

**WILTON PLANNING AND
ZONING COMMISSION**

**SPECIAL PERMIT
APPLICATION**

SP#

SPECIAL PERMIT DESCRIPTION: Cite specific section(s) of the Zoning Regulations and provide a detailed description of the proposed development. Attach additional sheets as required.

Section 29- 5.C. ADAPTIVE USE : TO PERMIT ADDITIONS TO
EXISTING VETERINARY CLINIC ADAPTIVE USE (SP 149 B & 2-5P)
AS PER SEC 29-5.C.d(2)

<u>ROB SANDERS ARCHITECTS</u>			<u>P O BOX 132, WILTON CT</u>		
APPLICANT'S NAME			ADDRESS		
<u>WASS GROUP</u>			<u>747 VALLEY RD, NEW CANAAN, CT 06840</u>		
OWNER'S NAME			ADDRESS		
<u>181 DANBURY ROAD</u>			<u>R-2A</u>		
PROPERTY LOCATION			ZONING DISTRICT		
<u>2512</u>	<u>638</u>		<u>35</u>	<u>42</u>	<u>1.08 ac</u>
WLR	VOLUME	PAGE	TAX MAP #	LOT #	ACREAGE

THE FOLLOWING MATERIALS SHALL BE ATTACHED:

- * Fifteen (15) complete **COLLATED/FOLDED** sets are required.
- * All plans shall be equal in sheet size, collated into sets (either stapled or clipped), with **maps folded**, not rolled.
- * All submitted plans and documents shall bear an **original signature, seal, and license number** of the professional responsible for preparing each item.

- ☒ **VICINITY SKETCH** at a scale of 1"=100' or 1"=200'. Said map shall show all existing zone boundaries, existing buildings and parcels, labeled by their corresponding Tax Map and Lot Number, within 500' of the subject property.
- ☒ **CLASS A-2 SURVEY MAP** of the subject property
- ☒ **SITE DEVELOPMENT PLAN** pursuant to Section 29-11 of the Zoning Regulations
- ☒ **FORM B - ZONING DATA**
- ☒ **LIST OF PROJECT PROFESSIONALS** including name, firm, address and telephone
- ☒ **LETTER OF TITLE** certifying owner of record as of date of the application
- ☒ **PROOF OF APPLICANT'S LEGAL INTEREST** in property
- ☒ **LIST OF OWNERS WITHIN 500'** of the subject property sorted by Tax Map and Lot #
- ☐ **ENVELOPES**, addressed to each property owner within 500' (see "Envelopes Instructions" online)
- ☐ **TWO #10 (4"x9.5") PLAIN ENVELOPES** addressed to the applicant (No Return Address)

☐ **ANY OTHER PLAN OR DOCUMENT** as required by Zoning Regulations

☒ **ONE COPY OF THE DEED**

☐ **ELECTRONIC EMAILED SUBMISSION** of all materials, **consolidated into 1 or 2 PDFs maximum**

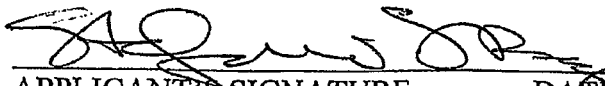


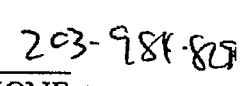
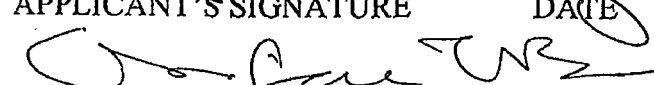

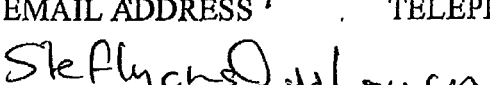
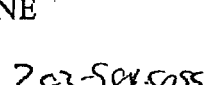
☐ **\$460 FILING FEE + \$50/Unit or \$50/2000 sq. ft. (Accessory Apartment - \$260)** payable to: Town of Wilton

☒ **IS THE SUBJECT PROPERTY LOCATED WITHIN THE WATERSHED BOUNDARY?** YES **(NO)**

☒ **IS THE SUBJECT PROPERTY WITHIN THE FLOOD ZONE?** YES **(NO)**

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted and is responsible for the payment of all legal notices incurred.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

			
APPLICANT'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE
			
OWNER'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE

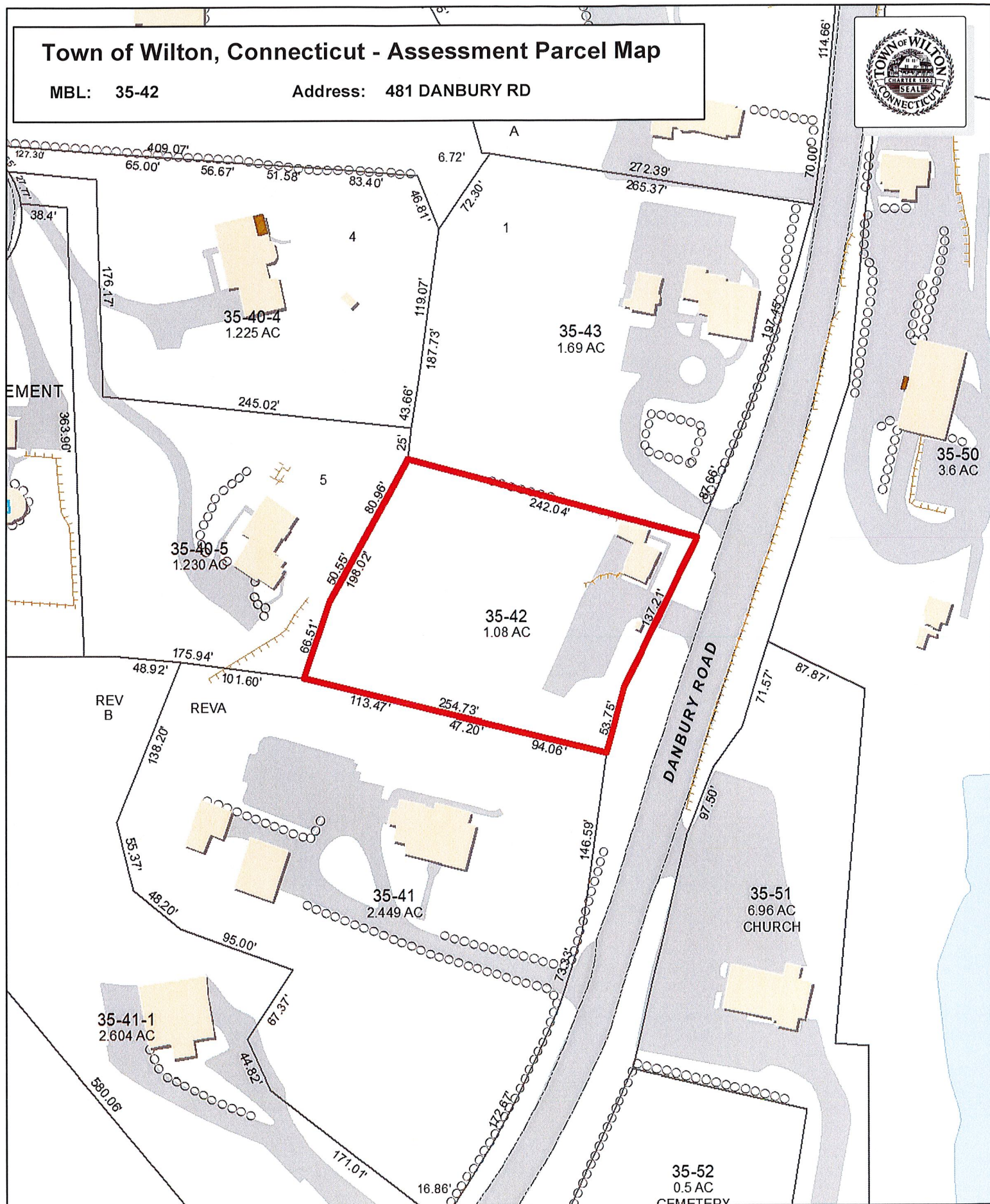
For Planning and Zoning Department Use Only:

