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August 31, 2021

Via Email and Hand Delivery

Planning and Zoning Commission
Town Hall Annex
238 Danbury Road
Wilton, CT 06897

Attn: Mr. Michael E. Wrinn – Director of Planning and Land Use Management

Re: Connecticut Humane Society – Application for Special Permit and Site Plan Review
(SP#480) and Application for Regulation Amendment (REG#21388)
Premises: 863-875 Danbury Road, Wilton, CT

Dear Mr. Chairman and Members of the Commission:

As attorney for Connecticut Humane Society (“CHS”), this letter sets forth our responses to the comments and questions contained in Director Wrinn’s email dated July 30, 2021. In support of those responses, either for reference or because they have been amended, I enclose one (1) copy each of the following:

1. Landscape Plan (LP.1) prepared by Environmental Land Solutions (“ELS”) dated July 1, 2021, revised August 27, 2021.
2. Details and Notes (LP.2) prepared by ELS dated July 1, 2021, revised August 27, 2021.
3. Site Development Plan (SE-1) prepared by Redniss & Mead (“R&M”) dated July 1, 2021.
4. Site Grading Plan (SE-2), prepared by R&M dated July 1, 2021 and revised August 24, 2021.
5. Site Utility Plan (SE-3), prepared by R&M, dated July 1, 2021, and revised August 24, 2021.

6. Site Septic Design Plan (SE-5), prepared by R&M, dated July 1, 2021 and revised August 24, 2021.
7. Notes and Details (SE-6) prepared by R&M dated July 1, 2021 and revised August 24, 2021.
8. Details (SE-8) prepared by R&M dated July 1, 2021, and revised August 24, 2021.
9. Memo from Frank Smeriglio, Assistant Director of Public Works/Town Engineer to Mike Conklin, Environmental Affairs dated August 5, 2021.
10. Updated List of Owners of Property Located Within 500' of the Premises.

Comments Relating to Signage:

Comment #1 This application will need an Alternative Signage Program Approval through the Commission. The plans provided for the signs are inadequate because they did not calculate the square footage for the signs as required in the regulations because they boxed out the letters on the monument sign and did not include the entire face of the blue signs as required. One wall logo that is blue in color on the south wall is not included in the sign calculations at all. They are asking for multiple wall signs and logos which are also considered signs. They are well above the 12 sq. ft. maximum square footage allowed for signage in Residential zones for non-residential uses. They will also require ARB approval. Based on the plans provided, it appears they may be looking for roof signage above the canopy because the renderings do not show if the letters above the canopy sign are attached to a wall. Roof signs are prohibited currently.

Response: *CHS is submitting an application under the Alternative Signage Program pursuant to Section 29-8.A.8. All matters regarding signage size and location will be addressed in that application.*

Comments Relating to Special Permit (SP#480):

Comment #1 Screening is required for parking areas visible from the road or from adjacent properties (Section 29-8.C.4.c.(3)), neither the northerly or southerly parking areas have much screening, except for some deciduous trees and two groupings of shrubs.

Response: *CHS has enhanced the screening of the parking lots as detailed in the Landscape Plan (LP.1) prepared by ELS dated July 1, 2021, revised August 27, 2021.*

Comment #2 Because of the non-residential use set in a residential zone, landscape buffers are required, this seems to be more necessary in the front than on the other sides of the property, (Section 29-8.C.2.).

Response: *Pursuant to Section 29-8.C.2.a, landscape buffers are needed only when a non-residential use abuts single family residential uses. As the easterly side of the property (i.e. the front of the proposed building) abuts Route 7, no landscape buffers are required. Please note that pursuant to our response to Comment #1 above, CHS will be adding*

screening to the parking areas that will provide some softening of the front view of the property. As for the remainder of the property, we believe that the density and size of the natural woody growth throughout the 18.32 acre site provides the requisite buffers from the remaining single family residential uses and are conserving as much of the natural terrain and existing vegetation as possible in accordance with Section 29-11.A.11.

Comment #3: One of the parking areas south of the proposed building doesn't have landscaped end-islands (Section 29-8.C.4.c.(2)(a)), is that because any proposed trees would interfere with the existing trees to remain?

Response: *CHS has added landscaping to the end-islands as detailed in the Landscape Plan (LP.1) prepared by ELS dated July 1, 2021, revised August 27, 2021.*

Comment #4: Some of the proposed grading, in the steepest areas seem to be just over the maximum allowable (Section 29-9.I.3).

Response: *It is CHS's intention to grade areas in compliance with Section 29-9.I.3 to the maximum extent possible. If CHS discovers that it is unable to meet the regulatory requirements set forth in Section 29-9.I.3, CHS will instead install retaining walls as described in Site Grading Plan (SE-2) from R&M, dated July 1, 2021, revised August 24, 2021.*

Comment #5: The engineer's plan should note that any retaining wall over 5' in height will have a fence on top at least 4' in height (Section 29-9.I.5).

Response: *CHS acknowledges this requirement and notes that on SE-1 prepared by Redniss & Mead, dated July 1, 2021, there is a note that states: "Proposed retaining all (6' tall max.). A 4' tall fence shall be installed on retaining walls greater than 5" (typ.)"*

Comment #6: The detail for the wheelchair accessible parking space unloading area note that it is either curbed or striped. It seems that they should either be dropped curbs or striped but not curbed.

Response: *CHS is providing flush curbs as shown on the updated Notes and Details (SE-6), prepared by R&M, dated July 1, 2021, revised August 24, 2021.*

Comment #7: Please provide a detail for dumpster screening. It is noted to be screened on the landscape plan.

Response: *Please note that Amenta/Emma, Sheet 10 – Utility Screening, dated July 1, 2021, identifies the proposed screening dimensions, construction, and construction material (color is the only variable to be determined as noted in the plan).*

Comment #8: What type of fencing is proposed for the play area?

Response: *CHS proposes to use a 6 foot tall black vinyl chain link fence for the play areas as shown in Landscape Plan (LP.1) prepared by ELS, dated July 1, 2021, revised August 27, 2021.*

Comment #9: How will the mechanical equipment be screened? Has rooftop screening been submitted?

Response: *Amenta/Emma has located the mechanical equipment in the rear area of the rooftop, which will render the mechanical equipment virtually invisible to pedestrians. CHS is requesting approval of the building without rooftop screening pursuant to the discretion provided the Commission in Section 29-4.C.1.d which states: "Necessary mechanical appurtenances, such as elevator enclosures, air-conditioning equipment, exhaust fans and water tanks shall be screened, where appropriate, as per the discretion of the Commission".*

Comment #10: Will one loading space be needed? Is there one proposed?

Response: *A parking/loading zone for deliveries, along the south side of the building, is noted on SE-1, prepared by Redniss & Mead, dated July 1, 2021. Given the nature of deliveries to CHS (e.g., pet food and veterinary/clinic supplies) no special loading dock is needed, just access to an ingress and egress door.*

Comment #11: The site plan calls for part of the parking area to be composed of porous asphalt. The Zoning Regulations don't call out porous and they don't allow site coverage for porous asphalt. There may have been discussions about this in the past and there was a concern about how the porous asphalt would be maintained, so that it would continue to function properly and continue to be permeable, in the long term and not just in the short term.

Response: *While the Zoning Regulations do not call out porous asphalt, they also do not prohibit or constrain the material used for the surface of parking lot paving and, porous asphalt, is a type of pavement that would be included in the Maximum Site Coverage notation of "paved areas". CHS is aware that porous asphalt needs to be maintained in a different way than non-porous asphalt and has set forth its maintenance intentions in the Site Engineering Report, prepared by Redniss & Mead, issued on July 1, 2021, Appendix 3, Operations and Maintenance Plan. In addition, the Wilton Department of Public Works has reviewed and approved the use of porous asphalt as per the enclosed memo from Frank Smeriglio to Mike Conklin dated August 5, 2021.*

Comment #12: Will the interior spaces for housing or treating dogs be sound proofed (as was required for the veterinary office on Danbury Road, by way of adaptive use?)

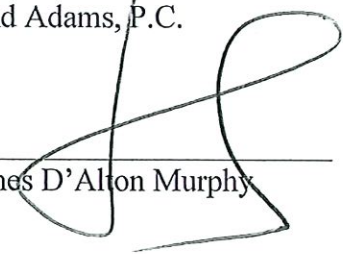
Response: *CHS intends to use soundproofing in the interior spaces as is consistent with current best design practice but, regardless of the final construction parameters, the building will be constructed to provide compliance with the noise level standards set forth in Section 29-9.H.7. Noise must be no greater than 80 decibels during the day and 55 decibels at night, both measured at the property line.*

Set forth below are responses to the preliminary comments contained in Director Wrinn's email of July 30, 2021, relating to Regulation Amendment (REG#21388):

Comment #1: Will the clinic part of the Humane Society be run privately and for profit, or will it also be non-profit (Section 29-5.A.3.r.)?

Response: *CHS will own and operate the clinic directly. Pursuant to CHS's 501(c)(3) status the clinic will be run on a non-profit basis. CHS will offer veterinary care at very low cost to those who cannot afford it.*

Respectfully submitted,
Gregory and Adams, P.C.

By: 
James D'Alton Murphy

JD'AM/ko
Enclosures

cc: Mr. James Bias – Connecticut Humane Society
Mr. Thomas Quarticelli, Mr. Michael Tyre and Ms. Debra Seay – Amenta Emma Architects
Mr. Michael Galante and Mr. Steve Cipolla – Hardesty & Hanover
Mr. Craig Flaherty and Mr. Vincent Hynes – Redniss & Mead
Ms. Kate Throckmorton – Environmental Land Solutions

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35	CF	POLYSTICHUM ACROSTICHOIDES	CHRISTMAS FERN	1 GAL.	CONT.
200	OS	ONOCLEA SENSIBILIS	SENSITIVE FERN	1 QRT.	CONT.
300	OC	OSMUNDA CINNAMOMEA	CINNAMON FERN	1 GAL.	CONT.
400	OR	OSMUNDA REGALIS	ROYAL FERN	1 GAL.	CONT.

