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(1929 - 2015)

PLEASE REPLY TO SENDER:
JAMES D'ALTON MURPHY
DIRECT DIAL: 203-571-6309
jmurphy@gregoryandadams.com

January 24, 2022

By E-mail and Hand Delivery

Mr. Michael E. Wrinn – Director of Planning and Land Use Management
Town Hall Annex
238 Danbury Road
Wilton, CT 06897

Re: ASML US, LLC – Application for Special Permit (SP#486)
Premises: 77 Danbury Road, Wilton, Connecticut

Dear Director Wrinn:

In satisfaction of the conditions of approval contained in the Planning and Zoning Commission's Resolution ##1221-486SP dated December 13, 2021 regarding the referenced matter (the "**Resolution**"), we enclose the following:

1. Land Record Information Form dated December 13, 2021, which Form was recorded on January 11, 2022 in Book 2546 of the Wilton Land Records at Page 336 (reference being made to Condition #9 of the Resolution).
2. Two full-size completed, revised sets of original, signed and sealed final plans prepared by H&R Design, Inc and Arthur H. Howland & Associates, P.C. ("the **Plans**") (reference being made to Condition #10 of the Resolution).

The following notes have been added to the Plans:

- a. "Pursuant to Section 8-3.(i) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 21, 2026."

- b. "For conditions of approval for **Special Permit #486**, see **Resolution #1221 – 486SP.**"

Respectfully submitted,
Gregory and Adams, P.C.

By: 
James D'Alton Murphy

JD'AM/ko

Enclosures

cc: Mr. Jason Domena and Mr. Patrick Van Den Bogaard – ASML
Mr. Paul Szymanski, P.E and Mr. Jim McTigue, PLS – Arthur H. Howland & Associates
Mr. Scott Yates and Mr. Ray Walker - H&R Design, Inc.
Kathleen Royle, Esq.

LandUse/Clients/ASML/2021 Cafeteria Addition/Application to Planning and Zoning Commission/Satisfaction of Conditions of Approval
/Director Wrinnltr01-18-22(final)

LAND RECORD INFORMATION FORM
(Mandated by Public Act No. 75-317)

- 1) GRANTING COMMISSION 2) TYPE OF APPLICATION
- xx Planning & Zoning xx Special Permit
 Zoning Board of Appeals Variance
- 3) COPY OF THE GRANTING MOTION 4) DATE: December 13, 2021

SP#486, a special permit application from ASML US, LLC to allow the construction of a 20,379 sq. ft. building expansion; for property located at 77 Danbury Road, Assessor's Map #69, Lot #18; in a Design Enterprise (DE-10) Zoning District; consisting of 28.6425+/- acres; owned by ASML US, LLC.

5) APPROVED WITH THE FOLLOWING CONDITIONS:

General Modifications:

1. This Resolution does not replace requirements for the owner to obtain any other permits or licenses required by law or regulation by the Town of Wilton, such as, but not limited to: Zoning Permit, Sign Permit, Building Permit, Certificate of Zoning Compliance; or from the State of Connecticut or the Government of the United States. Obtaining such permits or licenses is the responsibility of the owner. All required Town agency signoffs shall be provided as required, along with meeting all of the requirements of the State of Connecticut Department of Transportation.
2. In accordance with Section 8-3.(i) of the Connecticut General Statutes, all work or physical improvements required and/or authorized by the approved plan shall be completed within five years of the effective date of this resolution. This five-year period shall expire on December 21 , 2026.
3. The erosion and sedimentation plan shall be installed and such installation approved by the P&Z staff, prior to any work beginning on the site.
4. The applicant's plans shall be submitted and reviewed by the Wilton Water Pollution Control Authority and shall be subject to their policies and the required approval shall be obtained prior to the issuance of a zoning permit.
5. All outdoor lighting shall be properly shielded so as to direct illumination towards the ground.
6. That all drainage and piping shall conform to Department of Public Works standards and an approval shall be obtained prior to a building permit being issued.