Mandatory Referrals - Jurisdiction/Agency		
Village District Design Advisory Committee (VDDAC):	Yes	No
Architectural Review Board (ARB):	Yes	No
Western Connecticut Council of Governments (WestCOG):	Yes	No
South Norwalk Electric and Water Company (SNEW) Designated Public Watershed:	Yes	No
First Taxing District Water Department Designated Public Watershed:	Yes	No
State-Designated Aquifer Protection Area:	Yes	No
Adjoining Community Notification:	Yes	No

Town of Wilton, Connecticut - Assessment Parcel Map

MBL: 35-42

Address: 481 DANBURY RD



Approximate Scale:

1 inch = 100 feet

Disclaimer:

This map is for informational purposes only.
All information is subject to verification by any user.
The Town of Wilton and its mapping contractors
assume no legal responsibility for the information contained herein.

Map Grand List Date: Oct 2017

0 50 100 150 Feet

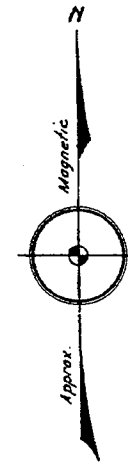
Land of
ESTATE OF LEWIS R. HURLBUTT and
ESTATE OF JOSEPHINE HURLBUTT

Land of
LOUISE HERMANC

Land of
ESTATE OF LEWIS R. HURLBUTT and
ESTATE OF JOSEPHINE HURLBUTT

AREA = 1.078 ACRES

NORWALK - DANBURY ROAD



MAP OF PROPERTY

prepared for

ESTATE OF JOSEPHINE HURLBUTT

at

WILTON, CONN.

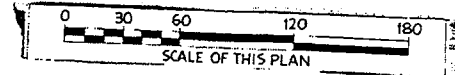
SCALE 1" = 60'

Dec. 1945.

THE SAMUEL W. HOYT, JR., CO., INC.
Civil Engineers & Surveyors.
So. NORWALK, CONN.

Boundaries shown hereon were defined
on the ground by Nelson S. Hurlbutt of
Cannondale, Conn.

Certified "Substantially Correct."
THE SAMUEL W. HOYT, JR., CO., INC.
by Frederick P. Stubble Pres.
Civil Engineer and Surveyor.



Filed May 5, 1947 at 9:30 A.M. by Edith R. Gregory - Town Clerk

WILTON PLANNING AND ZONING COMMISSION	FORM B - ZONING DATA
Include the following data on the required Site Development Plan, as well.	

481 Danbury Road

1.078

PROPERTY ADDRESS

LOT ACREAGE

R-2

190.77'

ZONING DISTRICT

LOT FRONTAGE

	PER ZONING REGS (MAX OR MIN ALLOWED)	EXISTING	PROPOSED	TOTAL
GROSS FLOOR AREA [SF]		1,818	291	2,109
BUILDING FOOTPRINT [SF]		968	291	1,259
BUILDING COVERAGE [SF/%] (round up)	7% max	2.1%	0.62%	2.72%
BUILDING HEIGHT [FT - Story]	2-1/2 stories / 35'	20'-2"	20'-2"	20'-2"
FLOOR AREA RATIO (F.A.R.)				
PARKING SPACES (round up)		8	0	8
LOADING SPACES		0	0	0
SITE COVERAGE [SF/%]	12%	15.3%	0.15	15.4%

OFF-STREET PARKING AND LOADING CALCULATIONS
--

Please provide the specific calculation used to determine the minimum required off-street parking and loading spaces pursuant to the Zoning Regulations.

<u>PARKING CALCULATION</u> (Use separate page, if necessary)
Per 29-8.B b(9) : One (1) per employee, plus one (1) per 400 sf of GFA for Veterinary Hospitals.
<u>LOADING CALCULATION</u> (Use separate page, if necessary)
3 employees + (2,109/400SF=5.27spaces) = 8.27 spaces. Propose waiver of 0.27 spaces.

<u>PLAN OF CONSERVATION AND DEVELOPMENT</u>
Please indicate on separate page how this proposal complies with the Plan of Conservation and Development.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein:
<div style="display: flex; justify-content: space-between;"> <div style="width: 60%; border-top: 1px solid black; text-align: center;">APPLICANT'S SIGNATURE</div> <div style="width: 35%; border-top: 1px solid black; text-align: center;">DATE</div> </div>

Project Description

481 Danbury Road: WASS Group – Cannondale Animal Clinic

Construction of 291sf addition on structure with existing

Special Permit #149B & #2-5P: Adaptive Use Conversion of Residential Building for Veterinary Hospital Use

The existing structure is a circa 1837 two-story structure with a central chimney, in the vernacular Federal style. A gambrel-roof addition constructed in the 20th century was converted to living space in the 1980's when the original Special Permit use was approved. In 2005, an additional Special Permit was issued for use of the structure as a veterinary hospital.