1. REMOVAL OF NONNATIVE INVASIVE PLANTS TO BE ONGOING OVER A THREE (3) YEAR PERIOD (OR LONGER). SCOPE OF WORK MAY VARY YEAR TO YEAR BASED ON FINANCIAL LIMITATIONS.
2. THE LANDSCAPE CONTRACTOR SHALL CONTACT THE PROJECT ENVIRONMENTAL CONSULTANT WITH ANY QUESTIONS REGARDING THE CONTROL OR IDENTIFICATION OF INVASIVE NONNATIVE SPECIES.
3. THE LANDSCAPE CONTRACTOR SHALL FOLLOW THE METHODS AND RECOMMENDATIONS RECOMMENDED BY THE HERBICIDE MANUFACTURER AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS. A PERMIT FROM DEEP IS REQUIRED FOR ANY PESTICIDE APPLICATION TO A BODY OF WATER.
4. ALL CUT OR PULLED INVASIVE NONNATIVE PLANT MATERIALS SHALL BE DISPOSED OF APPROPRIATELY AND COMPLY WITH THE 2004 DEEP / UCONN "GUIDELINES FOR DISPOSAL OF TERRESTRIAL INVASIVE PLANTS". ALL CUTTINGS SHALL BE COLLECTED AND PLACED ONSITE ON A PLASTIC TARP (OR ON AN ASPHALT PAVEMENT AREA) AND SUN DRIED UNTIL DEAD. AVOID CUTTINGS FROM BEING IN CONTACT WITH ANY SOIL. DEAD PLANTS SHALL BE BAGGED AND DEPOSITED AT AN INCINERATOR WASTE FACILITY (NOT A COMPOSTING FACILITY).
5. START CONTROL OF INVASIVE PLANT SPECIES PRIOR TO THE START OF EARTH MOVING ACTIVITIES. CONTROL NONNATIVE INVASIVE SPECIES AS FOLLOWS:
 - A. FOR JAPANESE KNOTWEED, ASIATIC BITTERSWEET, AND ALANTHUS CONTROL.
 - STEP #1 (PRIOR TO HERBICIDE TREATMENT): CUT PLANT DOWN TO GRADE LEVEL DURING THE GROWING SEASON (LATE SUMMER OR EARLY FALL IS PREFERABLE). REMOVE ASIATIC BITTERSWEET ROOTS IF FEASIBLE. DISPOSE OF CUT PLANT MATERIAL AS OUTLINED ABOVE.
 - STEP #2: IMMEDIATELY AFTER CUTTING, TREAT CUT STEMS WITH AN APPROPRIATE HERBICIDE (SUCH AS ROUND-UP) AT THE RATE AND METHODS RECOMMENDED BY THE MANUFACTURER. CARE SHALL BE TAKEN TO AVOID HERBICIDE CONTACT WITH NATIVE OR OTHER DESIRABLE VEGETATION.
 - STEP #3: CHECK CONTROL AREA MONTHLY DURING THE GROWING SEASON FOR NEW GROWTH. SPOT TREAT NEW GROWTH WITH AN APPROPRIATE HERBICIDE AS NEEDED FOR CONTROL.
 - B. FOR MUGWORT CONTROL.
 - STEP #1: PULL PORCELAINBERRY PLANTS (INCLUDING ROOTS IF FEASIBLE) FROM THE GROUND DURING THE SPRING AND EARLY SUMMER MONTHS. HOWEVER, MANUAL CONTROL MAY BE DIFFICULT BECAUSE OF THEIR HE EXTENSIVE ROOT SYSTEM. IF PORCELAINBERRY IS CUT AT GRADE, TREAT CUT STEMS SYSTEMIC HERBICIDE.
 - STEP #2: FOLLOW UP WITH BOTH MANUAL REMOVAL AND HERBICIDE TREATMENT MONTHLY UNTIL CONTROLLED.
 - C. FOR PHRAGMITES CONTROL (ONLY IN PROPOSED WORK AREAS).
 - STEP #1: CUT BACK IN MID SUMMER AND APPLY HERBICIDE (GLYPHOSATE) WHEN REGROWTH REACHES 2'-3" TALL. GLYPHOSATE IS MOST ACTIVE IN LATE SUMMER WHEN PHRAGMITES IS IN FULL BLOOM. REFLECT HERBICIDE TREATMENT WILL LIKELY BE NECESSARY.
 - STEPS 2: AFTER 2 TO 3 WEEKS FOLLOWING HERBICIDE APPLICATIONS, CUT OR MOW DOWN THE STALKS TO STIMULATE THE EMERGENCE AND GROWTH OF OTHER PLANTS PREVIOUSLY SUPPRESSED.
6. CARE SHALL BE TAKEN TO AVOID HERBICIDE CONTACT WITH NATIVE OR OTHER DESIRABLE VEGETATION. IN AREAS WHERE NATIVE PLANTS ARE GROWING NEAR PLANTS TO BE CONTROLLED, THE HERBICIDE SHALL NOT BE SPRAYED OR HE TARGETED PLANTS. IN THESE AREAS THE HERBICIDE SHALL BE APPLIED WITH A BRUSH OR CLOTH.

1. DURING THE FIRST SEASON OF CONTROL (AND AS NEEDED), THE LANDSCAPE CONTRACTOR SHALL MEET ON SITE WITH THE PROJECT LANDSCAPE ARCHITECT TO REVIEW CONTROL OF JAPANESE KNOTWEED AS DESCRIBED BELOW. ADDITIONAL SITE MEETINGS MAY BE WARRANTED AS NEEDED.
2. THE LANDSCAPE CONTRACTOR SHALL CONTINUE THE CONTROL AS OUTLINED BELOW FOR A THREE (3) YEAR CONTINUOUS PERIOD.
3. ALL CUT OR PULLED PLANT MATERIALS SHALL BE DISPOSED OF APPROPRIATELY AND COMPLY WITH THE 2004 DEP / UCONN "GUIDELINES FOR DISPOSAL OF TERRESTRIAL INVASIVE PLANTS." ALL CUTTINGS SHALL BE COLLECTED AND PLACED ON SITE ON A PLASTIC TARP (OR ON AN ASPHALT PAVEMENT AREA) AND SUN DRIED UNTIL DEAD. AVOID CUTTINGS FROM BEING IN CONTACT WITH ANY SOIL. DEAD PLANTS SHALL BE BAGGED AND DEPOSITED AT AN INCINERATOR WASTE FACILITY (NOT A COMPOSTING FACILITY).
4. JAPANESE KNOTWEED CONTROL SHALL BE AS FOLLOWS WITH MODIFICATIONS AS NEEDED:
 - STEP #1: APRIL - JULY: CUT JAPANESE KNOTWEED MONTHLY TO JUST ABOVE GRADE. ALL CUTTINGS SHALL BE COLLECTED AND PLACED ON A PLASTIC TARP (OR ON AN ASPHALT PAVEMENT AREA) AND SUN DRIED UNTIL DEAD. AVOID CUTTINGS FROM BEING IN CONTACT WITH ANY SOIL. DEAD PLANTS SHALL BE BAGGED AND DEPOSITED AT AN INCINERATOR WASTE FACILITY (NOT A COMPOSTING FACILITY).
 - STEP #2: AUGUST - NOVEMBER: THOROUGHLY TREAT NEW GROWTH WITH AN APPROPRIATE HERBICIDE, SUCH AS ROUNDUP IN UPLAND AREAS AND IMAZAPYR (TRADE NAME: HABITAT) IN WET CONDITIONS, MONTHLY AT THE RATES AND METHODS RECOMMENDED BY THE MANUFACTURER. DO NOT APPLY SO HEAVILY THAT HERBICIDE WILL DRIP OFF LEAVES. DO NOT CUT DOWN TREED PLANTS UNTIL THE FOLLOWING MARCH.
 - STEP #3: REPEAT STEP #1 AND #2 FOR A THREE YEAR PERIOD OR AS NEEDED IF KNOTWEED STANDS ARE PERSISTENT.
 - STEP #4: WHEN STANDS OF JAPANESE KNOTWEED ARE NO LONGER PERSISTENT, CONTINUE TO INSPECT AREA MONTHLY DURING THE GROWING SEASON. IF JAPANESE KNOTWEED PLANTS ARE FOUND RESPROUTING IN LIMITED AREAS, REMOVE INDIVIDUAL PLANTS BY HAND GRUBBING LEAVES AND ROOTS. ALL GRUBBED PLANT PARTS SHALL BE SUN DRIED UNTIL DEAD AND AVOIDING ANY CONTACT WITH ANY SOIL.
 - STEP #5: AFTER THE TWO THREE YEAR CONTROL PERIOD IF STANDS OF JAPANESE KNOTWEED PLANTS RESPOND, PROCEED BACK TO STEP #1 ABOVE.

1. DO NOT FERTILIZE MITIGATION AREAS UNLESS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
2. MOW MITIGATION SEEDED AREAS MONTHLY TO A 4" HEIGHT DURING THE FIRST GROWING SEASON AFTER SEEDING TO CONTROL WEED PLANTS.
3. DURING THE FIRST GROWING SEASON, WATER PLANTINGS AS NEEDED UNTIL THEY BECOME ESTABLISHED.
4. DURING THE FIRST TWO GROWING SEASONS AFTER THE INITIAL SEEDING OF THE RESTORED AREA, RESEEDING BARE AND THINLY VEGETATED AREAS WITH THE SPECIFIED SEED MIXTURE.
5. ROUTINE YEARLY MAINTENANCE:
 - A. REMOVAL OF LITTER, AND DEAD, DISEASED, OR UNHEALTHY PLANT WHICH ARE A SAFETY HAZARD
 - B. REMOVAL OF INVASIVE NONNATIVE PLANT SPECIES CAN BE DONE BY HAND PULLING, CUTTING, OR SPOT HERBICIDE TREATMENTS.
LOCATION FOR THEIR ROOTS TO DRY. TUBEROUS WEED PLANTS (SUCH AS JAPANESE KNOTWEED AND PHRAGMITES) SHALL BE LEFT SOIL FREE ON AN IMPERVIOUS BARRIER (SUCH AS BLACK PLASTIC, DRIVEWAYS AND WALKS) UNTIL DEAD SO THAT THEY DO NOT RE-SPROUT. DO NOT REMOVE PULLED OR CUT NONNATIVE INVASIVE PLANTS FROM THE SITE UNTIL DEAD.

1. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO HAVE UNDERGROUND UTILITY LINES MARKED BY THEM PRIOR TO START OF ANY EXCAVATION WORK.
2. EXACT LOCATION OF PROPOSED PLANTINGS AND SPECIES TYPES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
3. SPRAY NEW PLANTINGS IMMEDIATELY AFTER INSTALLATION WITH A WHITE-TAILED DEER REPELLENT AND CONTINUE AS NEEDED TO MAINTAIN PLANTS FREE OF SIGNIFICANT DEER BROWSING.
4. PROTECT NEW DECIDUOUS TREE TRUNKS WITH 4" HT. CHICKEN-WIRE FENCING (OR OTHER PROTECTIVE NETTING) AS NEEDED TO PREVENT DEER RUBBING.
5. PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING. SUBSTITUTED PLANTS SHALL BE AT AN EQUAL OR GREATER SIZE AS NOTED USING A SIMILAR TYPE PLANT.
6. MULCH AREAS AROUND NEW TREES AND SHRUBS WITH A 3" THICK LAYER OF SHREDDED CEDAR BARK MULCH. NEW TREES SHALL EACH HAVE A 5' MIN. DIA. MULCHED BED AND NEW SHRUBS SHALL EACH HAVE A MINIMUM 3' DIAMETER MULCHED BED. AREAS WITHIN 4" OF TREE TRUNKS SHALL BE MAINTAINED FREE OF MULCH.
7. PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
8. THE CONTRACTOR SHALL VERIFY WITH THE PROJECT ENGINEER THAT THE NEW PLANTINGS DO NOT INTERFERE WITH EXISTING AND/OR PROPOSED UTILITIES, SIGHT LINES, AND/OR STRUCTURES.
9. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITIES OF PLANTS IN THE "PLANT LIST" AND THE ACTUAL QUANTITIES SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
10. THIS PLAN FOR PLANTING PURPOSES ONLY. SEE PLANS BY OTHERS FOR ADDITIONAL INFORMATION.
11. THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL IN AREAS TO BE LANDSCAPED FOR DETERMINING THE NEED OF ADDING SOIL AMENDMENTS TO SUPPORT PROPER PLANT GROWTH. SUCH AMENDMENTS SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR IF NEEDED.
12. WETLAND PLANT MATERIAL AVAILABLE FROM PINELANDS NURSERY & SUPPLY (800-667-2729). NEW WETLAND PLANTINGS SHALL HAVE BEEN GROWN IN HYDRIC CONDITIONS THAT MIMIC WETLANDS.
13. THE BOULDER DEMARCATION ROW SHALL BE COMPOSED OF TWO-MAN BOULDERS (2 CUBIC FEET) OR LARGER SPACED A MAXIMUM OF 20' ON CENTER. MAINTAINED LANDSCAPED AREAS (SUCH AS LAWN) WILL BE PERMITTED TO THE UPHILL SIDE OF THE BOULDER ROW. LAND TO THE DOWN HILL SIDE OF THE BOULDER ROW SHALL BE MAINTAINED IN A NATURAL UNMAINTAINED WOODED STATE (OR UNMANICURED VEGETATIVE STATE) (OR AS A MEADOW THAT IS MOWN ONCE PER YEAR DURING THE LATE FALL OR WINTER MONTHS TO A 4-6" HEIGHT. THE BOULDERS MAY BE PARTIALLY SUNKEN INTO THE GROUND WITH A MINIMUM OF 8-12" EXPOSED ABOVE THE FINAL GRADE.

1. THE SEED SHALL BE SPREAD ON PREPARED SOIL, RAKED LIGHTLY TO ESTABLISH GOOD SOIL CONTACT, AND MULCHED WITH A 2 INCH LOOSE LAYER OF CLEAN OAT STRAW OR COMMERCIAL WOOD FIBER PRODUCTS APPLIED BY HAND OR BY HYDROSEEDING ON SLOPES LESS THAN 10%. SEEDED AREAS ON SLOPES ON OR GREATER THAN 10% SHALL BE COVERED WITH A PLASTIC-FREE AND 100% BIODEGRADABLE (INCLUDING ANCHOR STAPLES) EROSION CONTROL BLANKET. A NURSE CROP OF PERENNIAL RYE GRASS AT THE RATE OF 40 LBS./ACRE SHALL BE ADDED TO THE SEED MIX ON SLOPES OF EXCESS OF 10% AND AS SPECIFIED. SEED MIX SUBSTITUTIONS SHALL BE EQUIVALENT TO THAT SPECIFIED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO USE. UNLESS OTHERWISE SPECIFIED, MAINTAIN SEEDED AREAS AS RELANDSCAPED BY THE MANUFACTURER. EXCEPT FOR LAWN AREAS, DO NOT FERTILIZE AREAS TO BE SEED UNLESS SPECIFIED BY THE MANUFACTURER. SEED AREAS AS PER THE FOLLOWING SCHEDULE:

A. LAWN (AROUND BUILDING AND PARKING LOT):
SEED DISTURBED LAWN AREAS WITH "BLACK BEAUTY FESCUE" OR APPROVED EQUAL. SEEDING RATES SHALL BE AT THE MANUFACTURER'S RECOMMENDED SEEDING RATE. FERTILIZE AT THE RATE, AS RECOMMENDED BY A ON SITE SOIL TEST.

B. SHADY LAWN AREAS (ADJACENT TO WALKS WEST OF THE BUILDING):
SEED SHADY LAWN AREAS WITH "SMART SEED DENSE SHADE MIX" BY PENNINGTON SEED INC. OR APPROVED EQUIVALENT. APPLY SOIL AMENDMENTS AS RECOMMENDED BY THE MANUFACTURER.

C. STEEP SLOPES:
SEED THIS AREA WITH "NATIVE STEEP SLOPE MIX WITH ANNUAL RYEGRASS" BY ERNST SEEDS (ERNMIX-181).

D. WETLAND BUFFERS (UPLAND AREAS):
SEED THIS AREA WITH "NEW ENGLAND CONSERVATION / WILDLIFE SEED MIX" BY FROM NEW ENGLAND WETLAND PLANTS, INC. (413-548-8000).

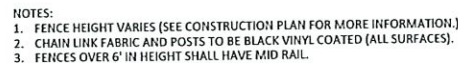
E. DAY LIGHTED WATERCOURSE CORRIDOR:
SEED THIS AREA WITH "WETMIX" BY NEW ENGLAND WETLAND PLANTS, INC. (413-548-8000).

F. WILD FLOWER MEADOW IN PARKING LOT:
SEED THIS AREA WITH "SHOWY NORTHEAST NATIVE WILDFLOWER & GRASS MIX", BY ERNST SEED #153.

2. IF SPECIFIED SEEDING CAN NOT OCCUR DUE TO SEASONAL AND WEATHER CONDITIONS, TEMPORARY SEEDING SHALL BE USED ON UPLAND AREAS WITH A MIXTURE OF ANNUAL RYE AT 20 LBS./ACRE, PERENNIAL RYE AT 20 LBS./ACRE, AND REDTOP AT 10 LBS./ACRE AND DISTURBED WETLAND AREAS WITH ANNUAL RYE AT THE RATE OF 30 LBS./ACRE. MULCHING, WITHOUT SEEDING, MAY BE USED DURING THE NON-GROWING SEASON IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL (2002)".

3. THE SEED SHALL BE SPREAD ON PREPARED SOIL, RAKED LIGHTLY TO ESTABLISH GOOD SOIL CONTACT, AND MULCHED WITH A 2 INCH LOOSE LAYER OF CLEAN OAT STRAW OR COMMERCIAL WOOD FIBER PRODUCTS APPLIED BY HAND OR BY HYDROSEEDING ON SLOPES LESS THAN 10%. SEEDED AREAS THAT ARE ON SLOPES ON OR GREATER THAN 10% SHALL BE COVERED WITH AN EROSION CONTROL BLANKET (INCLUDING ANCHOR STAPLES) THAT IS PLASTIC-FREE AND 100% BIODEGRADABLE OR PHOTODEGRADABLE WITHIN TWO YEARS.

1. THE WETLAND CREATION SITE SHALL HAVE A 6-8" LAYER OF WETLAND SOIL MIX CONSISTING OF AN EQUAL VOLUMES OF ORGANIC AND MINERAL MATERIALS. WELL-DECOMPOSED CLEAN LEAF COMPOST IS THE PREFERRED SOIL AMENDMENT TO ACHIEVE THESE STANDARDS. WETLAND SOILS SHALL HAVE A MINIMUM OF 7 TO 21 PERCENT ORGANIC MATTER ON A DRY WEIGHT BASIS. "CLEAN" REFERS TO BEING WOOD FREE, CONTAINING A NEGLIGIBLE AMOUNT OF PHYSICAL CONTAMINANTS SUCH AS PLASTIC, AND A LACK OF CHEMICAL CONTAMINANTS THAT MIGHT POSE A HAZARD TO PLANTS OR ANIMALS. ONSITE STOCKPILED TOPSOIL MAY BE USED IN WETLAND SOIL MIX IF SUITABLE. COMMERCIAL PEAT IS NOT SUITABLE AS A SOIL AMENDMENTS WITHOUT THE PRIOR APPROVAL OF THE WETLAND SCIENTIST SINCE ITS HARVESTING METHODS ARE GENERALLY DESTRUCTIVE TO WETLANDS.
2. AVOID SOIL COMPACTION BY HEAVY MACHINERY IN THE WATERCOURSE RECREATION AND BUFFER AREAS SINCE THIS MAY ADVERSELY AFFECT PLANTINGS AND/OR MAY RESULT IN PERCHING OF WATER. IF USE OF HEAVY MACHINERY CANNOT BE AVOIDED, LOOSEN BY DISKING OR SOME OTHER TREATMENT TO LOOSEN THE SOIL SURFACE PRIOR TO PLANTING.
3. ADD COARSE WOODY DEBRIS, SUCH AS LOGS, STUMPS, SMALLER BRANCHES, AND STANDING SNAGS (BUT NOT WOOD CHIPS OR MULCH MADE FROM WOOD), OVER THE CREATED WETLAND AREAS. COARSE WOODY DEBRIS SHALL BE IN VARIOUS STAGES OF DECOMPOSITION AND SALVAGED FROM NATURAL AREAS CLEARED FOR THE OTHER ELEMENTS OF THE PROJECT WHERE FEASIBLE. IN AREAS WHICH MAY BECOME FLOODED, ANCHOR OR PARTIALLY BURY SNAGS AND OTHER LARGER COMPONENTS OF WOODY DEBRIS INTO THE SOIL.

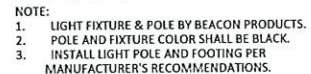


SCALE: NOT TO SCALE

1. SITE LIGHTING INFORMATION ON PLAN WAS PREPARED BY OTHERS AND IS SHOWN ONLY FOR GENERAL REFERENCE PURPOSES.
2. SITE LIGHTING INFORMATION AND LIGHTING PLANS PREPARED BY ENVIRONMENTAL LAND SOLUTIONS, LLC ARE DESIGNED FOR GENERAL LANDSCAPE AESTHETIC PURPOSES ONLY. LIGHTING INFORMATION SHOWN ON THIS PLAN SHALL NOT BE USED FOR SECURITY OR SAFETY PURPOSES.
3. LOCATION AND TYPE OF LIGHT FIXTURES ARE TYPICAL AND MAY VARY BASED ON ACTUAL FIELD CONDITIONS, SITE AND ARCHITECTURAL PLAN, EXISTING USE OF EXISTING LIGHTING (IF ANY), NEW BUILDING MOUNTED LIGHTING, AESTHETICS, AND CONSULTATIONS WITH LIGHTING CONSULTANT AND/OR MANUFACTURER.
4. THIS PLAN ASSUMES THAT THE BUILDING WILL HAVE WALL MOUNTED FIXTURES (BY OTHERS) TO LIGHT THE FACADE AND ADJACENT LANDSCAPE AREAS (INCLUDING WALKS AND DOORS).
5. INSTALL LIGHT FIXTURES AS RECOMMENDED BY THE MANUFACTURER.
6. LIGHT POLES ADJACENT TO PARKING SPACES SHALL BE SET AT LEAST 3' OFF THE CURB LINE TO PREVENT BEING BUMPED BY VEHICLES.