7. Any additional site work and changes beyond the approved plans shall be submitted for review and approval prior to any changes.
8. Hours of construction shall be limited to Monday through Friday between the hours of 7:30 AM and 6:00 PM and Saturday between the hours of 8:00 AM and 5:30 PM. No construction shall be permitted on Sunday or legal holidays; said conditions shall not apply to any construction activity occurring within any fully-enclosed interior of the building.
9. The owner shall file a Land Record Information Form with the Town Clerk (form to be provided by the P&Z staff) and a copy of the filed Land Record Information Form shall be submitted to the P&Z staff, prior to the issuance of a zoning permit.
10. Two (2) completed revised sets, (collated and bound) shall be submitted to the Commission's office for endorsement as "Final Approved Plan" by the Town Planner, prior to the issuance of a zoning permit. Said plans shall include all revisions noted above and shall bear an ORIGINAL signature, seal and license number of the professional responsible for preparing each plan or portion of it. Said plans shall include the following notes:
 - a. "Pursuant to Section 8-3.(i) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 21, 2026."
 - b. "For conditions of approval for **Special Permit #486**, see **Resolution #1221 – 486SP.**"
11. The gap in the rooftop screening, facing Danbury Road, shall be screened in accordance with the Zoning Regulations.
12. Proper floodproofing certification shall be provided and any required floodproofing shall be accomplished.

PRIOR TO THE ISSUANCE OF A CERTIFICATE OF ZONING COMPLIANCE:

13. The applicant shall furnish the staff with an as-built survey of the property. Said survey shall depict the location of all buildings/structures and parking spaces and shall include building height calculations, building and site coverage calculations, regulatory setbacks and average grade calculations.
14. The operations of the building and associated mechanical shall at all times comply with the noise standards set forth in Section 29.9.H.7 of the zoning regulations.

6) NAMES AND ADDRESSES OF ALL OWNERS OF RECORD

ASML US, LLC
c/o CTMI, ATTN: Kevin Cavasos
6115 Camp Bowie #152
Fort Worth, TX 76116

7) DESCRIPTION OF THE PROPERTY, WILTON LAND RECORD MAP #5250

Refer to Wilton Land Records for 77 Danbury Road, Wilton, CT 06897

8) VOLUME AND PAGE OF DEED, QUIT CLAIM, WARRANTY, ETC.

