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* ALSO ADMITTED IN NEW YORK

⊗ ALSO ADMITTED IN VERMONT

March 24, 2022

By E-mail and Hand Delivery

Planning & Zoning Commission

Town Hall Annex

238 Danbury Road

Wilton, CT 06897

Attn: Mr. Michael Wrinn – Director of Planning and Land Use Management

Re: Glengate Company and Jared Martin EPC, LLC, Site Development Plan Application
Premises: 47 Old Ridgefield Road, (Assessor's Map #73 Lot 40), Wilton, CT.

Dear Mr. Chairman and Members of the Commission:

As you are aware, this firm represents Glengate Company and its affiliate, Jared Martin EPC, LLC (collectively the “**Applicant**”), in their purchase of the above-referenced Premises (the “**Property**”). Since our original submission on March 14, 2022, we have received updated surveys of the Property which identified a change in the total number of parking spaces, from 71 to 68, and identified a loading space.

1. Parking Supply

The updated surveys reflect the Applicant's right to *68 parking spaces*, which exceeds our estimate of *38 required spaces*.

2. Loading Space

The updated surveys reflect the location of a loading space in accordance with section 29-8.B.7 of the Wilton Zoning Regulations.

March 24, 2022

Page 2 of 2

In support of our amendment to the application for the Site Development Plan, we submit the following:

1. Property Survey of 47 Old Ridgefield Road, prepared for Glengate Company by Ryan and Faulds Land Surveyors Surveyors ("R&F"), dated March 4, 2022.
2. Property Survey of 47 Old Ridgefield Road & 3 Hubbard Road, prepared for Glengate Company by R&F, dated March 4, 2022.
3. Form B – Zoning Data, as of March 24, 2022.

We look forward to presenting the application to the Commission.

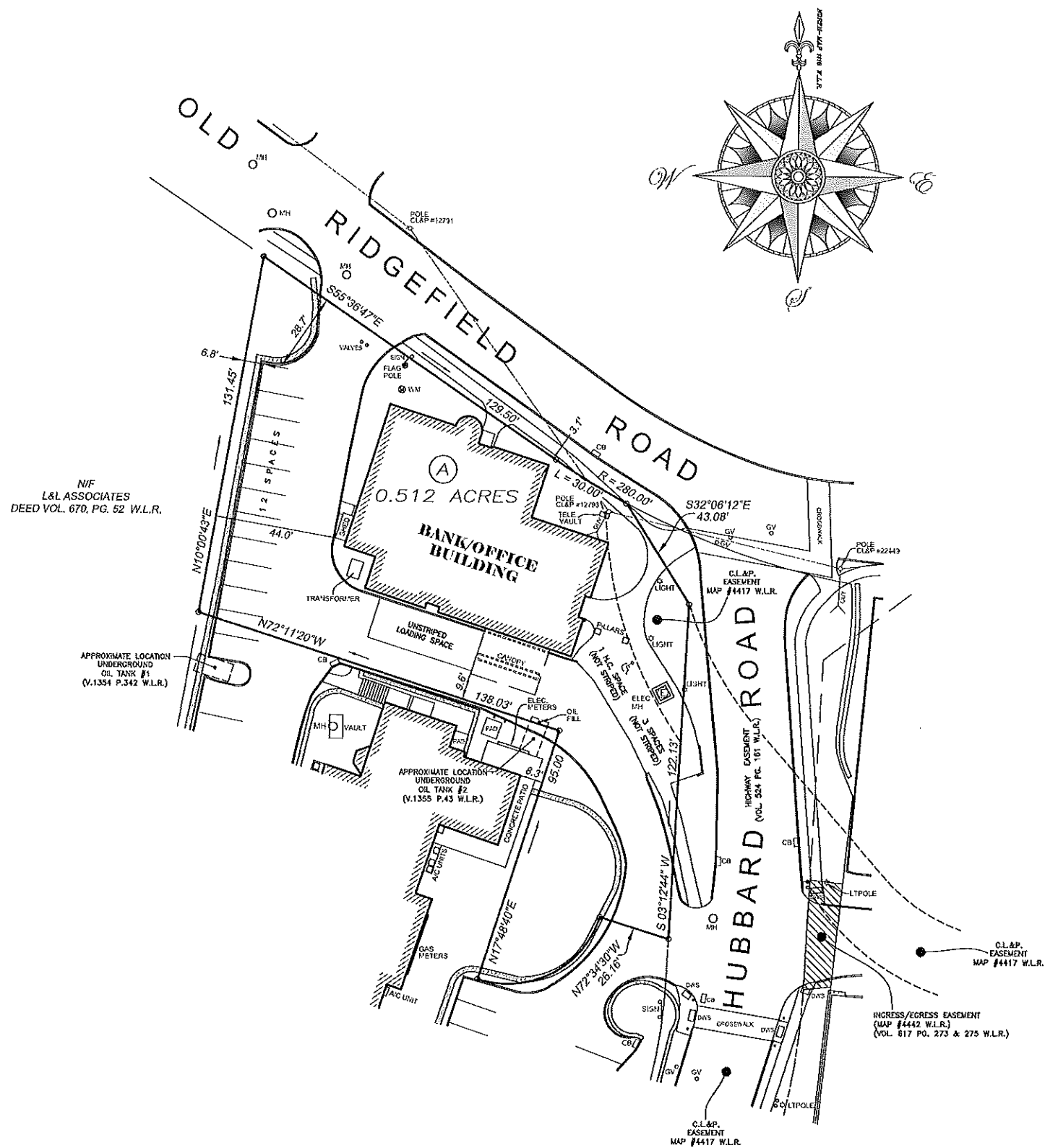
Respectfully submitted,
Gregory and Adams, P.C.