The proposed modifications include construction of a new 248sf Examination Room and a 43sf hallway connector and porch to facilitate circulation. In the process, an existing exterior oil tank will be replaced by one in the basement, and an emergency generator will be provided.

Exterior finishes on the existing building include painted clapboard siding, wood-framed divided-lite double-hung and picture windows, and cedar roof shingles. The proposed additions will use the same wall finishes and fenestration. Because of low-pitch conditions at the shed roofs as required to maintain clearance from second floor windows, roofing on the additions will be standing-seam copper.

Construction of the connecting hallway porch will require relocation of the existing AC condenser to the northeast quadrant of the site between the two parts of the structure. Code requirements for separation requires the generator to be 5' minimum from adjacent walls. The generator will be located west of the gambrel-roofed 'El' of the existing structure.

A fieldstone retaining wall and bluestone courtyard constructed as part of the 1980's conversion will be modified to accommodate the proposed Examination Room. New fieldstone steps and a walkway will provide access to the second floor egress in the gambrel addition. The remaining courtyard area will be restored. While the flowering plant bed along the retaining wall will be reconfigured, no other landscaping or tree removal is proposed for the project.

Exterior lighting is currently provided by (4) antique-style wall fixtures at the east and courtyard entrances. Fixtures on the existing west elevation shall be re-used at the proposed Examination Room. Wall-mounted flood lights mounted on the upper level of the existing building provide illumination to the driveway and courtyard sides of the site, and will continue to be used for overall site lighting.

The existing paved parking provides spaces for 8 vehicles. No changes are proposed or required for the additions. Refuse containers shall remain at the south end of the parking lot, against the north-facing retaining wall, which is shielded from view by existing landscaping.

Electrical service, by existing overhead service lines, is to remain. A new connection shall be made to public water supplies as part of the project. The existing identification sign at Danbury Road is illuminated by ground-mounted lights, and shall remain.

WASS Group

Cannondale Animal Clinic

481 Danbury Road

Project professional:

Rob Sanders Architects LLC

P O Box 132

Wilton, CT 06897

TOWN OF WILTON, CONNECTICUT

Parcel ID	Site Address	Owner Name	Mailing Address	City	State	Zip
21-2	105 SEELEY RD	SEELEY FARM LLC	105 SEELEY RD	WILTON	CT	06897-
21-3-1	SEELEY RD	WILTON LAND CONSERVATION TRUST	P.O. BOX 77	WILTON	CT	06897-
35-40-1	31 TIMBER TOP TR	SUH SUN D	31 TIMBER TOP TR	WILTON	CT	06897-
35-40-2	33 TIMBER TOP TR	BISCEGLIE JUSTIN & KAITLIN &	33 TIMBER TOP TR	WILTON	CT	06897-
35-40-3	40 TIMBER TOP TR	VALLERIE KEVIN & LAURIE	40 TIMBER TOP TR	WILTON	CT	06897-
35-40-4	36 TIMBER TOP TR	CHEGU MURALI &	36 TIMBER TOP TR	WILTON	CT	06897-
35-40-5	38 TIMBER TOP TR	TURNER AVA	38 TIMBER TOP TR	WILTON	CT	06897-
35-41	475 DANBURY RD	SEARCH SUPPORT SERVICES LLC	45 PRIMROSE AVE	HICKSVILLE	NY	11801 1646-
35-41-1	469 DANBURY RD	GABRIELE RICHARD & JONNA MARIE	PO BOX 7014	WILTON	CT	06897 7014-
35-42	481 DANBURY RD	WASS GROUP LLC	747 VALLEY RD	NEW CANAAN	CT	06840-
35-43	487 DANBURY RD	SSS INVESTMENT LP	13 OAK RIDGE RD	NEWTOWN	CT	06470-
35-44	489 DANBURY RD	LOIS LLC	493 DANBURY RD	WILTON	CT	06897-
35-45	493 DANBURY RD	OTIS LLC	493 DANBURY RD	WILTON	CT	06897-
35-49	496 DANBURY RD	496 DANBURY RD LLC	15 LEEALLEN LA	WILTON	CT	06897-
35-50	490 DANBURY RD	ROPO LLC	490 DANBURY RD	WILTON	CT	06897-
35-51	470 DANBURY RD	ZION'S HILL METHODIST CHURCH	470 DANBURY RD	WILTON	CT	06897-
35-52	DANBURY RD	ZIONS HILL CEMETERY ASSOC	69 CHERRY LA	WILTON	CT	06897-
35-61	22 TIMBER TOP TR	MIRANDA MARIA	22 TIMBER TOP TR	WILTON	CT	06897-
35-62	30 TIMBER TOP TR	VON LOESER GAVIN & FABIANA	30 TIMBER TOP TR	WILTON	CT	06897-
35-63	25 TIMBER TOP TR	DADOULIS EVANGELOS & ALLISON	25 TIMBER TOP TR	WILTON	CT	06897-
21-3-2	SEELEY RD	SEELEY FARM LLC	237 POST RD WEST	WESTPORT	CT	06880-



Doc ID: 001197000002 Type: LAN

BK 2512 PG 638-639

When recorded, return to:

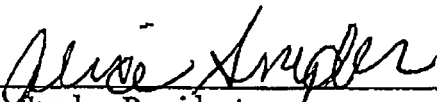
Gilbride, Tusa, Last & Spelane LLC
31 Brookside Drive
PO Box 658
Greenwich CT 06830

WARRANTY DEED
(statutory form)

HAAPS REAL ESTATE, INC. a Connecticut corporation, having an office at 444 Danbury Road, Wilton CT 06897, acting herein by Alice Snyder, its President, for consideration paid, grant to WASS GROUP LLC, c/o 747 Valley Road, New Canaan CT 06840, with WARRANTY COVENANTS

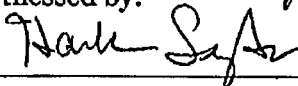
see Schedule A attached hereto and made a part hereof

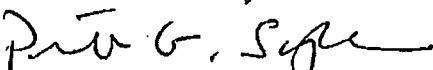
Signed this 16th day of July, 2020.