Volume 2494, Page 293

 DEC 20, 2021
COMMISSION CERTIFICATION (TITLE)
TOWN PLANNER

Received for Record at Wilton, CT
On 01/11/2022 At 10:42:00 am

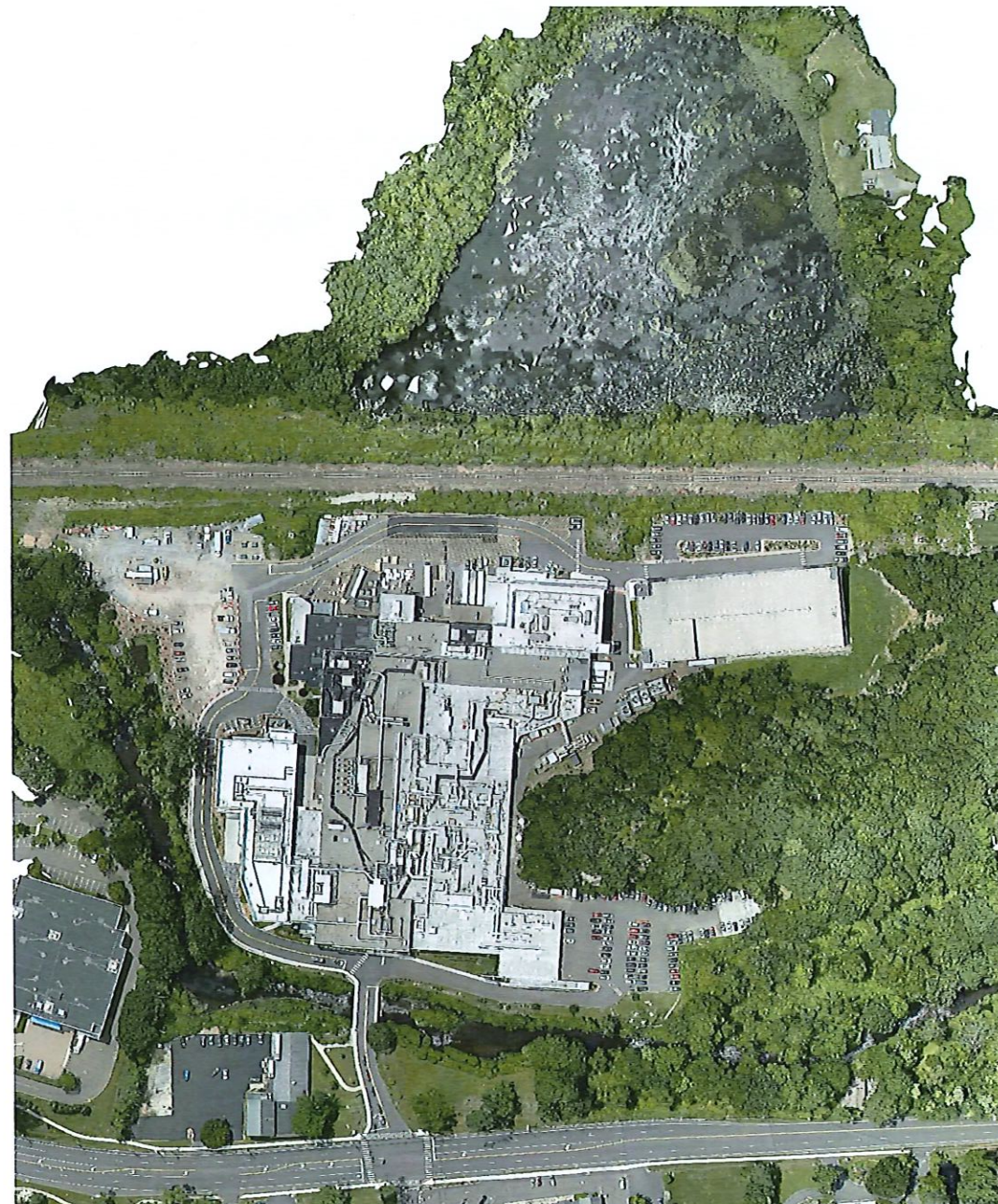
Denis A. Sobolev

ASML

77 DANBURY ROAD

LITHOGRAPHY

WILTON, CT



① EXISTING AERIAL PHOTO

LIST OF DRAWINGS

NO.	SHEET CONTENTS:
ARB-P1	COVER SHEET / EXISTING AERIAL PHOTO
ARB-P2	EXISTING PHOTOS
ARB-P3	RENDERINGS
ARB-P4	RENDERINGS
ARB-P5	RENDERINGS
ARB01	SITE PLAN
ARB02	FIRST FLOOR PLAN
ARB03	SECOND FLOOR PLAN
ARB04	FIRST FLOOR REFLECTED CEILING PLAN
ARB05	SECOND FLOOR REFLECTED CEILING PLAN
ARB06	ELEVATIONS
ARB07	BUILDING SECTION



H & R DESIGN, INC.
Facilities Design & Planning
50 Osborne Street Danbury, CT 06810
Phone: 203.790.9750 Fax: 203.790.6953

ASML

WEST ADDITION
77 DANBURY ROAD WILTON, CT 06897



Pursuant to Section 8-3(j) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 21, 2026

For conditions of approval for Special Permit #466, see Resolution #1221-466SP

ARB-P1

Drawn By:
Date:

S.Y.
11.15.21



1 EXISTING PHOTOS





H & R DESIGN, INC.
Facilities Design & Planning
50 Osborne Street Danbury, CT 06810
Phone: 203.790.9750 Fax: 203.790.6953

ASML

WEST ADDITION
77 DANBURY ROAD WILTON, CT 06897

Pursuant to Section 8-3.(j) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 21, 2026

For conditions of approval for Special Permit #486, see Resolution #1221-486SP

ARB-P3

Drawn By: S.Y.
Date: 11.15.21



H & R DESIGN, INC.
Facilities Design & Planning
50 Osborne Street Danbury, CT 06810
Phone: 203.790.9750 Fax: 203.790.6953



WEST ADDITION
77 DANBURY ROAD WILTON, CT 06897

Pursuant to Section 8-3(j) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 21, 2026

For conditions of approval for Special Permit #486, see Resolution #1221-486SP

ARB-P4

Drawn By: SY.
Date: 11.15.21



HR
DESIGN INC.

