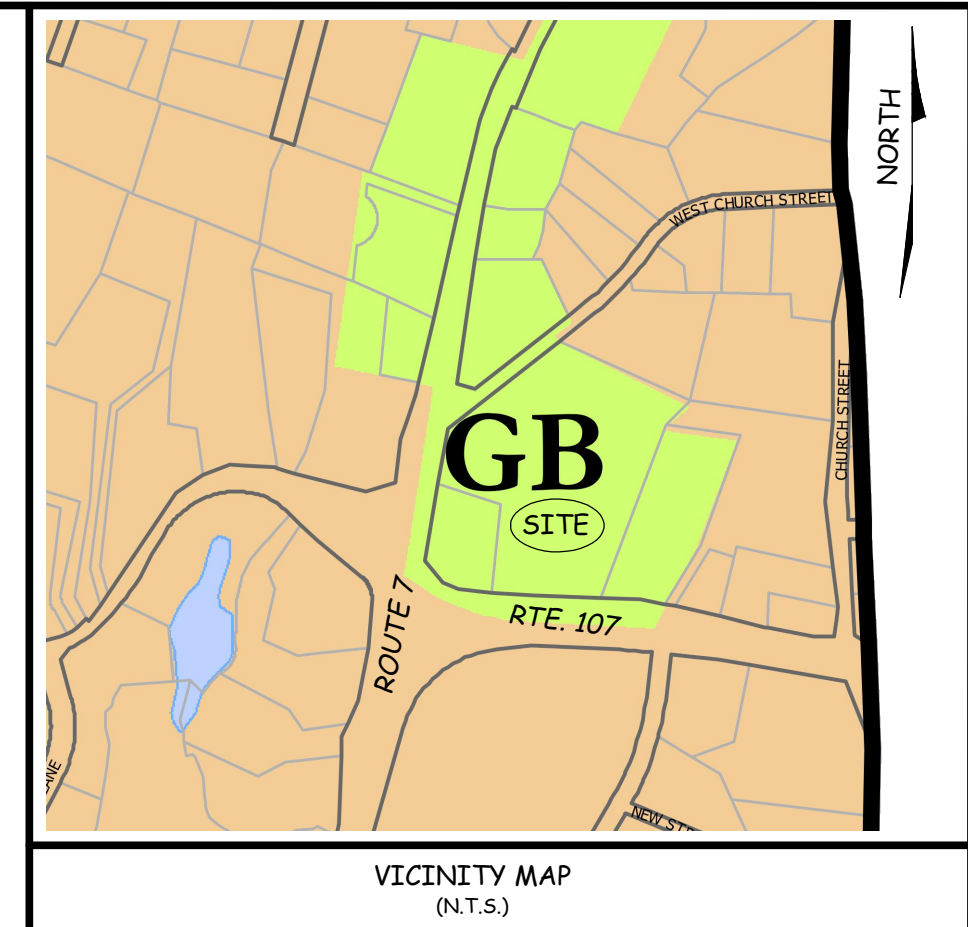
Maura Newell Juan
Seventy2 Architects
maura@72architects.com
203-791-8175

Sign Printer

Louie Pascuzzi
Economy Sign
Economy.signs@snet.net
203-748-4580



A-2



GENERAL NOTES

WILTON PLANNING AND ZONING COMMISSION	FORM B - ZONING DATA
Include the following data on the required Site Development Plan, as well.	

PROPERTY ADDRESS

LOT ACREAGE

ZONING DISTRICT

LOT FRONTAGE

No changes were made to this Zoning Data Chart from when it was submitted for approval of the Package Store

	PER ZONING REGS (MAX OR MIN ALLOWED)	EXISTING	PROPOSED	TOTAL
GROSS FLOOR AREA [SF]				
BUILDING FOOTPRINT [SF]				
BUILDING COVERAGE [SF/%] (round up)				
BUILDING HEIGHT [FT - Story]				
FLOOR AREA RATIO (F.A.R.)				
PARKING SPACES (round up)				
LOADING SPACES				
SITE COVERAGE [SF/%]				

OFF-STREET PARKING AND LOADING CALCULATIONS

Please provide the specific calculation used to determine the minimum required off-street parking and loading spaces pursuant to the Zoning Regulations.

PARKING CALCULATION (Use separate page, if necessary)

LOADING CALCULATION (Use separate page, if necessary)

PLAN OF CONSERVATION AND DEVELOPMENT
Please indicate on separate page how this proposal complies with the Plan of Conservation and Development.