Alice Snyder, President

Witnessed by:

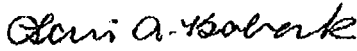
 Hank Snyder



Peter G. Snyder

State of Connecticut)
) ss. WILTON
County of Fairfield)

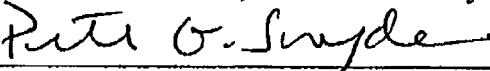
CONVEYANCE TAX RECEIVED
TOWN: \$1,025.00 STATE: \$5,125.00



WILTON, CT TOWN CLERK

On July 16th, 2020, before me, personally Alice Snyder, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same for the purposes therein contained as her free act and deed.

In Witness Whereof, I hereunto set my hand and official seal.



Peter G. Snyder
Commissioner of the Superior Court

SCHEDULE A

ALL THAT CERTAIN piece, parcel or tract of land, together with the buildings and improvements thereon, situated in the Town of Wilton, County of Fairfield and State of Connecticut, shown and delineated on a certain map entitled, "Map of Property Prepared for Estate of Josephine Hurlbutt at Wilton, Conn. Scale 1"=50' Dec. 1945 The Samuel W. Hoyt, Jr., Co., Inc. Civil Engineers & Surveyors, So. Norwalk, Conn.", certified substantially correct by Frederick P. Stabell, Pres. Civil Engineer and Surveyor, The Samuel W. Hoyt, Jr., Co., Inc., which map is on file in the Office of the Wilton Town Clerk as Map No. 778. Said premises are bounded:

- NORTHEASTERLY: by land now or formerly of Ruth J. Kahn;
- SOUTHEASTERLY: by the North-Danbury Road aka Route 7, so-called;
- SOUTHWESTERLY: by land now or formerly of Robert Neal Smith and Kathryn Lee Smith; and
- NORTHWESTERLY: by land now or formerly of James E. Austin and Elizabeth G. Austin.

Subject to:

1. Real Estate taxes to the Town of Wilton.
2. Planning, zoning, wetland, and all other governmental rules and regulations.
3. Notice of Special Permit and Site Development Plan Variance granted by the Town of Wilton, Planning & Zoning Commission dated March 3, 1986 and recorded in Volume 532 at Page 275, as modified by a Notice dated April 28, 1986 and recorded in Volume 539 at Page 176, both of the Wilton Land Records.
4. Notice of Variance granted by the Town of Wilton, Zoning Board of Appeals dated April 16, 1986 and recorded in Volume 537 at Page 201 of the Wilton Land Records.
5. Notice of Special Permit granted by the Town of Wilton, Planning & Zoning Commission dated February 28, 2000 and recorded in Volume 1215 at Page 65 of the Wilton Land Records.
6. Service wires and notations as shown on Map No. 778 on file in the Office of the Wilton Town Clerk.

Received for Record at Wilton, CT
On 07/20/2020 At 2:18:00 pm

Doni A. Salank

HISTORIC RESOURCES INVENTORY - BUILDING AND STRUCTURES

Please send completed form to: National Register and State Register Coordinator,
State Historic Preservation Office, Department of Economic and Community Development,
One Constitution Plaza, 2nd Floor, Hartford CT 06103

* Note: Please attach any additional or expanded information on a separate sheet.

GENERAL INFORMATION

Building Name (Common) Noah Partrick House
Building Name (Historic) Noah Partrick House
Street Address or Location 481 Danbury Road
Town/City Wilton Village _____ County Fairfield
Owner(s) Haaps, Inc. ☐ Public ☒ Private

PROPERTY INFORMATION

Present Use: Offices

Historic Use: Residence

Accessibility to public: Exterior visible from public road? ☒ Yes ☐ No

Interior accessible? ☒ Yes ☐ No If yes, explain during business hours

Style of building Vernacular Date of Construction circa 1837

Material(s) (Indicate use or location when appropriate):

☒ Clapboard ☐ Asbestos Siding ☐ Brick ☐ Wood Shingle ☐ Asphalt Siding
☐ Fieldstone ☐ Board & Batten ☐ Stucco ☐ Cobblestone ☐ Aluminum Siding
☐ Concrete (Type _____) ☐ Cut Stone (Type _____) ☐ Other _____

Structural System

☐ Wood Frame ☒ Post & Beam ☐ Balloon ☐ Load bearing masonry ☐ Structural iron or steel
☐ Other _____

Roof (Type)

☒ Gable ☐ Flat ☐ Mansard ☐ Monitor ☐ Sawtooth
☐ Gambrel ☐ Shed ☐ Hip ☐ Round ☐ Other _____

(Material)

☒ Wood Shingle ☐ Roll Asphalt ☐ Tin ☐ Slate ☐ Asphalt Shingle
☐ Built up ☐ Tile ☐ Other _____

Number of Stories: 2 Approximate Dimensions 29 x 21, 16 x 25

Structural Condition: ☒ Excellent ☐ Good ☐ Fair ☐ Deteriorated

Exterior Condition: ☒ Excellent ☐ Good ☐ Fair ☐ Deteriorated

Location Integrity: ☒ On original site ☐ Moved When? _____

Alterations? ☒ Yes ☐ No If yes, explain: windows, gambrel wing

FOR OFFICE USE: Town # _____ Site # _____ UTM _____

District: ☐ S ☐ NR If NR, Specify: ☐ Actual ☐ Potential

PROPERTY INFORMATION (CONT'D)**Related outbuildings or landscape features:**

- ☐ Barn ☐ Shed ☐ Garage ☐ Carriage House ☐ Shop ☐ Garden
☒ Other landscape features or buildings: well house

Surrounding Environment:

- ☐ Open land ☐ Woodland ☐ Residential ☒ Commercial ☐ Industrial ☐ Rural
☐ High building density ☐ Scattered buildings visible from site

- Interrelationship of building and surroundings:

See continuation sheet.

- Other notable features of building or site (*Interior and/or Exterior*)

See continuation sheet.

Architect N/A Builder N/A

- Historical or Architectural importance:

See continuation sheet.

- Sources:

See continuation sheet.

Photographer Mary E. McCahon Date 4/89

View Southeast Negative on File CTSHPO 2:30

Name Mary E. McCahon Date 5/89

Organization Wilton Historical Society

Address 249 Danbury Road, Wilton, CT 06897

- Subsequent field evaluations:

Threats to the building or site:

- ☒ None known ☐ Highways ☐ Vandalism ☐ Developers ☐ Renewal ☐ Private
☐ Deterioration ☐ Zoning ☐ Other _____ ☐ Explanation _____

HISTORIC RESOURCE INVENTORY – BUILDINGS AND STRUCTURES

CONTINUATION SHEET

481 Danbury Road, Wilton



Photograph 481 Danbury Road. View southeast.