By: *James D'Alton Murphy*
James D'Alton Murphy

JDAM/ko

Enclosures

cc: Jordan Scott, Jason Scott, and Brandon Jones – Glengate Company
Jordan Scott and Jason Scott – Jared Martin EPC, LLC
Kathleen Royle, Esq.



ZONING TABLE — WC DISTRICT		
STANDARD	MIN.REQ./MAX.ALL.	EXISTING — PARCEL A #47 OLD RIDGEFIELD ROAD
BUILDING REQUIREMENTS		
MINIMUM LOT AREA	NONE	22,307 Sq. Ft.
MINIMUM LOT FRONTAGE	NONE	324.71'
FRONT YARD — MINIMUM	10'	3.1'
FRONT YARD — MAXIMUM	20'	3.1'
SIDE YARD — MINIMUM	0'	9.6'
SIDE YARD (abutting res. dist.)	75'	N/A
REAR YARD — MINIMUM	20'	44.0'
REAR YARD (abutting res. dist.)	75'	N/A
BUILDING COVERAGE — MAXIMUM	30% / 8,892 SF	5,880 SF / 25.5%
SITE COVERAGE — MAXIMUM	80% / 17,845 SF	13,857 SF / 60.8%
FLOOR AREA RATIO — MAXIMUM	0.50	0.45 (per tax assessor records)
PARKING REQUIREMENTS		
FRONT YARD — MINIMUM	10'	28.7'
SIDE YARD — MINIMUM	0'	0.0'
SIDE YARD (abutting res. dist.)	60'	N/A
REAR YARD — MINIMUM	0'	6.8'
REAR YARD (abutting res. dist.)	60'	N/A
TOTAL SPACES		14

NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2. It is intended to depict property boundaries and locations of improvements.
- Reference is made to the following on file with Wilton Land Records:
LOT A (47 OLD RIDGEFIELD ROAD)
-Right of way granted in a deed to The Wilton Cooperative School recorded in volume 53 at page 243
-Easement to The Connecticut Light and Power Company dated March 8, 1956 recorded in volume 68 at page 341
-Easement to the Town of Wilton for highway purposes as noted in a deed dated December 5, 1985 recorded in volume 524 at page 161
-Easement Agreement dated April 24, 1986 recorded in volume 586 at page 293
-Easement Agreements dated June 15, 1987 recorded in volume 617 at pages 273 and 275
-Utility Easement to The Connecticut Light and Power Company dated February 10, 1987 recorded in volume 658 at page 217
-Easements and rights of way as set forth in the Declaration of Reciprocal Easements and Maintenance Agreement dated January 25, 2002 recorded in volume 1354 at page 72. Easements not depicted hereon.
-Oil Tank Easement dated February 4, 2001 recorded in volume 1354 at page 342
-Oil Tank Easement dated February 4, 2002 recorded in volume 1355 at page 43
-Warranty Deed dated April 17, 2006 recorded in volume 1863 at page 258
-Refer to Parcel A, Map 5307 and to maps #1116, #3600, #4159, #4417, #4441, #4442 & #4465
- Property located in Wilton Center District.
- Reference is made to FEMA Flood Insurance Rate Map No. 09001C0383F, Effective Date 6/16/2010. Subject Parcel does not lie within a Special Flood Hazard Area.
- Reciprocal Easements not depicted hereon.

PROPERTY SURVEY
47 OLD RIDGEFIELD ROAD
PREPARED FOR
GLENGATE COMPANY
WILTON, CONNECTICUT

0' 30' 60' 90'
SCALE 1" = 30'

TO MY KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

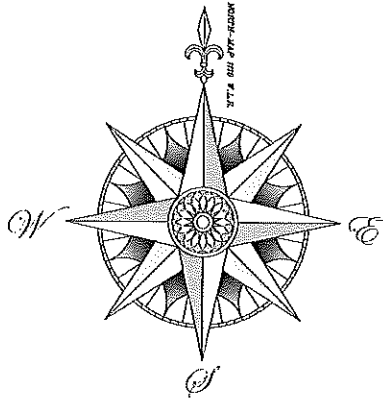
D. R. Faulds
DOUGLAS R. FAULDS
LAND SURVEYOR CONN. LIC. No. 13292

MARCH 4, 2022

Ryan and Faulds
LAND SURVEYORS | A Redniss & Mead Company

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Ph. (203) 762-9492 ryanandfaulds.com



NF
LAL ASSOCIATES
DEED VOL. 670, PG. 62 W.L.R.

APPROXIMATE LOCATION
UNDERGROUND
GAS LINE
(N. 1354 P. 135 W.L.R.)

APPROXIMATE LOCATION
UNDERGROUND
GAS LINE
(N. 1354 P. 135 W.L.R.)

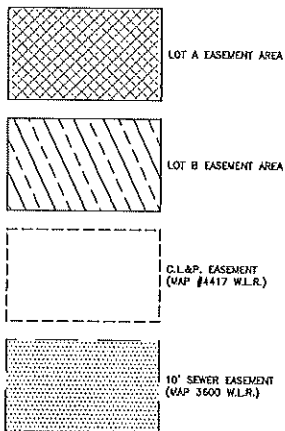
CLAP. EASEMENT
MAP #1117 W.L.R.

NF
DAVID HAGMAN
#18 GRANVEST RIDGE ROAD
DEED VOL. 1718, PG. 330 W.L.R.

1.267 ACRES

NF
COMMUNITY NURSERY SCHOOL OF WILTON
#20 HUBBARD ROAD
DEED VOL. 703, PG. 291 W.L.R.

NF
TOWN OF WILTON
(POST OFFICE)
#15 HUBBARD ROAD
DEED VOL. 439, PG. 291 W.L.R.