H & R DESIGN, INC.
Facilities Design & Planning
50 Osborne Street Danbury, CT 06810
Phone: 203.790.9750 Fax: 203.790.6953

ASML

WEST ADDITION
77 DANBURY ROAD WILTON, CT 06897

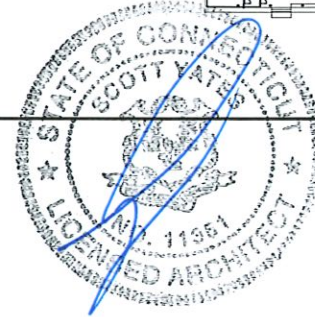
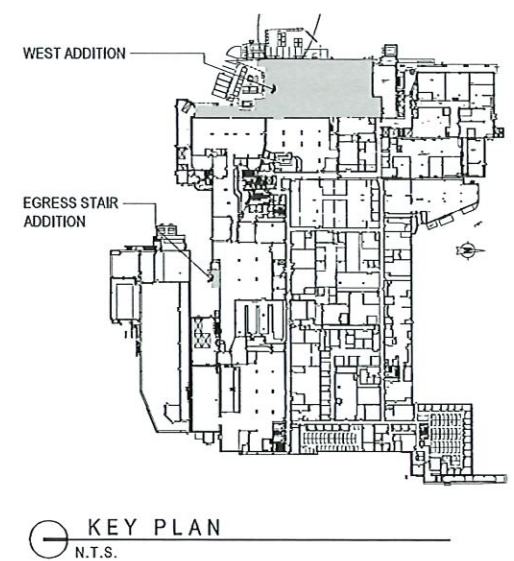
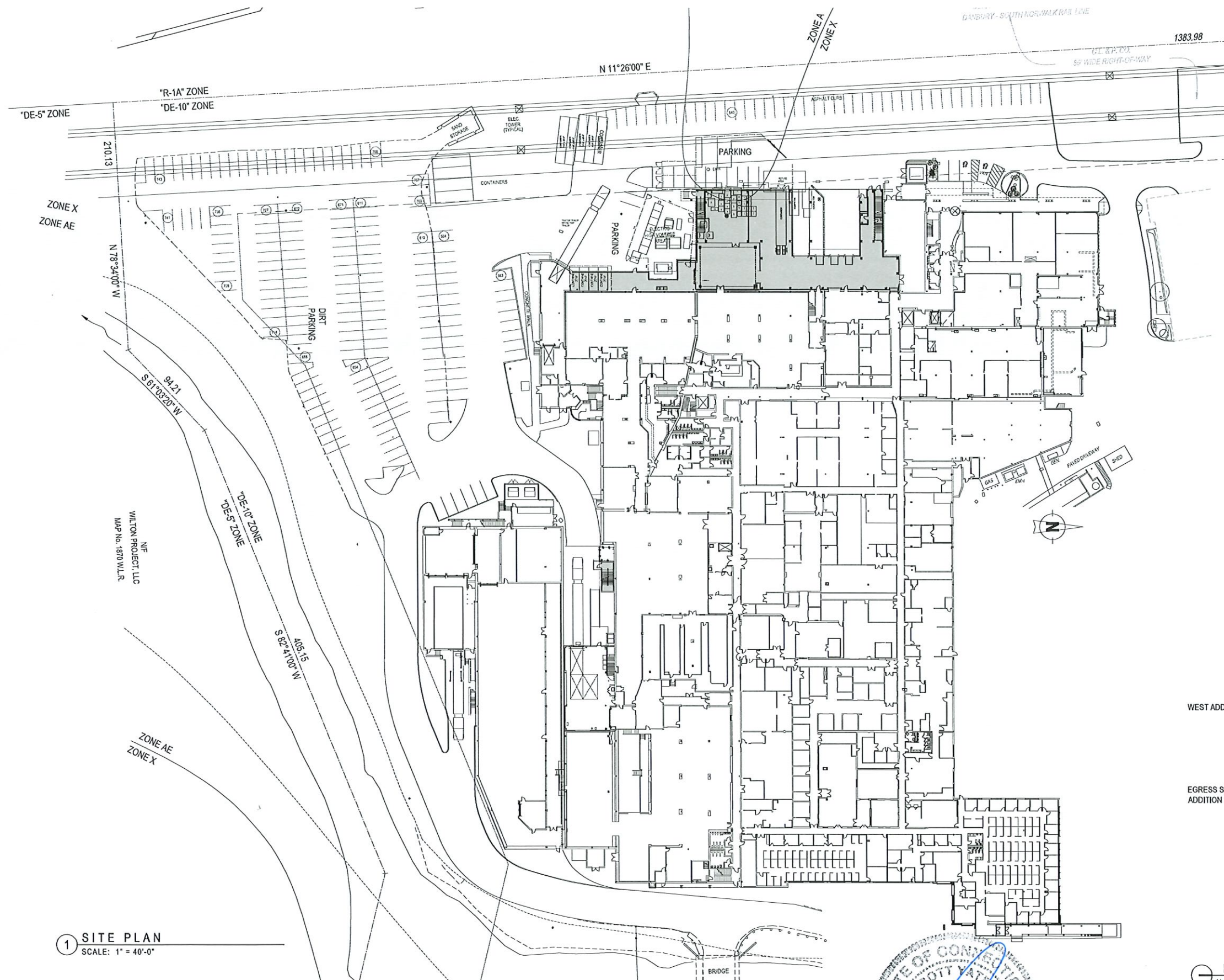
Pursuant to Section 8-3.(j) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 21, 2026