Interrelationship of Buildings and Surroundings

The house contributes to the historic and architectural character of the Zion's Hill neighborhood. Best preserved section of Danbury Road.

Other Notable Features or Buildings on the Site

The three-bay, two-story dwelling arranged on the two-room up and down plan with an interior chimney was constructed in 1837 and is simply detailed with a shallow cornice return on the gable ends. Six-over-six windows that diminish on the second level are used throughout, including the gable ends. The batten door is a replacement, and the gambrel wing to the north is nicely recessed to not overwhelm the diminutive original house. The house appears to be fairly complete, even retaining original chimney pieces on the interior.

Historical and Architectural Importance

HISTORIC RESOURCE INVENTORY – BUILDINGS AND STRUCTURES

CONTINUATION SHEET

481 Danbury Road, Wilton

The modest, unadorned house was built in 1837 by Noah Partrick on a lot that he purchased from Charles Scribner (7:118). No house was mentioned in the conveyance. Partrick resided in the house until his death about 1870. He was a member of Zion's Hill Methodist Episcopal Church. Architecturally it is an important structure because it is representative of the early-to-mid 19th century vernacular tradition. The two-room up and down plan had survived from the earliest days. The house was part of Josephine Hurlbutt's estate in 1945, and it was converted to commercial use after 1965. The gambrel wing is modern.

Sources

Wilton Land Records



The New Haven Preservation Trust

*The Children of the American Dream
for the New Haven Preservation Trust
William Lloyd and John Lloyd*

March 4, 1986

Mr. Robert Faesy
Robert Faesy Associates
P.O. Box 445
523 Danbury Road
Wilton, Connecticut 06897

RE: 481 Danbury Road

Dear Mr. Faesy,

Upon inspection of 481 Danbury Road, I have concluded that the house was built in the early decades of the nineteenth century. The sign on the house dating the structure at 1837, appears to be fairly accurate given the exterior and interior architectural detailing. Of course, more precise dating of the building can only be achieved by researching the building history in the local records.

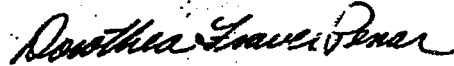
The basic plan of the house, and the stone-base central chimney suggest that the house could have been built anywhere from the Colonial period through the early decades of the nineteenth century. The projecting cornice with returns suggests that the house was constructed in the nineteenth century. The house is a good example of the transition between the Federal and Greek Revival styles in vernacular architecture.

This frame house was constructed in the post-and-beam method of construction; post-and-beam construction was abandoned for balloon construction in the mid-nineteenth century. The hand hewn post are visible in the interior corners of the house. The stone fireplace and brick oven in the south side front room appear to be original. The fireplace in the north side front room, however, has been altered slightly. The window and door

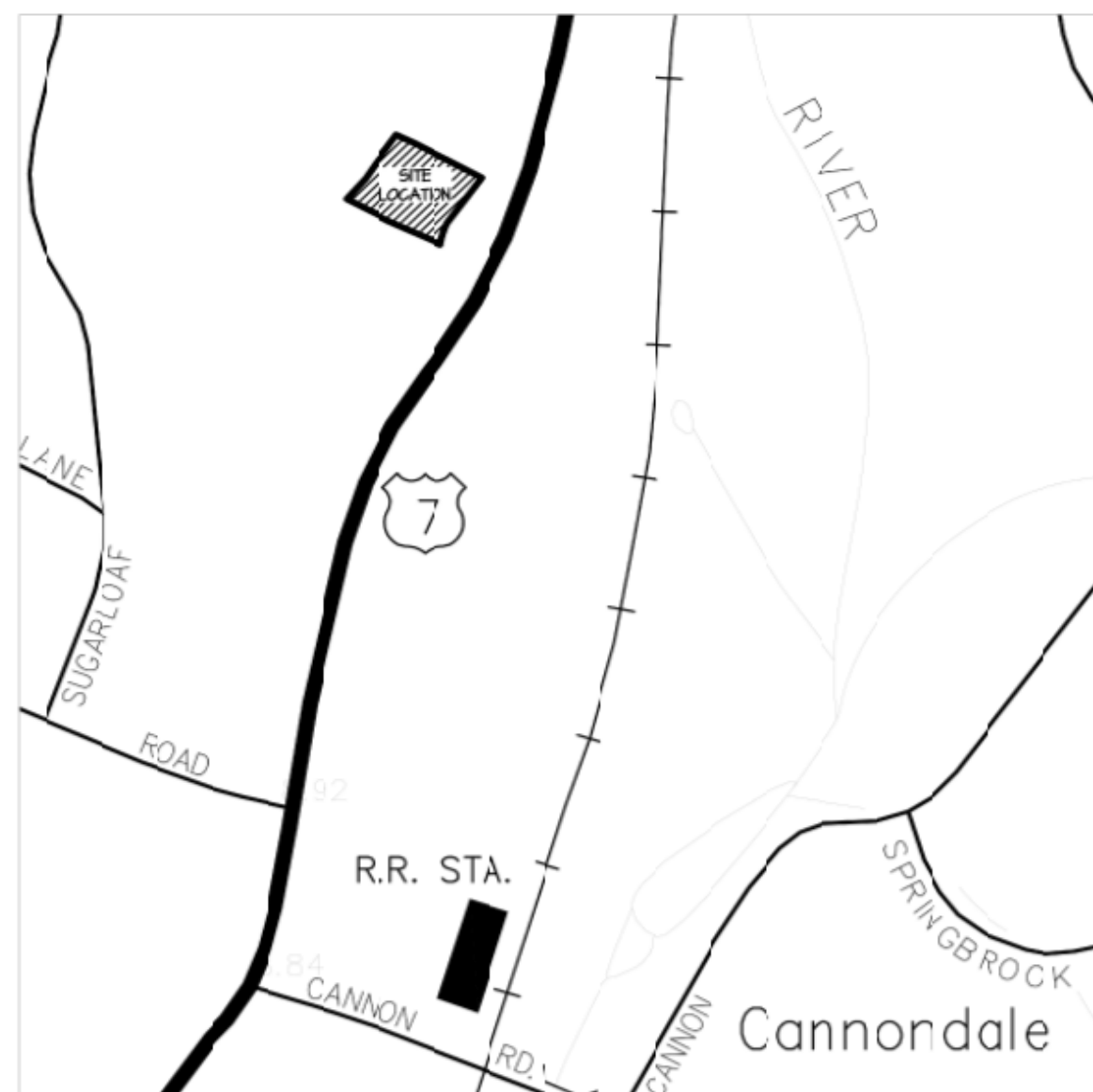
mouldings are original, but an additional moulding was added to the outer edge of the existing moulding. Many of the original doors and hardware remain intact. The door hardware is probably "shop-made" and is typical of post-Colonial hardware. (See J. Frederick Kelly's Early Domestic Architecture of Connecticut.) The only major twentieth century alterations to the house include the enclosure of the south-side porch and the addition of a small storage room addition to the north elevation.