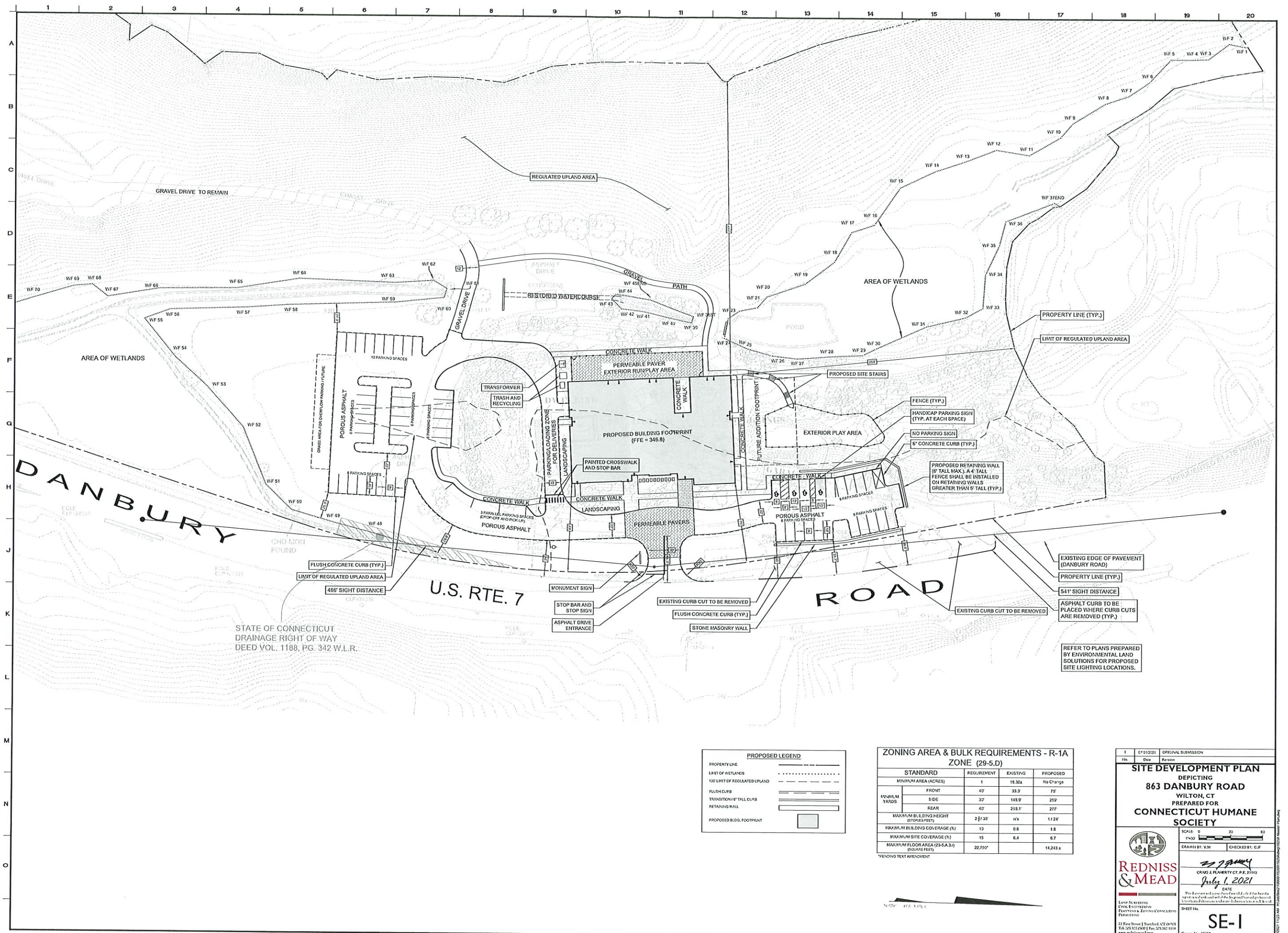


SCALE: NOT TO SCALE



SCALE: NOT TO SCALE

REVISIONS:			DRAWING TITLE:		
			DETAILS AND NOTES		
			PROJECT:		
			CONNECTICUT HUMANE SOCIETY		
			863 DANBURY ROAD		
			WILTON, CONNECTICUT		
1	8-27-21	WALL AND FENCE DETAIL ADDED			
 ENVIRONMENTAL LAND SOLUTIONS, LLC Landscape Architecture and Environmental Planning 8 KNIGHT STREET, SUITE 203 NORWALK, CONNECTICUT 06851 Tel: (203) 855-7879 Fax: (203) 855-7836 info@elsllc.net www.elsllc.net			SCALE:		DATE: JULY 1, 2021
					SCALE: 1"=20'
			DRAWING NO.:		LP.2



PROPOSED LEGEND	
PROPERTY LINE	---
LIMIT OF WETLANDS	
100' LIMIT OF REGULATED UPLAND	-----
FLUSH CURB	=====
TRANSITION 1/2" TALL CURB	=====
RETAINING WALL	=====
PROPOSED BLDG. FOOTPRINT	■

ZONING AREA & BULK REQUIREMENTS - R-1A ZONE (29-5.D)			
STANDARD	REQUIREMENT	EXISTING	PROPOSED
MINIMUM YARDS	FRONT	40'	33.3'
	SIDE	30'	145.9'
	REAR	40'	235.1'
MAXIMUM BUILDING HEIGHT (STORIES FEET)	2 1/2 / 35'	n/a	1 / 24'
MAXIMUM BUILDING COVERAGE (%)	10	0.6	1.8
MAXIMUM SITE COVERAGE (%)	15	6.4	6.7
MAXIMUM FLOOR AREA (29-5A.3) (SQUARE FEET)	22,750'		11,243 s

1

07/01/2021

089204L SUBMISSION

No.	Date	Reason
1	07/01/2021	089204L SUBMISSION

863 DANBURY ROAD

WILTON, CT

PREPARED FOR

CONNECTICUT HUMANE SOCIETY

REDNISS & MEAD

Civil Engineering

PLANNING & ZONING CONSULTING

PAVING

22 Elm Street | Stamford, CT 06905
Tel: 203.327.0000 | Fax: 203.367.1118
www.rednissandmead.com

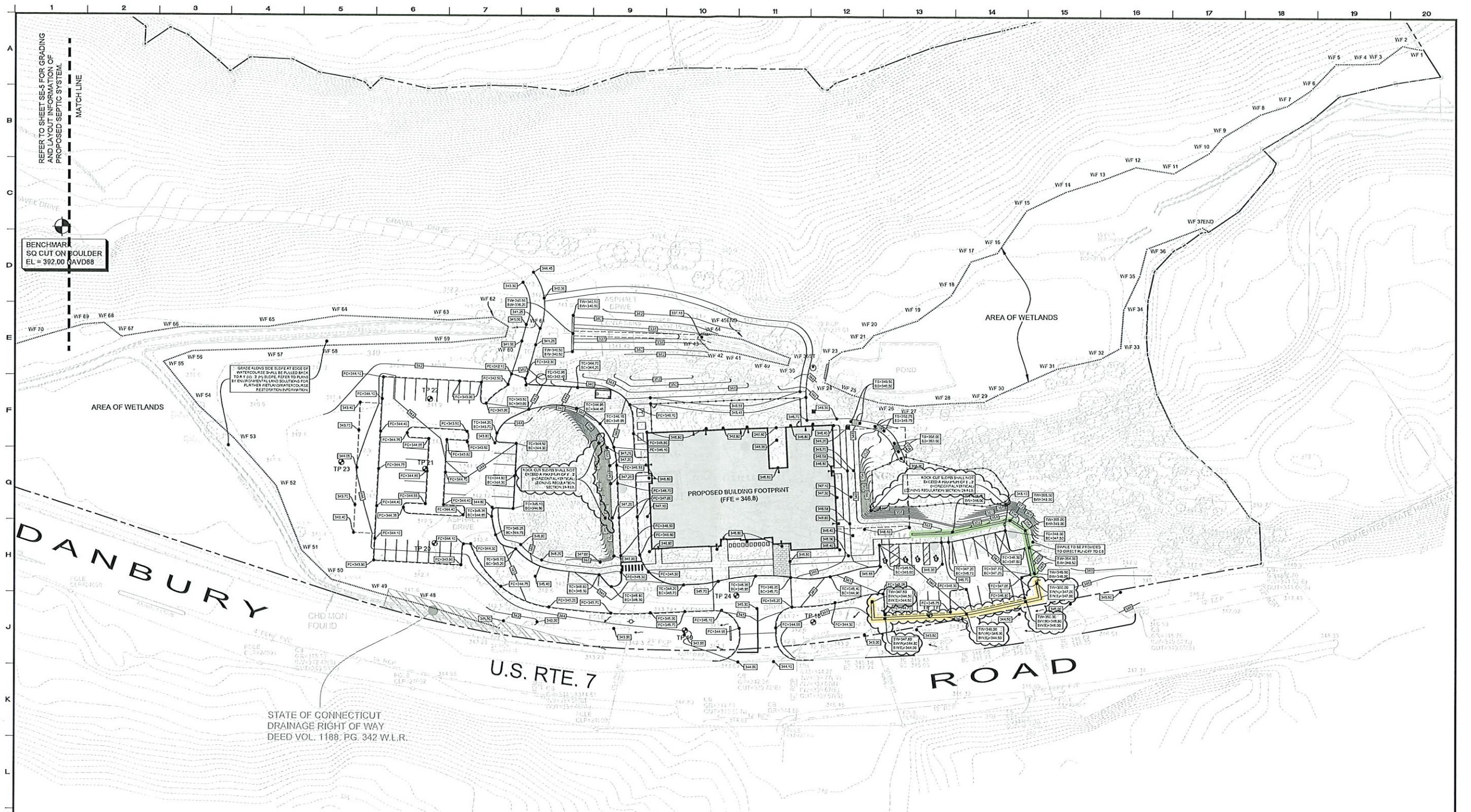
SCALE: 0 20 40
1"=30'

DRAWN BY: Y.M. CHECKED BY: C.J.F.

DATE: July 1, 2021

CRD: J. FLAHERTY CT. P.E. 21113

SE-I

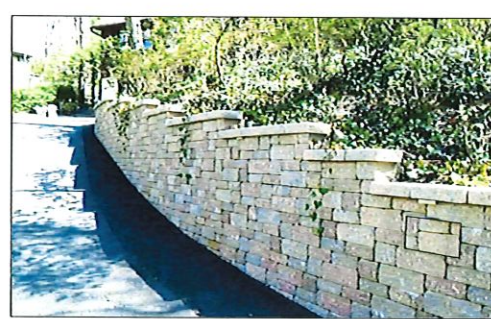


STATE OF CONNECTICUT
DRAINAGE RIGHT OF WAY
DEED VOL. 1188, PG. 342 W.L.R.