For conditions of approval for Special Permit #486, see Resolution #1221-486SP

ARB-P5

Drawn By:
Date:

S.Y.
11.15.21



Pursuant to Section 8-3.(j) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 21, 2026

For conditions of approval for Special Permit #486, see Resolution #1221-486SP

ARB01

Drawn By: S.Y.
Date: 11.15.21

WEST ADDITION	+/- 8,694 s.f.
NEW SOUTH STAIR	+/- 320 s.f.
NEW COVERED LOADING DOCK	+/- 3,211 s.f.



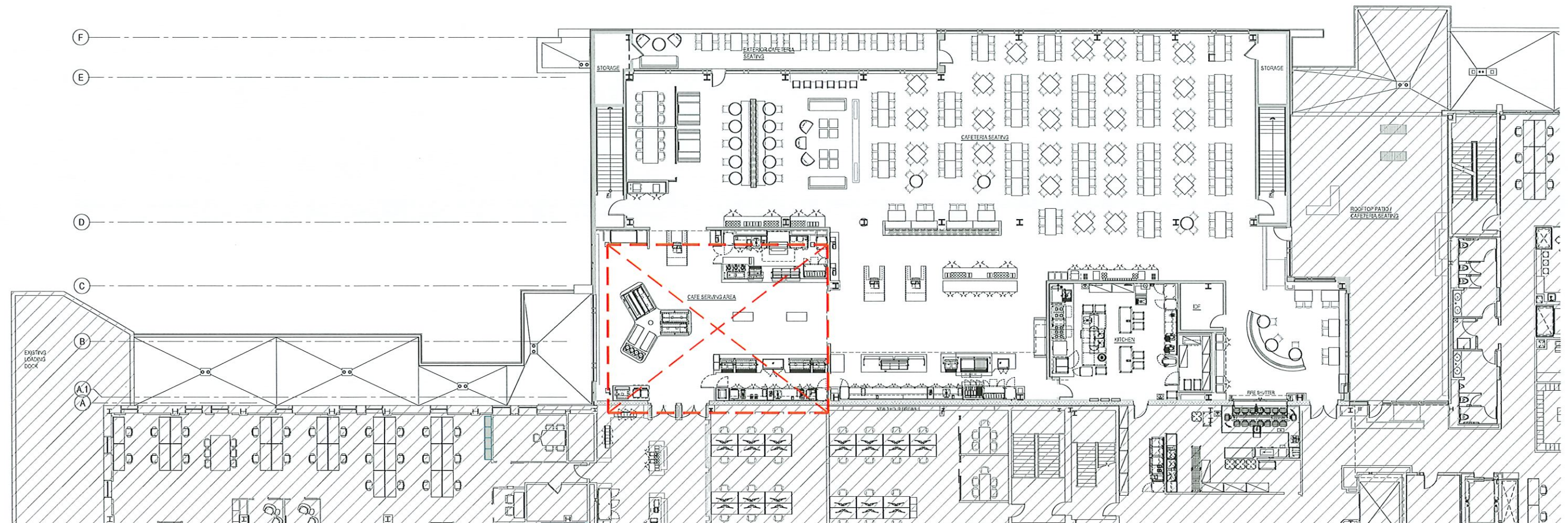
For conditions of approval for Special Permit #486, see Resolution #1221-486SP