If you have any questions about the above information, or if you require any additional information, please call me.

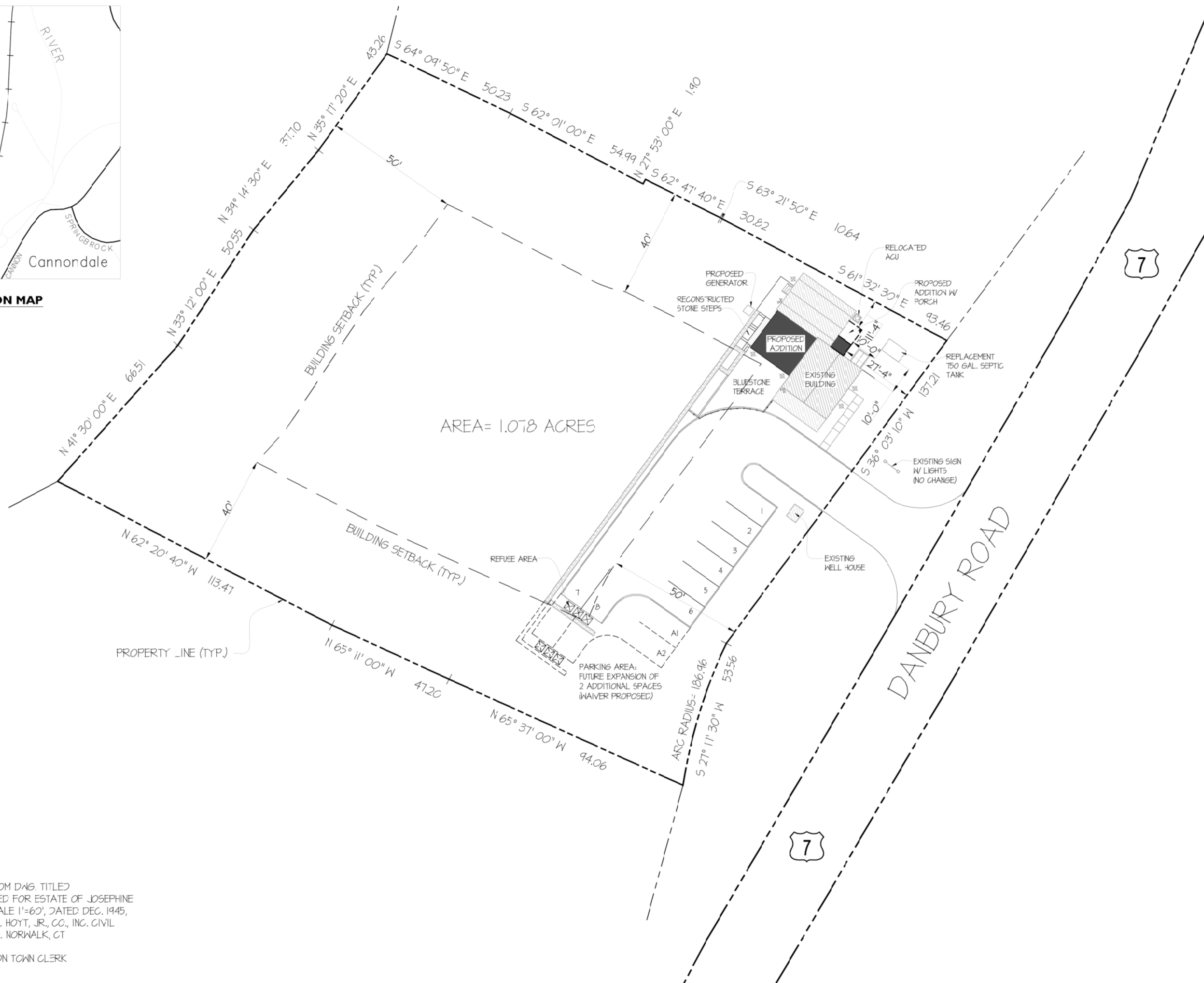
Sincerely,



Dorothea Fraver Penar
Historic Preservation Consultant



LOCATION MAP



SITE INFORMATION TAKEN FROM DWG. TITLED
"MAP OF PROPERTY PREPARED FOR ESTATE OF JOSEPHINE
HURLETT AT WILTON, CT", SCALE 1"=60', DATED DEC. 1945,
PREPARED BY THE SAMUEL A. HOYT, JR., CO., INC. CIVIL
ENGINEERS & SURVEYORS, SO. NORWALK, CT

FILED MAY 5, 1947 WITH WILTON TOWN CLERK

Rob Sanders Architects LLC

The Carriage House
436 Danbury Road
Wilton, Connecticut 06897
p 203.761.0144
f 203.761.0073
e info@rsarcht.com