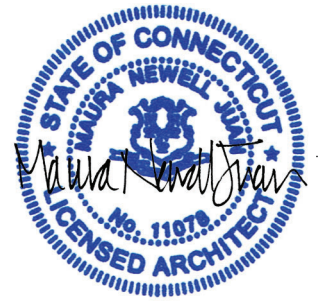
See Schedule A.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein:

APPLICANT'S SIGNATURE

DATE

See Letters of Authority

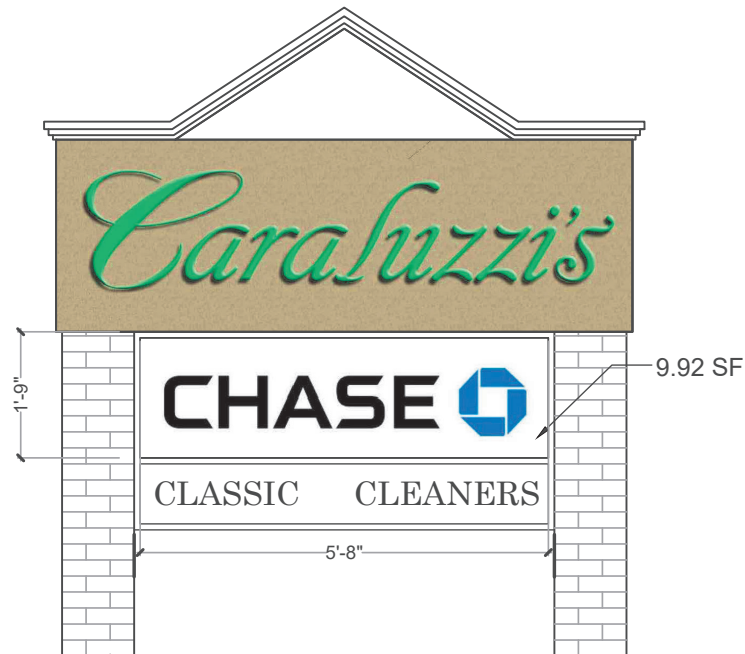


PROJECT:	PROPOSED SIGNS
DATE:	OCT. 29, 2021
SCALE:	NOT TO SCALE
LOCATION:	WILTON CT

CARALUZZI'S PROPOSED BUILDING SIGN

SEVENTY2
ARCHITECTS

WWW.SEVENTY2ARCHITECTS.COM




EXISTING

APPROVED 9.92 SF



PROPOSED

PROPOSED 9.92 SF

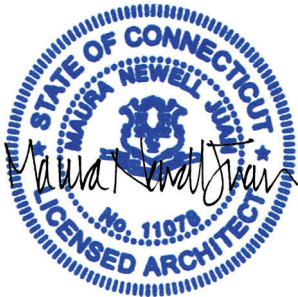
PROJECT:	PROPOSED SIGNS	<h1>CARALUZZI'S PROPOSED MONUMENT SIGN</h1>	 WWW.SEVENTY2ARCHITECTS.COM
DATE:	OCT. 29, 2021		
SCALE:	NOT TO SCALE		
LOCATION:	WILTION CT		



WILTON CARALUZZI'S WINE & SPIRITS

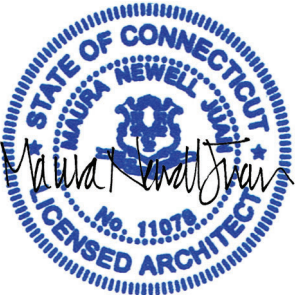
EXISTING

OCTOBER 29, 2021





WILTON CARALUZZI'S WINE & SPIRITS
 PROPOSED SIGNAGE
 OCTOBER 29, 2021





WILTON CARALUZZI'S WINE & SPIRITS

EXISTING MONUMENT SIGN

OCTOBER 29, 2021



SEVENTY2
ARCHITECTS
insight & imagination



WILTON CARALUZZI'S WINE & SPIRITS
PROPOSED MONUMENT SIGN
OCTOBER 29, 2021



PLANNING & ZONING
COMMISSION
Telephone (203) 563-0185
Fax (203) 563-0284



TOWN HALL ANNEX
238 Danbury Road
Wilton, Connecticut 06897

RESOLUTION #0112-1Z

January 9, 2012

WHEREAS, the Wilton Planning and Zoning Commission has received an application from Charles Bomely, Jr. with Plan B Retail Design, for an alternative signage program associated with an existing shopping center, located at 920 Danbury Road; in a General Business District (GB), Assessors Map #12, Lot# 98, 3.77 acres; owned by Remo Tartaglia and shown on the plans entitled:

Signage Location Plan - Prepared for Caraluzzi's Georgetown Market, Prepared by Plan B Retail Design & Project Management, LLC, designers/planners, dated October 12, 2011, revised December 6, 2011, at a scale as noted, sheet #A11.

Proposed Exterior Elevations - Prepared for Caraluzzi's Georgetown Market, Prepared by D. F. Valente, architect/planner, dated November 22, 2011, scale:3/32=1'-0", sheet #A3.3.

Cover Sheet - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 20, 2011, not to scale, no sheet #.

Sign Legend & Location Plan – Allowable Signage - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 6, 2011, sheet #2.

Sign Legend & Location Plan – Additional Approval Required - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, revised December 20, 2011, sheet #3.