Drawn By: S.Y.
Date: 11.15.21

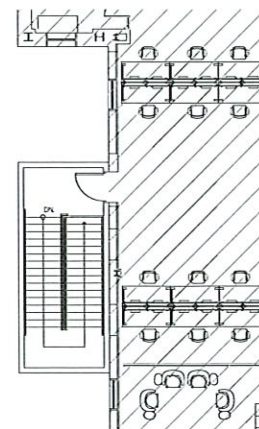


ASML

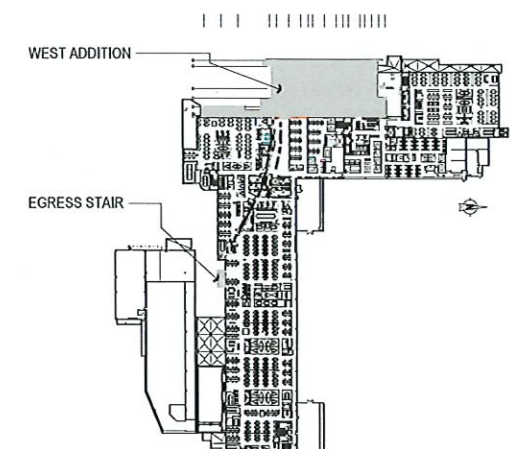
WEST ADDITION
77 DANBURY ROAD WILTON, CT 06897