8704_PS_BOTH PARCELS.dwg

ZONING TABLE — WC DISTRICT

STANDARD	MIN. REQ. / MAX. ALL.	EXISTING — PARCEL A #47 OLD RIDGEFIELD ROAD	EXISTING — PARCEL B #3 HUBBARD ROAD
BUILDING REQUIREMENTS			
MINIMUM LOT AREA	NONE	22,307 Sq. Ft.	65,359 Sq. Ft.
MINIMUM LOT FRONTAGE	NONE	324.71'	105.74'
FRONT YARD — MINIMUM	10'	3.1'	70.8'
FRONT YARD — MAXIMUM	50'		
SIDE YARD — MINIMUM	0'	0.5'	0.3'
SIDE YARD (abutting res. dist.)	75'	N/A	N/A
REAR YARD — MINIMUM	20'	44.0'	49.4'
REAR YARD (abutting res. dist.)	75'	N/A	201.9'
BUILDING COVERAGE — MAXIMUM	20% / 6,692 SF	5,592 SF / 25.5%	6,310 SF / 11.4%
SITE COVERAGE — MAXIMUM	80% / 17,840 SF	13,597 SF / 60.8%	25,610 SF / 48.3%
FLOOR AREA RATIO — MAXIMUM	0.50	0.48 (per tax assessor records)	0.28 (per tax assessor records)
PARKING REQUIREMENTS			
FRONT YARD — MINIMUM	10'	28.3'	6.8'
SIDE YARD — MINIMUM	0'	0.0'	0.0'
SIDE YARD (abutting res. dist.)	50'	N/A	N/A
REAR YARD — MINIMUM	0'	0.0'	4.0'
REAR YARD (abutting res. dist.)	50'	N/A	70.1'
TOTAL SPACES		14	64

NOTES:

- This survey has been prepared in accordance with Sections 20-30(b)-1 thru 20-30(b)-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property Survey by the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2. It is intended to depict property boundaries and locations of improvements.
- Reference is made to the following on file with Wilton Land Records:
LOT A (47 OLD RIDGEFIELD ROAD)
-Right of way granted in a deed to The Wilton Cooperative School recorded in volume 53 at page 243
-Easement to The Connecticut Light and Power Company dated March 6, 1956 recorded in volume 68 at page 341
-Easement to the Town of Wilton for highway purposes as noted in a deed dated December 5, 1955 recorded in volume 524 at page 161
-Easement Agreement dated April 24, 1986 recorded in volume 566 at page 293
-Easement Agreements dated June 15, 1987 recorded in volume 617 at pages 273 and 275
-Utility Easement to The Connecticut Light and Power Company dated February 10, 1987 recorded in volume 658 at page 217
-Easements and rights of way as set forth in the Declaration of Reciprocal Easements and Maintenance Agreement dated January 25, 2002 recorded in volume 1354 at page 72
-01 Tank Easement dated February 4, 2001 recorded in volume 1354 at page 342
-01 Tank Easement dated February 4, 2002 recorded in volume 1355 at page 43
-Warranty Deed dated April 17, 2008 recorded in volume 1663 at page 258
-Refer to Parcel A, Map 5307 and to maps #1116, #3600, #4159, #4417, #4441, #4442 & #4465
LOT B (3 HUBBARD ROAD)
-Easement to The Connecticut Light and Power Company dated March 6, 1956 recorded in volume 68 at page 341
-Easement to the Town of Wilton for highway purposes as noted in a deed dated December 5, 1955 recorded in volume 524 at page 161
-Easement Agreement dated April 24, 1986 recorded in volume 566 at page 293
-Easement Agreements dated June 15, 1987 recorded in volume 617 at pages 273 & 275
-Utility Easement to The Connecticut Light and Power Company dated February 10, 1987 recorded in volume 658 at page 217
-Easements and rights of way as set forth in the Declaration of Reciprocal Easements and Maintenance Agreement dated January 25, 2002 recorded in volume 1354 at page 72
-01 Tank Easement dated February 4, 2002 recorded in volume 1355 at page 42
-Warranty Deed dated July 19, 2013 recorded in volume 2339 at page 102
-Refer to Parcel B, Map 5307 and to maps #1116, #3600, #4159, #4417, #4441, #4442 & #4465
- Properly located in Wilton Center District.
- Subsurface utility, structure and facility locations depicted hereon have been compiled, in part, from paint markings from an unknown source and field measurements. These locations must be considered as approximate, may not be complete and other such features may exist on the site. The site, location and existence of all such features must be verified by the appropriate authorities prior to construction.
- Reference is made to FEMA Flood Insurance Rate Map No. 09001C0383F, Effective Date 6/18/2010. Subject Parcels do not lie within a Special Flood Hazard Area.