Project Name & Address
CANNONDALE ANIMAL CLINIC
481 DANBURY RD
WILTON, CT

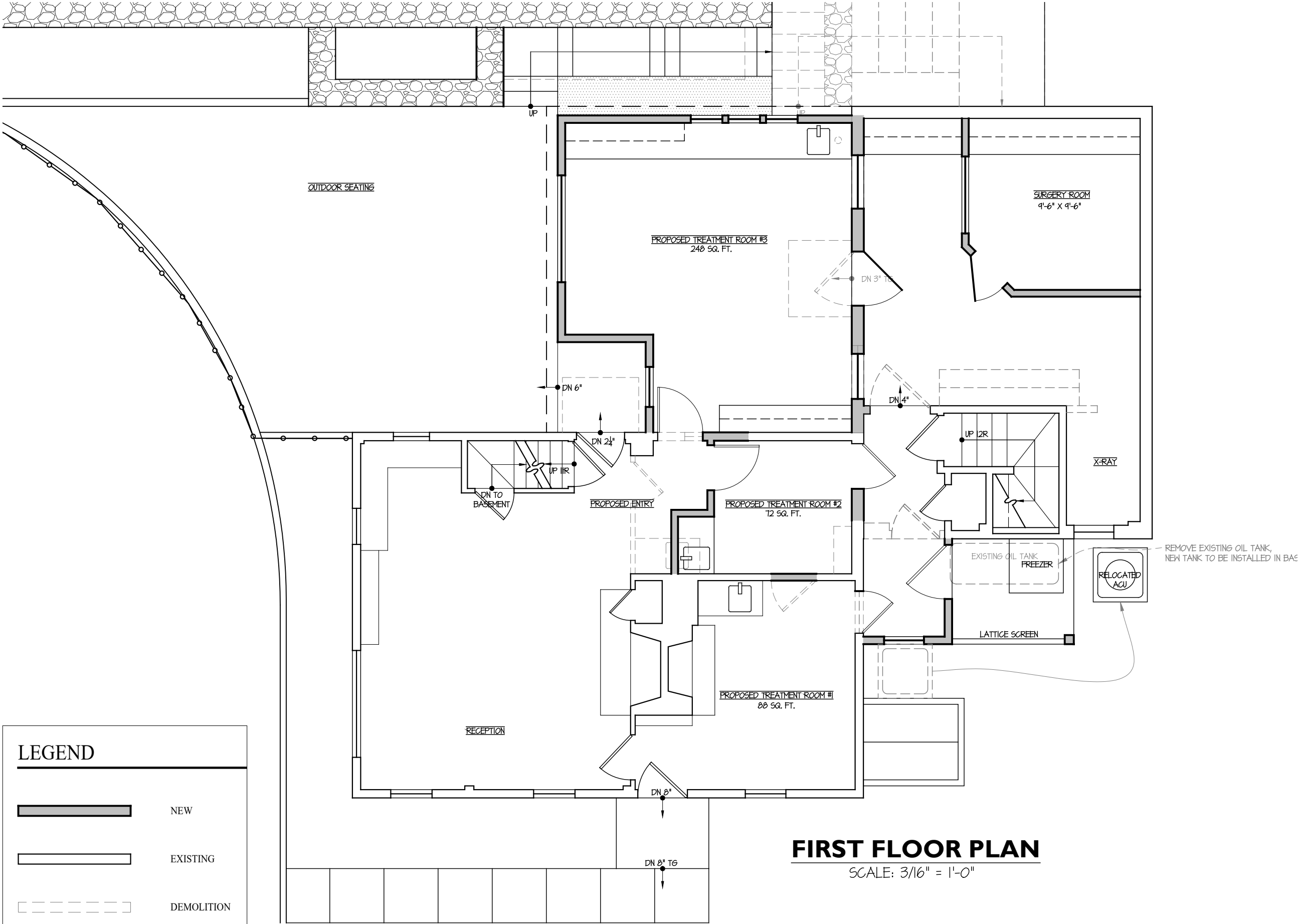
Project No.
21-010

Sheet Name
SCHEME 1 - SITE PLAN

d AUGUST 11, 2021
s 1:200

Sheet No.

SP-1

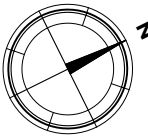


LEGEND

	NEW
	EXISTING
	DEMOLITION

FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

Rob Sanders Architects LLC
The Carriage House
436 Danbury Road
Wilton, Connecticut 06897
p 203.761.0144
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e info@rsarchct.com



Project Name & Address
CANNONDALE ANIMAL CLINIC
481 DANBURY RD
WILTON, CT

Project No.
21-010

Sheet Name
SCHEME I-
FLOOR PLAN

d AUGUST 12, 2021
s AS NOTED

Sheet No.

Z-1



EAST ELEVATION

SCALE: 1/4" = 1'-0"

Project Name & Address
CANNONDALE ANIMAL CLINIC
481 DANBURY RD
WILTON, CT

Project No.
21-010

Sheet Name
SCHEME 1-
EAST ELEVATION

d AUGUST 12, 2021
s AS NOTED

Sheet No.