REPRESENTATIVE IMAGE
SEGMENTAL BLOCK RETAINING WALL



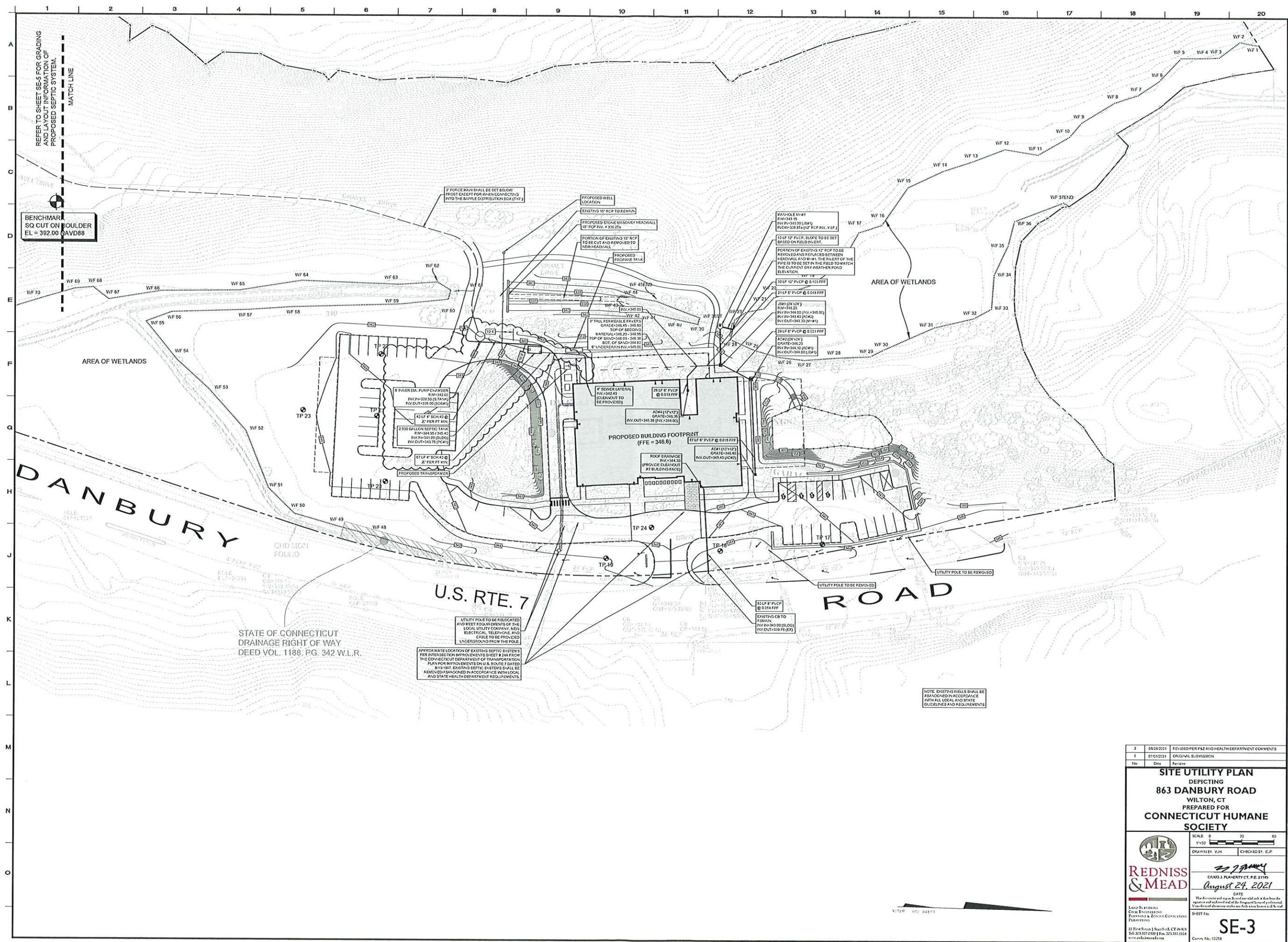
REPRESENTATIVE IMAGE
STONE MASONRY



GRADING LEGEND	
PROPOSED SPOT GRADE	PROPOSED FLUSH CURB ELEVATION
PROPOSED 6" TALL CURB ELEVATION	PROPOSED 12" TALL CURB ELEVATION
PROPOSED WALL ELEVATION	

WALL TYPE LEGEND	
LARGE OR SMALL SEGMENTAL BLOCK	STONE MASONRY

2	06/24/2021	REVISED PER PAZ AND HEALTH DEPARTMENT COMMENTS
1	07/15/2021	ORIGINAL SUBMISSION
Rev	Date	Revision
SITE GRADING PLAN DEPICTING 863 DANBURY ROAD WILTON, CT PREPARED FOR CONNECTICUT HUMANE SOCIETY		
 REDNISS & MEAD LAND SURVEYING CIVIL ENGINEERING PLANNING & ZONING CONSULTANTS PERMITTING		
SCALE: 0 30 60 1"=30' DRAWN BY: V.H. CHECKED BY: C.J.F.		
DATE: August 24, 2021 CRAIG J. PLANNETT, P.E. 31113 The document and upon it are valid only if they bear the signature and seal of the Registered Professional Engineer. Unchecked and otherwise unless they bear the signature of the Professional Engineer.		
22 First Street Shelton, CT 06484 Tel: 203.397.0200 Fax: 203.397.1115 www.rednissandmead.com		
SHEET 720		SE-2
Conn. 16: 12258		



2	08/24/2021	REVISED PER PRELIMINARY HEALTH DEPARTMENT COMMENTS
1	07/15/2021	ORIGINAL SUBMISSION
No.	Date	Revision

SITE UTILITY PLAN
DEPICTING
863 DANBURY ROAD
WILTON, CT
PREPARED FOR
CONNECTICUT HUMANE SOCIETY

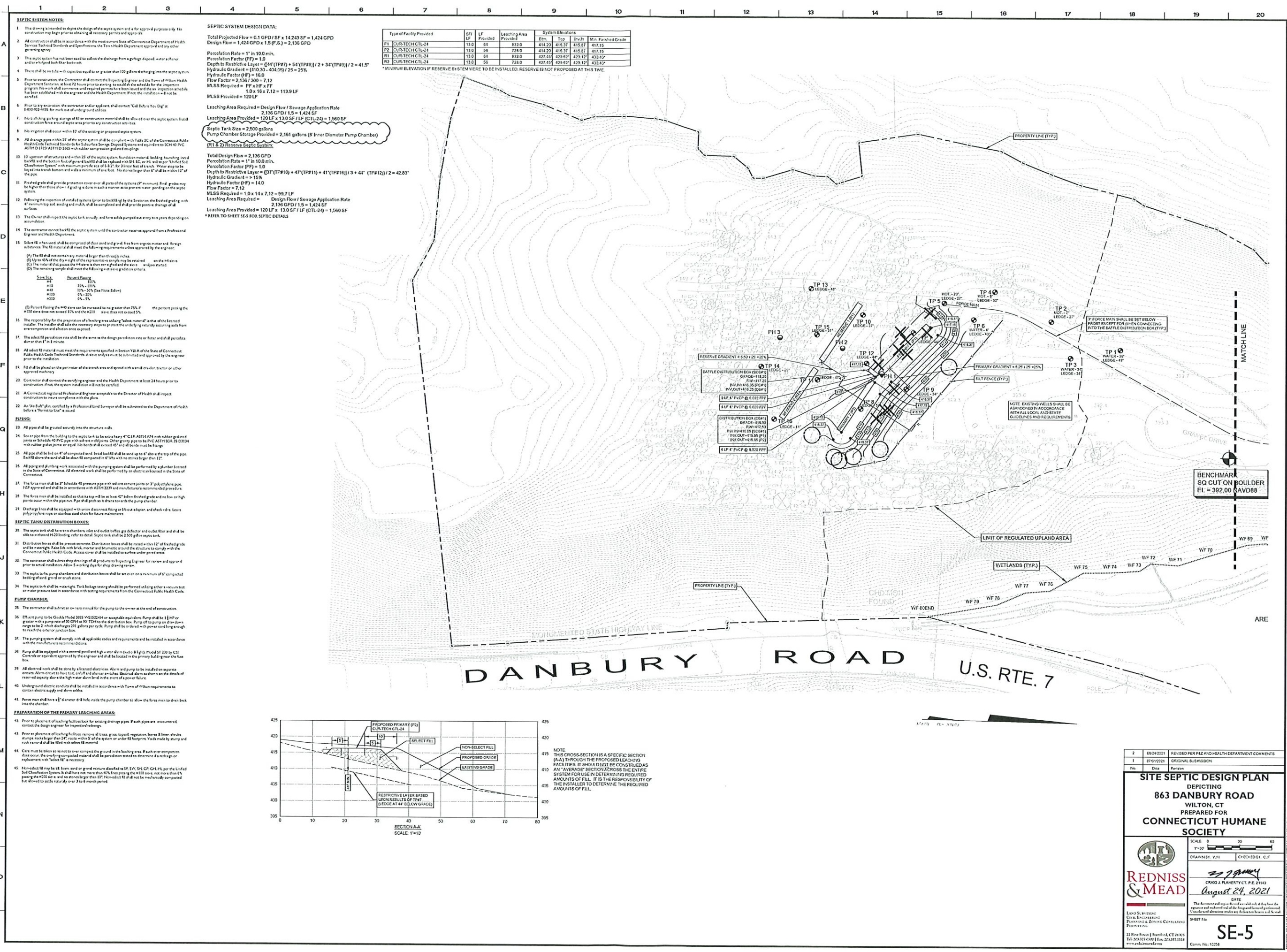
REDNISS & MEAD
LAND SURVEYING
CIVIL ENGINEERING
PLANNING & ZONING CONSULTING
PLANNING

SCALE: 1"=30'
DRAWN BY: VJM
CHECKED BY: CJP

Chris J. Flannery
CHRIS J. FLANNERY, P.E. 21149
August 24, 2021
DATE

The documents and reports prepared by this office are valid only if they have been prepared and issued under the direct supervision and professional seal of a duly licensed professional engineer or architect. The undersigned hereby certifies that he/she is the author of the work shown on this plan and that he/she is a duly licensed professional engineer or architect in the State of Connecticut.