PROPERTY SURVEY
47 OLD RIDGEFIELD ROAD &
3 HUBBARD ROAD

PREPARED FOR

GLENGATE COMPANY

WILTON, CONNECTICUT

SCALE 1" = 30'

TO MY KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

DOUGLAS H. FAULDS
LAND SURVEYOR CONN. LIC. No. 13282

MARCH 4, 2022

Ryan and Faulds
LAND SURVEYORS | A Rednis & Mead Company

11 GRUMMAN HILL ROAD
WILTON, CT 06497
Ph. (203) 762-8482 ryanandfaulds.com

WILTON PLANNING AND ZONING COMMISSION	FORM B - ZONING DATA
Include the following data on the required Site Development Plan, as well.	

47 Old Ridgefield Road	0.512 acres
PROPERTY ADDRESS	LOT ACREAGE
WC	Corner Lot - total frontage
ZONING DISTRICT	LOT FRONTAGE 324.71 l. ft.

	PER ZONING REGS (MAX OR MIN ALLOWED)	EXISTING	PROPOSED	TOTAL
GROSS FLOOR AREA [SF]	-----	10,459	-----	10,459
BUILDING FOOTPRINT [SF]	-----	5,175	-----	5,175
BUILDING COVERAGE [SF/%] (round up)	30%	25.0%	-----	25.0%
BUILDING HEIGHT [FT - Story]	3/42'	26'	-----	26'
FLOOR AREA RATIO (F.A.R.)	0.50	0.47	-----	0.47
PARKING SPACES (round up)	38 spaces	68 spaces	-----	68 spaces
LOADING SPACES	1	1	1	1
SITE COVERAGE [SF/%]	80%	70.1%	-----	70.1%

OFF-STREET PARKING AND LOADING CALCULATIONS

Please provide the specific calculation used to determine the minimum required off-street parking and loading spaces pursuant to the Zoning Regulations.

PARKING CALCULATION (Use separate page, if necessary)
See attached.
LOADING CALCULATION (Use separate page, if necessary)
Per Section 29-8.B.7.a - 1 loading space required

PLAN OF CONSERVATION AND DEVELOPMENT

Please indicate on separate page how this proposal complies with the Plan of Conservation and Development.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein:	
Glengate Company and Jared Martin ERC, LLC by their Agent, Gregory and Adams, P.C.	
By: James D'Alton Murphy	Revised 3/24/22
APPLICANT'S SIGNATURE	DATE

Parking Calculation: REVISED 03-24-22

The existing use of the Property by Bankwell combines retail/banking and general office use. Glengate's use will also be a combination of retail and general office use. Under Sections 29-8.B.5.b.(3) and (17) of the Regulations, in Wilton Center Off-Street Parking is calculated at the following ratios:

1) Retail Use is calculated at 1/250 square feet

2) General Office Use is calculated at 1/300 square feet.

To approach the calculation conservatively we applied the more aggressive retail ratio to the entire first floor of the building, even though there will be a mix of retail and general office space on that floor. We applied the general office use calculation to the entire second floor as that entire floor will be used as general office space.

The calculations result in the following minimum parking requirements:

First Floor: $5175/250 = 20.7 = \mathbf{21\ parking\ spaces}$

Second Floor: $4813/300 = 16.04 = \mathbf{17\ parking\ spaces}$

Resulting in a total of **38 parking spaces** needed for compliance with the Regulations. Glengate has rights to 68 spaces.