Floor Plan –Allowable Signage - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 6, 2011, sheet #4.

Floor Plan –Additional Approval Required - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 20, 2011, sheet #5.

Main ID-Allowable Signage - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 20, 2011, sheet #6.

Elevations/Channel Letters-Allowable Signage - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 20, 2011, sheet #7.

Elevations/Channel Letters-Additional Approval Required - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 20, 2011, sheet #8

Directional/Drive-Thru-Allowable Signage - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 20, 2011, sheet #9.

Drive-Thru-Additional Approval Required - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 20, 2011, sheet #10.

Regulatory- Allowable Signage - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 20, 2011, sheet #11.

ATM Topper/ATM Surround - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 20, 2011, sheet #12.

Due Diligence Sheet - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 20, 2011, sheet #13.

Surrounding Photos - Prepared for Chase Bank, Prepared by NW Sign Industries, signage designer, dated August 24, 2011, last revised December 20, 2011, sheet #14.

WHEREAS, the Wilton Planning and Zoning Commission reviewed the Signage Location Plan on November 14, 2011, December 12, 2011 and January 9, 2012; and

WHEREAS, the Wilton Planning and Zoning Commission has determined that the application is in substantial compliance with the Wilton Zoning Regulations;

NOW THEREFORE BE IT RESOLVED that the Wilton Planning and Zoning Commission **APPROVES** the Alternative Signage Plan effective January 12, 2012 and subject to the following conditions:

1. This Resolution does not replace requirements for the applicant to obtain any other permits or licenses required by law or regulation by the Town of Wilton, such as but not limited to: Zoning Permit, Sign Permit, Building Permit, Certificate of Zoning Compliance; or from the State of Connecticut or the Government of the United States. Obtaining such permits or licenses is the responsibility of the applicant.
2. In accordance with Section 8-3.(i) of the Connecticut General Statutes, all work or physical improvements required and/or authorized by the approved Plan shall be completed within five years of the effective date of this resolution. This five-year

period shall expire on January 12, 2017.

3. The approved signs shall be designed and erected in accordance with the aforementioned plans, as shown on the signage plan listed above, is as follows:
 - a. The proposed free standing monument sign, shall be consistent with the signage represented on the submitted plans and shall not differ with respect to size, color, design or appearance. Said sign shall be located in the area as shown on the submitted site plan. Individual panels shall not exceed an area of 34.81 square feet. The size of the individual panels are as follows:
 1. The Caraluzzi's Georgetown Market sign shall be limited to 19.56 square feet.
 2. The Classic Cleaners sign shall be limited to 5.33 square feet.
 3. The Chase Bank sign shall be limited to 9.92 square feet.
 - b. The proposed façade signs, shall be consistent with the signage represented on the submitted plans and shall not differ with respect to size, color, design or appearance. Said sign shall be located in the area as shown on the submitted site plan. The size of the individual panels are as follows:
 1. The Caraluzzi's Georgetown Market sign shall be limited to 142.6 square feet (existing sign).
 2. The Classic Cleaners sign shall be limited to 17.5 square feet (existing sign).
 3. The Chase Bank sign shall be limited to 25.61 square feet.
 4. The Caraluzzi's Entrance sign shall be limited to 15 square feet.
 - c. The drive-thru canopy sign, shall be consistent with the signage represented on the submitted plans and shall not differ with respect to size, color, design or appearance. Said sign shall be located in the area as shown on the submitted site plan. The size of the individual panels are as follows:
 1. The drive-thru canopy sign shall be limited to 16.39 square feet.
 2. The drive-thru lane designator sign shall be limited to 3.12 square feet
 3. The ATM lane designator sign shall be limited to 3.12 square feet.
 4. The clearance designator sign shall be limited to 2.5 square feet.
 - d. The directional signs, shall be consistent with the signage represented on the submitted plans and shall not differ with respect to size, color, design or appearance. Said sign shall be located in the area as shown on the submitted site plan. The size of the individual panels are as follows:
 1. The directional signs shall be limited to 2.0 square feet.
4. The approved signs shall be either non-illuminated or externally illuminated (with the exception of the drive-thru canopy lane and clearance designator signs). Such external lighting source shall be designed and installed in such a manner as to shield filaments, light sources, reflectors and lenses from public view.

Submittal of revised plans and application prior to the issuance of a zoning permit:

5. Three (3) completed revised sets, (collated and bound) shall be submitted to the Commission's office for endorsement as "Final Approved Plan" by the Town Planner. Said plans shall include all revisions noted above and shall bear an ORIGINAL signature, seal and license number of the professional responsible for preparing each plan or portion of it. Said plans shall include the following notes:
 - a. "In accordance with Section 8-3.(i) of the Connecticut General Statutes, all work in connection with this Sign Plan shall be completed within five years after the approval of the plan. Said five-year period shall expire on January 12, 2017."
 - b. "For conditions of approval for Sign Plan, see **Resolution #0112-1Z.**"

- END RESOLUTION -