SHEET 10
SE-3
Conn. Reg. 10258



SEPTIC SYSTEM NOTES:

- 1. This drawing is intended to design the layout of the septic system and is for approval purposes only. No construction may begin prior to obtaining all necessary permits and approvals.
- 2. All construction shall be in accordance with the most current State of Connecticut Department of Health Technical Standards and Specifications, the Town of Wilton Health Department approval and any other governing agency.
- 3. This septic system has not been used to collect the discharge from a garbage disposal, water softener and/or a sump pump discharge.
- 4. There shall be no leaks or seepage equal to or greater than 100 gpd from the septic system.
- 5. Prior to construction, the contractor shall contact the Inspecting Engineer and the Town of Wilton Health Department to schedule a pre-construction meeting to establish the schedule for the inspection program. The contractor shall ensure that the inspection program is completed and the inspection schedule has been established with the engineer and the Health Department. If not, the installation will not be certified.
- 6. Prior to any excavation, the contractor and/or applicant shall contact "Call Before You Dig" at 1-800-485-4433 for mark out of underground utilities.
- 7. No traffic/parking storage of fill or construction material shall be allowed over the septic system. Road construction area around septic system shall be maintained.
- 8. No excavation shall occur within 12' of the existing or proposed septic system.
- 9. All drainage pipes within 25' of the septic system shall be completed with Table 2C of the Connecticut Public Health Code Technical Standards for Sanitary Sewerage Systems and equivalent to 404 (PVC) ASTM D 1752 (ASTM D 2665) with rubber compression gasketed end.
- 10. 12" system of structures and within 25' of the septic system foundation material, including building footings and the bottom foot of any building shall be replaced with 12" or 16" and upper "Unified Soil Classification System" with maximum particle size of 1/4" for 12" or 3/8" for 16" of septic system. Water stop to be located at each bottom and with a minimum of 6" seal. No stone larger than 6" shall be within 12" of the pipe.
- 11. Finished grade shall provide protection over all parts of the system (P, M, and L). Road grade may be higher than the septic system if a grade is done in such a manner to prevent water ponding on the septic system.
- 12. Following the inspection of installed system prior to backfilling by the Inspecting Engineer, the finished grading with 4" minimum top soil, seeding and mulch shall be completed and shall provide positive drainage of all surface.
- 13. The Owner shall inspect the septic tank annually, and have solids pumped out every two years depending on accumulation.
- 14. The contractor cannot backfill the septic system until the contractor receives approval from a Professional Engineer and Health Department.
- 15. Select fill to be used shall be composed of clean sand and gravel free from organic matter and foreign substances. The fill material shall meet the following requirements unless approved by the engineer:
 - (A) The fill shall not contain any material larger than three (3) inches.
 - (B) Up to 10% of the dry weight of the representative sample may be retained on the #4 sieve.
 - (C) The material that passes the #4 sieve is then re-sieved and the sieve analysis started.
 - (D) The remaining sample shall meet the following sieve analysis criteria:

Sieve Size	Percent Passing
#4	100%
#10	75% - 100%
#40	10% - 55% (See Note Below)
#100	0% - 25%
#200	0% - 5%

(E) Percent Passing the #40 sieve can be increased to no greater than 75%, if the percent passing the #100 sieve does not exceed 10% and the #200 sieve does not exceed 5%.

SEPTIC TANK DISTRIBUTION BOXES:

- 26. The septic tank shall have two chambers, inlet and outlet baffles, gas deflator and outlet floor and shall be able to withstand 14-20 loading, refer to detail. Septic tank shall be 2500 gallon septic tank.
- 27. Distribution boxes shall be precast concrete. Distribution boxes shall be raised within 12" of finished grade and be watertight. Pass 12" with brick, mortar and brackets around the structure to comply with the Connecticut Public Health Code. Access cover shall be installed to surface under gravel area.
- 28. The contractor shall submit shop drawings of all products to Inspecting Engineer for review and approval prior to actual installation. Allow 5 working days for shop drawing review.
- 29. The septic tank, pump chambers and distribution boxes shall be set on a minimum of 4" compacted bedding of sand, gravel or crushed stone.
- 30. The septic tank shall be watertight. Tank leakage testing should be performed using either a vacuum test or a water pressure test in accordance with testing requirements from the Connecticut Public Health Code.

PUMP CHAMBERS:

- 31. The contractor shall submit to owners manual for the pump to the owner at the end of construction.
- 32. Efficient pump to be Grundfos Model 3055 WES322H or acceptable equivalent. Pump shall be 1/2 HP or greater with a pump rate of 30 GPH at 9' TCH to the distribution box. Pump off to pump on drain-down range to 2" which discharges 250 gallons per cycle. Pump shall be ordered with power cord long enough to reach the exterior junction box.
- 33. The pumping system shall comply with all applicable codes and requirements and be installed in accordance with the manufacturer's recommendations.
- 34. Pump shall be equipped with a control panel and high water alarm (audio & light) Model ST 230 by CSI. Controls or equivalent approved by the engineer and shall be located in the primary building near the bus box.
- 35. All electrical work shall be done by a licensed electrician. Alarm and pump to be installed on separate circuits. Alarm circuit to have test, off and alarm switches. Electrical alarm as shown on the details of reserved capacity above the high water alarm level in the event of a pump failure.
- 36. Underground electric conduits shall be installed in accordance with Town of Wilton requirements to contain electric supply and alarm cables.
- 37. Force main shall have a 12" diameter 48" hole inside the pump chamber to allow the force main to drain back into the chamber.

PREPARATION OF THE PRIMARY LEACHING AREAS:

- 38. Prior to placement of leaching facilities back for existing drainage pipes, if such pipes are encountered, construct the design engineer for inspection and testing.
- 39. Prior to placement of leaching facilities, remove all trees, grass, topsoil, vegetation, leaves & litter, shrubs, stumps, rocks larger than 24", roots within 5' of the system or under 60' footprint. Voids made by stump and rock removal shall be filled with select fill material.
- 40. Care must be taken up to not over compact the ground in the leaching area. If such over compaction occurs, the overlying compacted material shall be percolation tested to determine if a redesign or replacement with select fill is necessary.
- 41. Nonselect fill may be fill from sand or gravel mixture classified as SP, SW, GP, GM, GC, GH, per the Unified Soil Classification System. It shall be placed and compacted to 95% of the maximum dry density, not more than 14" passing the #20 sieve, and no stone larger than 12". Non-select fill shall not be mechanically compacted but allowed to settle naturally over a 30-day period.

SEPTIC SYSTEM DESIGN DATA:

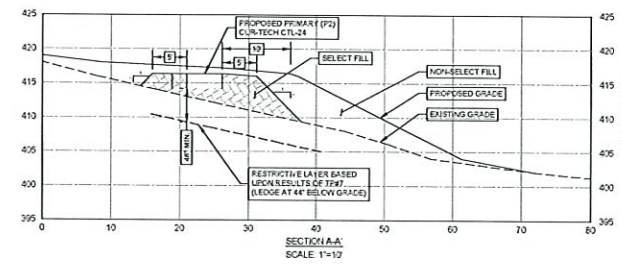
Total Projected Flow = 0.1 GPD / SF x 14,424 SF = 1,424 GPD
Design Flow = 1,424 GPD x 1.5 (F.S.) = 2,136 GPD
Percolation Rate = 1" in 10.0 min.
Percolation Factor (PF) = 1.0
Depth to Restrictive Layer = $(644'(TP\#7) + 54'(TP\#8)) / 2 + 34'(TP\#9)) / 2 = 41.5'$
Hydraulic Factor (HF) = 16.0
Flow Factor = 2,136 / 300 = 7.12
MLSS Required = $PF \times HF \times FF = 1.0 \times 16 \times 7.12 = 113.9$ LF
MLSS Provided = 120 LF

Leaching Area Required = Design Flow / Sewage Application Rate
 $2,136 \text{ GPD} / 1.5 = 1,424 \text{ SF}$
Leaching Area Provided = 120 LF x 13.0 SF / LF (CTL-24) = 1,560 SF
Septic Tank Size = 2,500 gallons
Pump Chamber Storage Provided = 2,161 gallons (8' Inner Diameter Pump Chamber)
(B1 & J) Reserve Septic System

Total Design Flow = 2,136 GPD
Percolation Rate = 1" in 10.0 min.
Percolation Factor (PF) = 1.0
Depth to Restrictive Layer = $(337'(TP\#10) + 47'(TP\#11) + 41'(TP\#16)) / 3 + 41'(TP\#12)) / 2 = 42.83'$
Hydraulic Factor (HF) = 14.0
Flow Factor = 7.12
MLSS Required = $1.0 \times 14 \times 7.12 = 99.7$ LF
Leaching Area Required = Design Flow / Sewage Application Rate
 $2,136 \text{ GPD} / 1.5 = 1,424 \text{ SF}$
Leaching Area Provided = 120 LF x 13.0 SF / LF (CTL-24) = 1,560 SF
*REFER TO SHEET SE-5 FOR SEPTIC DETAILS

Type of Facility Provided	SF	LF	Leaching Area Provided	System Elevations
P1 CUR-TECH CTL-24	130	64	832.0	831.25
P2 CUR-TECH CTL-24	130	66	728.0	414.25
R1 CUR-TECH CTL-24	130	64	832.0	422.45
R2 CUR-TECH CTL-24	130	66	728.0	422.45

* MINIMUM ELEVATION IF RESERVE SYSTEM WERE TO BE INSTALLED. RESERVE IS NOT PROPOSED AT THIS TIME.



NOTE: THIS CROSS-SECTION IS A SPECIFIC SECTION (A-A) THROUGH THE PROPOSED LEACHING FACILITIES. IT SHOULD NOT BE CONSIDERED AS AN "AVERAGE" SECTION ACROSS THE ENTIRE SYSTEM FOR USE IN DETERMINING REQUIRED AMOUNTS OF FILL. IT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE THE REQUIRED AMOUNTS OF FILL.

2022/07/20 10:10 AM

2022/07/20 10:10 AM

2022/07/20 10:10 AM

2

06/24/2021

REVISED PER P&Z AND HEALTH DEPARTMENT COMMENTS

1

07/15/2021

ORIGINAL SUBMISSION

Rev

Date

Revision

SITE SEPTIC DESIGN PLAN

DEPICTING

863 DANBURY ROAD

WILTON, CT

PREPARED FOR

CONNECTICUT HUMANE SOCIETY

REDNISS & MEAD

LAND SURVEYING
CIVIL ENGINEERING
PLANNING & ZONING CONSULTING
PERMITTING

22 First Street | Shelton, CT 06484
Tel: 203.927.0300 | Fax: 203.927.1114
www.rednissandmead.com

SCALE: 0 30 60
1"=30'

DRAWN BY: V.H.

CHECKED BY: C.F.

CRAG J. FLAHERTY, P.E. 21113

August 24, 2021

DATE

The document and report are based on field work and data provided by the client and are not to be used for any other purpose without the written consent of Redniss & Mead.