1 SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

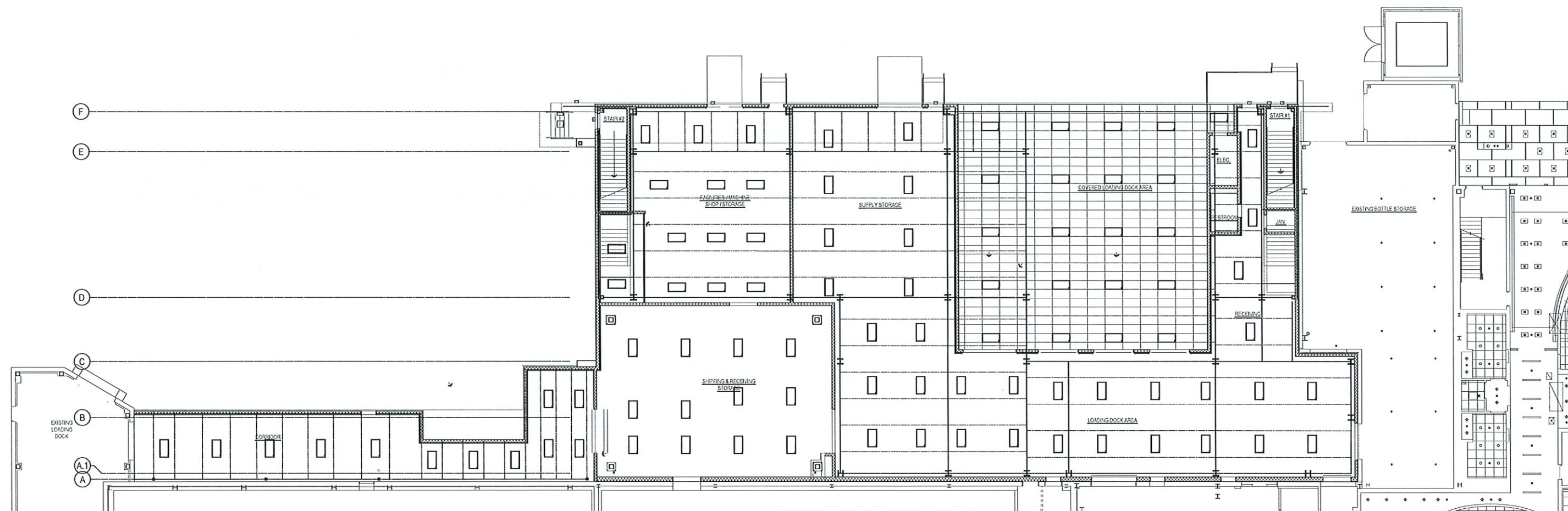


2 SECOND FLOOR EGRESS STAIR PLAN
SCALE: 3/32" = 1'-0"



3 SECOND FLOOR KEY PLAN
N.T.S.

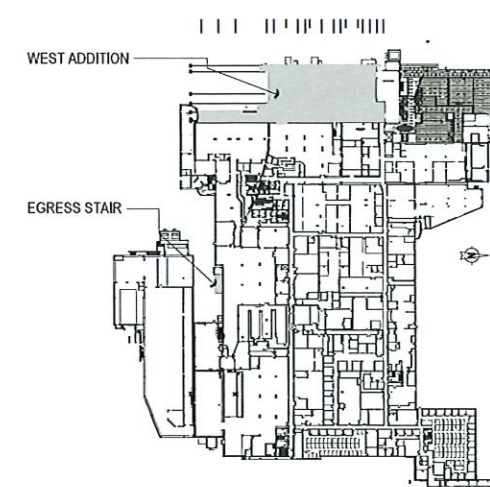




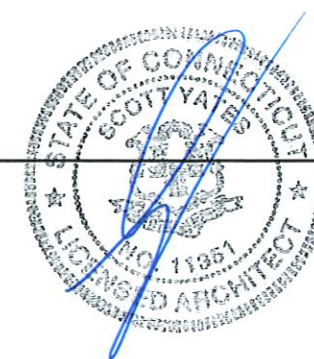
1 FIRST FLOOR REFLECTED
CEILING PLAN
SCALE: 3/32" = 1'-0"



2 FIRST FLOOR EGRESS STAIR
REFLECTED CEILING PLAN
SCALE: 3/32" = 1'-0"



3 FIRST FLOOR KEY PLAN
N.T.S.



H & R DESIGN, INC.
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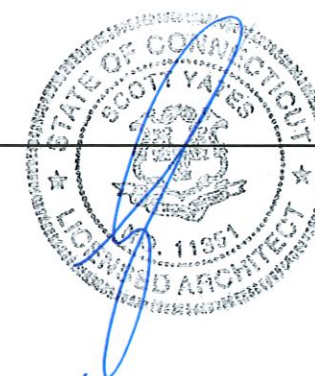
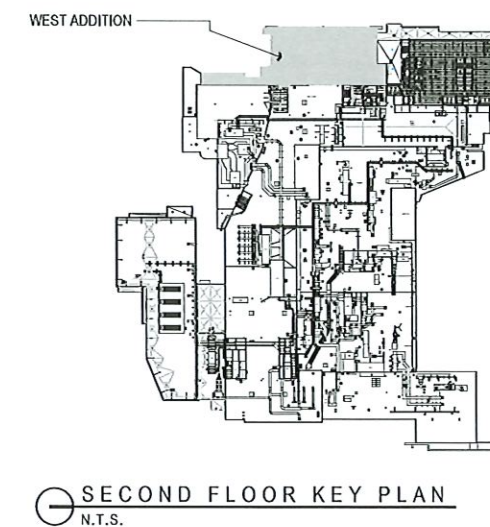
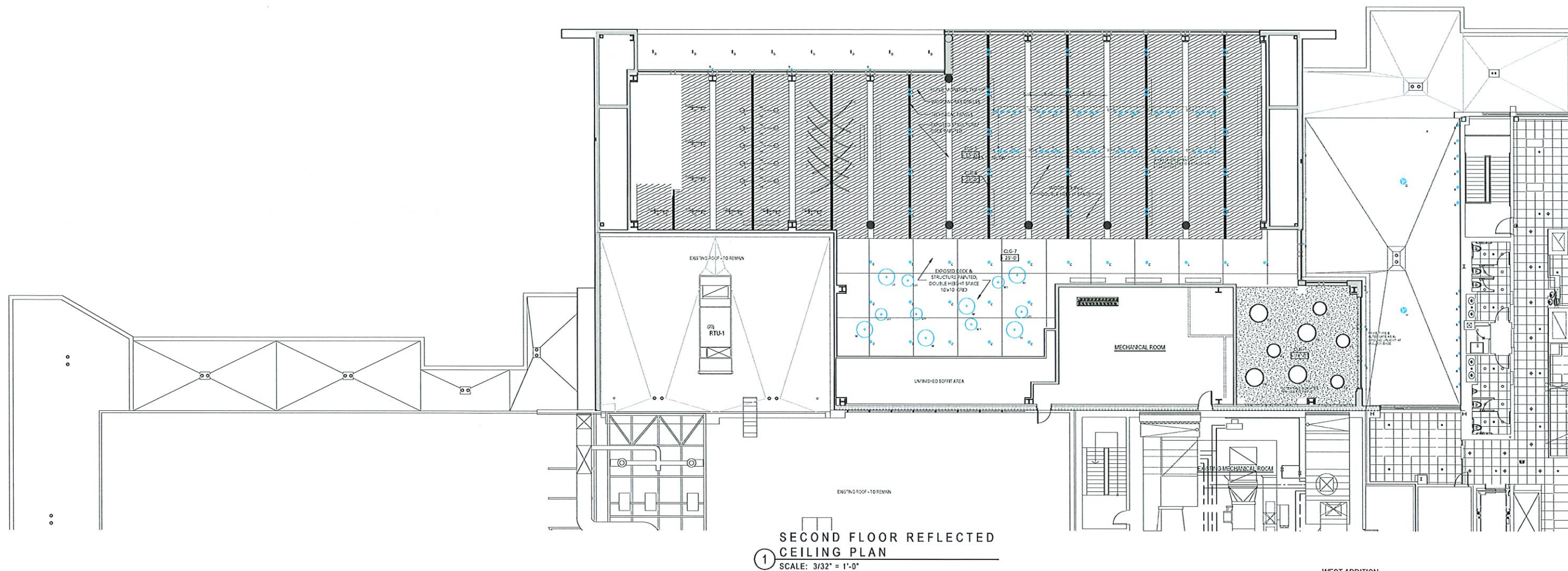
WEST ADDITION
77 DANBURY ROAD WILTON, CT 06897