Z-2



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

Project Name & Address
CANNONDALE ANIMAL CLINIC
481 DANBURY RD
WILTON, CT

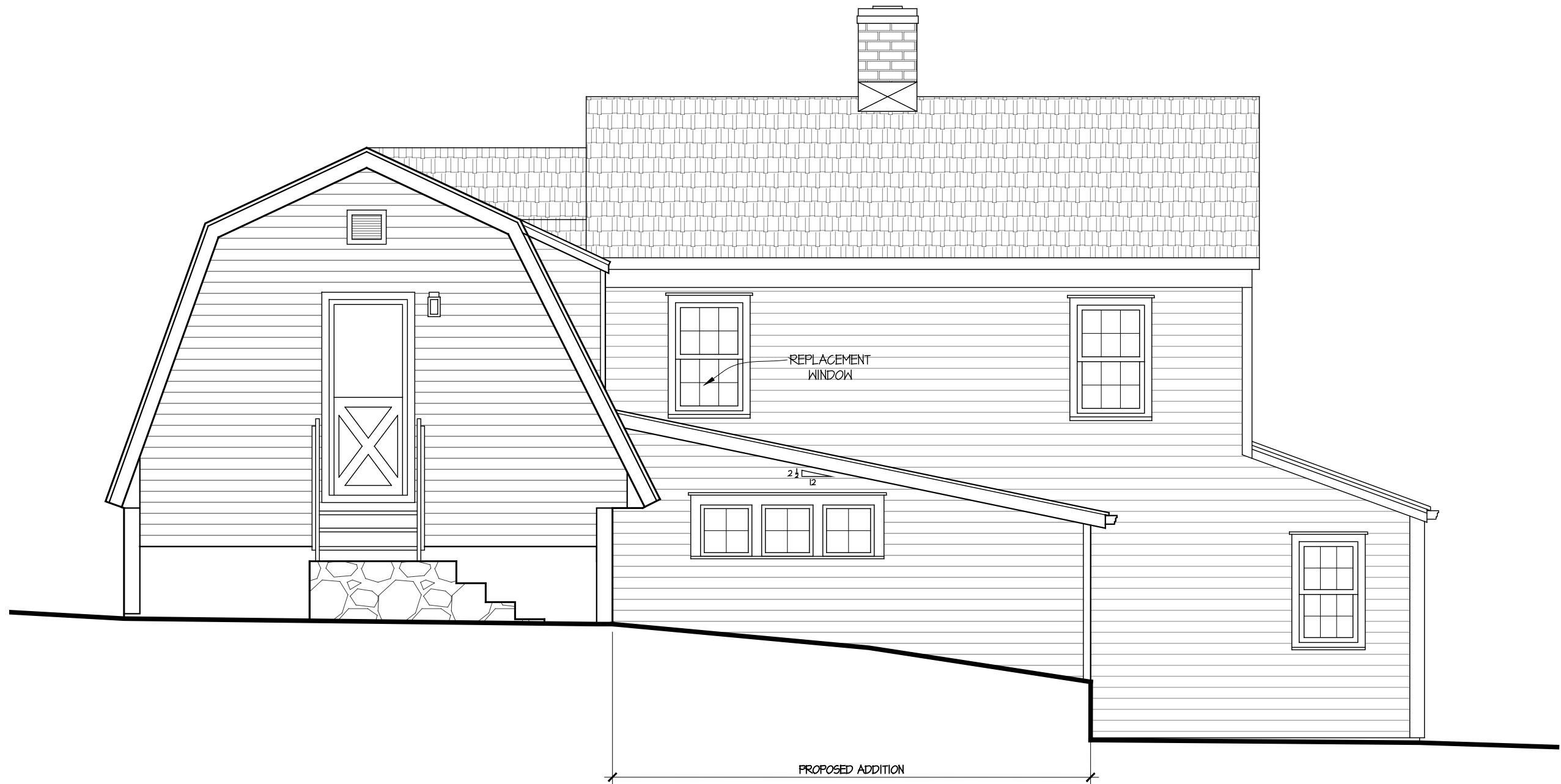
Project No.
21-010

Sheet Name
**SCHEME I -
SOUTH ELEVATION**

d AUGUST 12, 2021
s AS NOTED

Sheet No.

Z-3



WEST ELEVATION

SCALE: 1/4" = 1'-0"

Project Name & Address
CANNONDALE ANIMAL CLINIC
481 DANBURY RD
WILTON, CT

Project No.
21-010

Sheet Name
SCHEME I -
WEST ELEVATION

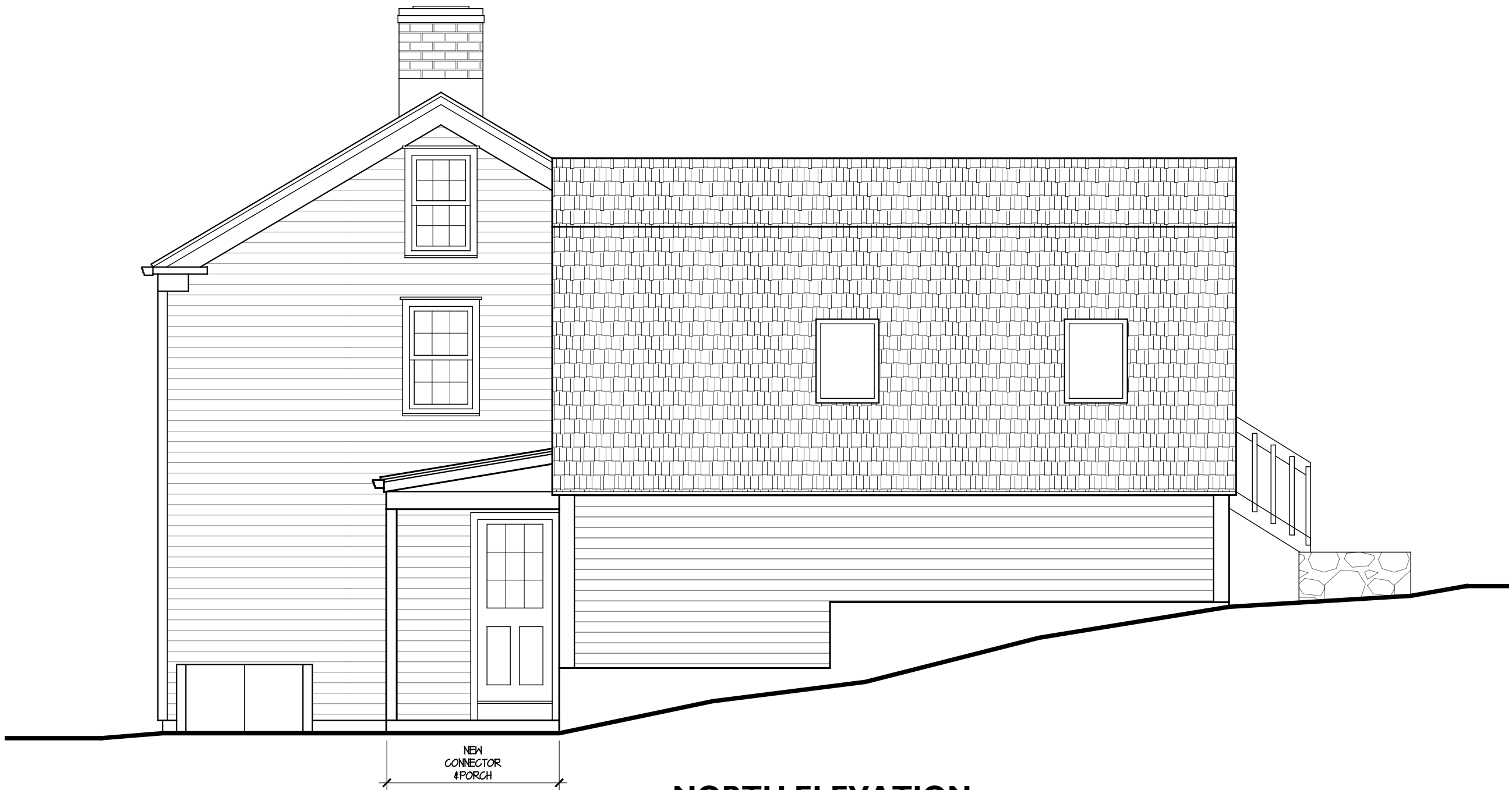
d AUGUST 12, 2021
s AS NOTED

Sheet No.

Z-4

Rob Sanders Architects LLC

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NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Project Name & Address
CANNONDALE ANIMAL CLINIC
481 DANBURY RD
WILTON, CT

Project No.
21-010

Sheet Name
SCHEME I-
NORTH ELEVATION

d AUGUST 12, 2021
s AS NOTED

Sheet No.

Z-5