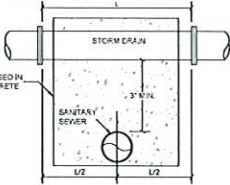
SHEET 7 of 8

SE-5

Conn. No. 10258

NOTE:

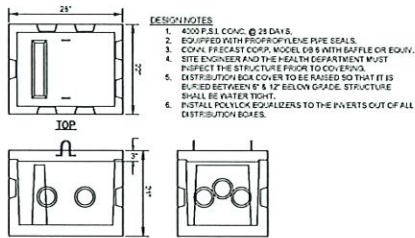
THE JOINTS OF THE PIPE SHALL BE A MINIMUM OF 10' FROM THE POINT OF CROSSING. THE SANITARY SEWER SHALL BE CLASS 150 PRESSURE PIPE. THE STORM DRAIN SHALL BE LOCK-JOINT PRESSURE PIPE.



REQUIREMENTS AS STATED ABOVE WILL APPLY WHEN HORIZONTAL SEPARATION BETWEEN THE STORM & SANITARY LINES ARE LESS THAN 10' AND VERTICAL SEPARATION IS LESS THAN 12'.

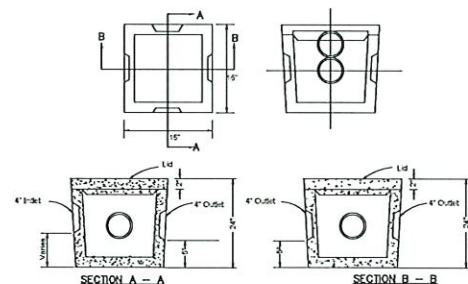
CROSSINGS OF SANITARY PIPES AND STORM PIPES

N.T.S.



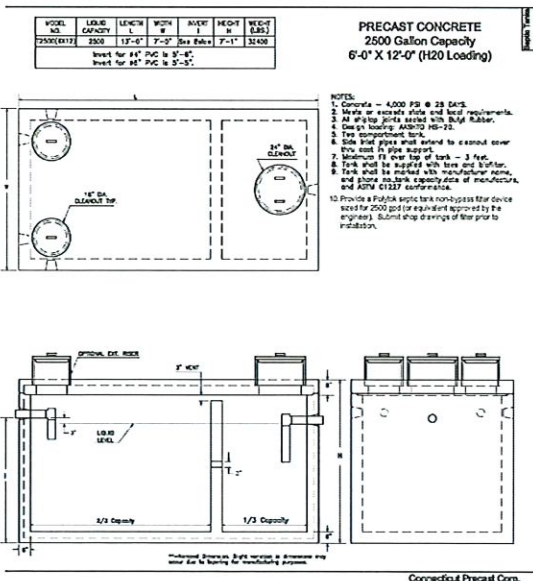
BAFFLE DISTRIBUTION B-BOX DETAIL

N.T.S.



HIGH OVERFLOW DISTRIBUTION BOX DETAIL

N.T.S.



2,500 GALLON SEPTIC TANK

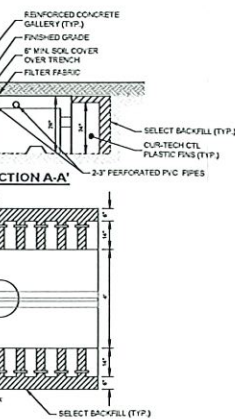
N.T.S.

GENERAL:

- All piping and plumbing work shall be performed by a plumber licensed in the State of Connecticut. All electrical work shall be performed by an electrician licensed in the State of Connecticut.
- The Owner, the Health Department and the Design Engineer shall be notified three days prior to the commencement of each phase of construction.
- All work shall be done in accordance with CSHA requirements. The contractor shall be responsible for compliance with CSHA requirements.
- The contractor shall submit shop drawings of all products and equipment to the Design Engineer for review and approval prior to fabrication, ordering and installation.
- Under no circumstances shall trench water be allowed to drain through sewer lines.
- Upon the completion of the work, certification shall be required by a Registered Professional Engineer to the satisfaction of the State Engineer, that construction is in accordance with the approved plans.
- The forced main shall be 3" PVC pipe (SDR35) in accordance with ASTM D2421 standards.
- The forced main shall be installed so that its top will be at least 4" below finished grade. It shall be connected to the existing forced main in accordance with the Connecticut Plumbing Code and the requirements of the City of Stamford.
- Install thrust blocks at all horizontal and vertical bends of the forced main in accordance with the detail.
- The new forced main and gravity sewer shall be pressure and leakage tested in accordance with ASTM standards.
- The Design Engineer and Health Department shall be informed of the testing schedule three days in advance so that they can witness the testing as may be required. The contractor shall provide all equipment and materials needed to perform the test. Should the forced main or gravity sewer fail to pass the test, the contractor shall determine the cause of the failure, remedy the condition and retest the pipe in question in the presence of the Design Engineer and the Health Department.
- The pumping system shall comply with all applicable codes and requirements and be installed in accordance with the manufacturer's recommendations.
- The equipment described on these plans has been selected because it meets the project requirements. Should the contractor wish to use substitute equipment, the substitution must be approved by the Owner or his representative prior to ordering the substitute equipment.
- Alarm switch and pump to be installed on separate circuits.
- Season shall be started and adjusted in the fall by the supplier with a report supplied to the owner.
- Prior to acceptance, the pumping station shall be tested by the Owner's representative. All mechanical and electrical systems must operate in accordance with the plans. Operation and maintenance manuals for all equipment must be provided to the owner.
- The pumping system, including emergency power supply shall have a one year warranty.
- A representation of the pump manufacturer shall be present at the start-up of the pump station.
- Water lines must be 10 feet minimum away from sewer lines horizontally or shall be 18" minimum above, and 18" minimum below. If water line and sewer line intersect, sewer line to be encased in concrete 5 feet on either side of where lines intersect.
- If storm and sewer lines intersect with less than 18" of separation from top of sanitary sewer to bottom of storm, sanitary line to be encased in concrete 5 feet on either side of where lines intersect.
- 4" sewer pipe to be SDR-35 PVC.
- Bedding material to be sand or 3/4" stone.
- 4 feet minimum cover for pressure lines at time of inspection.

PUMP CHAMBER & STORAGE TANK DETAILS & NOTES

N.T.S.

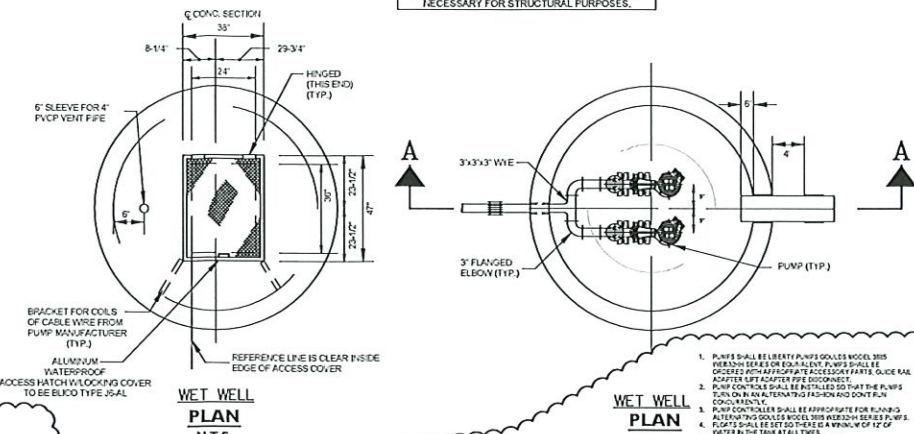


- NOTES:
- CONCRETE GALLERY TO BE SUPPLIED BY PRECAST FOR USE WITH THE CUR-TECH SYSTEM.
 - SELECT BACKFILL TO BE EITHER WASHED CONCRETE SAND CONFORMING TO ASTM C-331 OR SELECT FILL CONFORMING TO THE CT PUBLIC HEALTH CODE.
 - BREAKOUT ANY CHAMBER END KNOCKOUTS THAT ARE TO BE SET AGAINST ANOTHER CHAMBER. KNOCKOUTS ON ANY CHAMBER NOT SET AGAINST ANOTHER SHALL REMAIN.
 - INSTALLATION SHALL FOLLOW MANUFACTURER'S GUIDELINES.

CUR-TECH CTL-24 GALLERY SYSTEM

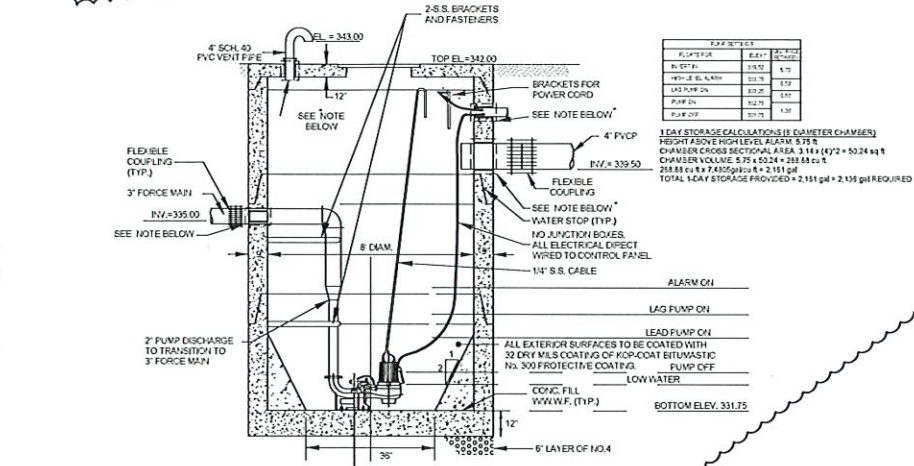
N.T.S.

WET WELL SHALL BE PRECAST CONCRETE STRUCTURES ABLE TO WITHSTAND H-20 TRAFFIC LOADS. WALL THICKNESSES SHOWN ARE MINIMUMS ONLY AND SHALL BE INCREASED AS NECESSARY FOR STRUCTURAL PURPOSES.



WET WELL PLAN

N.T.S.

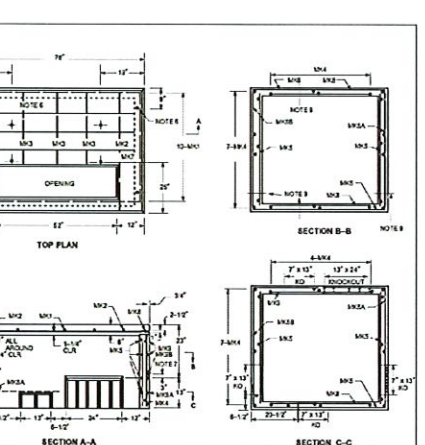


SECTION A-A

N.T.S.

SEPTIC FORCE MAIN DETAIL

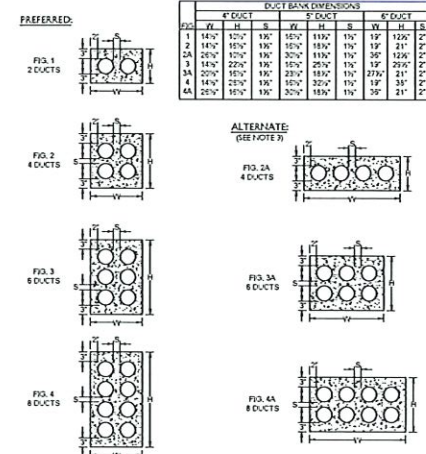
N.T.S.



THREE-PHASE TRANSFORMER PAD

(PRECAST CONCRETE - 76" x 70" x 36")

N.T.S.



NOTES:

- AT MANHOLES CONDUIT BANKS SHALL BE PER FIGS. 1, 2, 3 OR 4.
- MINIMUM COVER FROM TOP OF A CONDUIT BANK TO THE FAIRWAY OR EARTH SURFACE TO BE:
 - STATE HIGHWAYS - 36"
 - RAILROAD TRACKS - 57"
 - ALL OTHER AREAS - 24"
- IN THE CHOKOUT RUN BETWEEN MANHOLES IF OBSTRUCTIONS ARE ENCOUNTERED OR TO REDUCE TRENCH DEPTH, FIGS. 2A, 3A OR 4A ARE PERMISSIBLE.
- CONCRETE SHALL BE 2500 P.S.I., 1/2" MAXIMUM STONE, 6" SLUMP OF SUCH CONSISTENCY THAT SPACING BARS WILL BE THE FLOW OF CONCRETE BETWEEN AND UNDER THE INDIVIDUAL DUCTS, BUT NOT SO WET AS TO FLOAT THE DUCTS. FOR TIER BUILDUP CONSTRUCTION A STIFFER CONSISTENCY SHOULD BE USED.
- DUCTS SHALL BE SCHEDULE 40 PVC.

CONDUIT BANK CONSTRUCTION

N.T.S.

PVC/RCP PIPE TRENCH BEDDING DETAIL

(18" DIA. & UNDER)

N.T.S.

2	06/24/2021	REVISED PER P&Z AND HEALTH DEPARTMENT COMMENTS
1	07/01/2021	ORIGINAL SUBMISSION

DATE: August 24, 2021

SCALE: N.T.S.

DRAWN BY: J.H. CHECKED BY: C.F.

CRANK & PLANNING, CT, P.E. 21143

REDNISS & MEAD

LAND SURVEYING
CIVIL ENGINEERING
PLANNING & ENVIRONMENTAL CONSULTING

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www.rednissandmead.com

SE-8

Conn. Reg. 12258

WILTON PUBLIC WORKS
DEPARTMENT

(203) 563-0153



TOWN HALL ANNEX
238 Danbury Road
Wilton, Connecticut 06897

TO: Mike Conklin,
Environmental Affairs

FROM: Frank Smeriglio, PE, *FS*
Assistant Director of Public Works/Town Engineer

DATE: Thursday, August 5, 2021

Cc: Michael Wrinn – Director of Planning & Zoning
Craig Flaherty (via e-mail)

RE: 863-875 Danbury Road, CT Humane Society - Wilton CT –
WET #2724

This is written in response to your letter dated July 16, 2021 regarding the proposed development at 863-875 Danbury Road. The Department of Public Works conducted the initial review of the proposed development as it pertains to Town Roads. The initial drainage report dated July 1, 2021 was reviewed.

Based on the review at this time, The Department of Public Works has no objections with this project continuing with the approval process with the following conditions:

- 1) The State shall also have the opportunity to review drainage analysis and site plans as it relates to their storm drainage infrastructure and roadway on Route 7.
- 2) For record tracking purposes, please provide the following:
 - Existing pervious surface Area (sqft)
 - Existing impervious surface area directly connected to the water coarse (sqft)
 - Proposed pervious surface area (sqft)
 - Proposed impervious surface area disconnected from the water coarse (sqft)
 - Proposed impervious surface area directly connected to the water coarse (sqft)
 - (Definition of "directly connect" verses "disconnect" is as defined in the State MS4 program.
- 3) Prior to the issuance of Certificate of Occupancy, the Design Engineer shall provide As-built drawing and certification letter indicating that the project was build in accordance with the design plans.

If you have any questions, please do not hesitate to call.

**Connecticut Humane Society
Application to Planning and Zoning Commission**

**Premises: 863-875 Danbury Road, Wilton, Connecticut
(Assessor's Map #11 - Lots #47, 47-1 and 47-2)**

Updated List of Owners of Property Within 500 Feet of the Premises

Map / Lot Number	Owner Name Property Address	Mailing Address (if different)
11-24	Matthew B. Kehoe Eileen A. Fitzgerald 34 New Street Wilton, CT 06897	
11-25	Jessica Carney Anthony Deluca 28 New Street Wilton, CT 06897	
11-26	Edward W. Woodcock 24 New Street Wilton, CT 06897	P.O Box 968 Wilton, CT 06897
11-27	John J. Murphy Alena D. Murphy 20 New Street Wilton, CT 06897	
11-28	Christopher Barrett Verna Barrett 6 New St. Ext. Wilton, CT 06897	
11-30	Paul P. Nicovic 5 New St. Ext Wilton, CT 06897	9 New St. Extension Wilton, CT 06897
11-31	Mark Johnson Penny Raffini 10 Sunset Hill Road Wilton, CT 06897	16 Sunset Hill Road Wilton, CT 06897
11-32	Mark Johnson Penny Raffini 16 Sunset Hill Road Wilton, CT 06897	
11-33	Konstantinos Spetsaris Bonnie Spetsaris 20 Sunset Hill Road Wilton, CT 06897	

11-34	Sara Zawoiski Michael Zawoiski 26 Sunset Hill Road Wilton, CT 06897	
11-35	John T. Ezzo Stephanie Ferriera 25 Sunset Hill Road Wilton, CT 06897	
11-36	David Maurrasse 15 Sunset Hill Road Wilton, CT 06897	
11-37	Derek Geiger Atsuko Geiger 9 Sunset Hill Road Wilton, CT 06897	
11-38	Ehtan Mena Vanessa L.Ingersoll 10 New Street Wilton, CT 06897	
11-39	Town of Wilton 872 Danbury Road Wilton, CT 06897	238 Danbury Road Wilton, CT 06897
11-40	Town of Wilton 31 New Street Wilton, CT 06897	238 Danbury Road Wilton, CT 06897
11-41	Town of Wilton 49 New Street Wilton, CT 06897	238 Danbury Road Wilton, CT 06897
11-42	Dorinda A. Traski Stephen D. Traski 856 Danbury Road Wilton, CT 06897	
11-43	Victor Muniz Cheryl Muniz 852 Danbury Road Wilton, CT 06897	
11-44	FOAD LLC 846 Danbury Road Wilton, CT 06897	71 Clifton Place Bridgeport, CT 06606
11-45	William Tait Marion Tait 834 Danbury Road Wilton, CT 06897	
11-46	Scott Tait Jeri Tait 822 Danbury Road	

	Wilton, CT 06897	
11-46-1	Mark C. Bennett Michele J. Bennett 27 Sunset Hill Road Wilton, CT 06897	
11-46-2	Thomas Masone Virginia Masone 28 Sunset Hill Road Wilton, CT 06897	
11-48	Cynthia Forrester 11 Mountain Road Wilton, CT 06897	
11-48-1	Jennifer Donath Holger Donath 15 Mountain Road Wilton, CT 06897	
11-48-2	Kenneth R. Pokora 13 Mountain Road Wilton, CT 06897	
11-49	Roy Levitt Natalie Levitt 9 Mountain Road Wilton, CT 06897	
11-51	Carlos DeJesus Chanel DeJesus 17 Mountain Road Wilton, CT 06897	
11-52	Brian J. Kesselman Amy B. Kesselman Aviva R. Kesselman 27 Mountain Road Wilton, CT 06897	
11-53	Daniel H. Berg 20 Irmgard Lane Wilton, CT 06897	
11-54	Xiumei Song Lampros Panagis 32 Irmgard Lane Wilton, CT 06897	
11-55	Bruce Yeko 33 Irmgard Lane Wilton, CT 06897	PO Box 496 Georgetown, CT 06829
11-56	Lilian Galaviz 27 Irmgard Lane Wilton, CT 06897	

11-57	Kristin S. Leggio 21 Irmgard Lane Wilton, CT 06897	
11-58	Brad C. Wolff 41 Mountain Road Wilton, CT 06897	
12-1	Christopher Ferguson Pamela Ferguson 20 Mountain Road Wilton, CT 06897	
12-2	Alison Zottarelli Susan Zottarelli 16 Mountain Road Wilton, CT 06897	
12-3	Michael J. Roche Nidya A. Garcia de Roche 12 Mountain Road Wilton, CT 06897	
12-4	Luana Maruca Rita Maruca 919 Danbury Road Wilton, CT 06897	89 Old Belden Hill Road Wilton, CT 06897
12-111	Vinod Pilla Rama Miriyappalli 26 Mountain Road Wilton, CT 06897	
24-14	Ajana Properties LLC 783 Danbury Road Wilton, CT 06897	69 Bobbys Court Ridgefield, CT 06877
24-15	State of Connecticut Danbury Road Wilton, CT 06897	450 Capital Avenue Hartford, CT 06134
24-18	Town of Wilton Danbury Road Wilton, CT 06897	238 Danbury Road Wilton, CT 06897
25-8	Kimberly Ann Bryant Raymond Bryant 48 Mountain Road Wilton, CT 06897	
25-9	Mark J. Piedmont Karena A. Piedmont 42 Mountain Road Wilton, CT 06897	45 Lambert Common Wilton, CT 06897

25-9-1	Laura F. Ploss Richard E. Ploss 52 Mountain Road Wilton, CT 06897	
25-9-2	Keith D. Ellison 38 Mountain Road Wilton, CT 06897	
25-9-3	David Reyes-Guerra Jennifer Dunn 40 Mountain Road Wilton, CT 06897	
25-10	Skies the Limit LLC 53 Mountain Road Wilton, CT 06897	26 Jacobs Lane Bethel, CT 06801
25-11	Patricia A. Melvin 55 Mountain Road Wilton, CT 06897	c/o Investors Financial LP PO Box 8507 Boise, ID 83707
25-12	John Morrell Helga Morrell 57 Mountain Road Wilton, CT 06897	
25-14	Lauryn Hart David Hart 79 Mountain Road Wilton, CT 06897	
25-14-1	Wilton Land Conservation Trust Mountain Road Wilton, CT 06897	PO Box 77 Wilton, CT 06897
25-15	Gonzolo Ugarte Catherine Ugarte 81 Mountain Road Wilton, CT 06897	
25-15-1	Daniel Spezzano 85 Mountain Road Wilton, CT 06897	
25-17	State of Connecticut 127 Mountain Road Wilton, CT 06897	2800 Berlin Turnpike Newington, CT 06131
25-24	State of Connecticut 115 Mountain Road Wilton, CT 06897	2800 Berlin Turnpike Newington, CT 06131