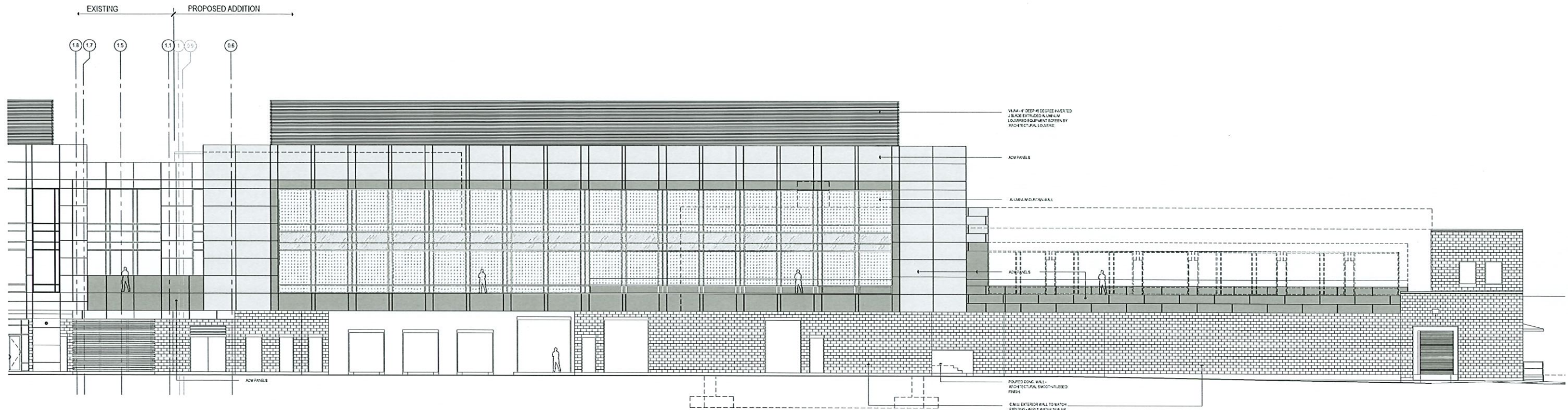
Pursuant to Section 8-3.(1) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 21, 2026

For conditions of approval for Special Permit #456, see Resolution #1221-466SP

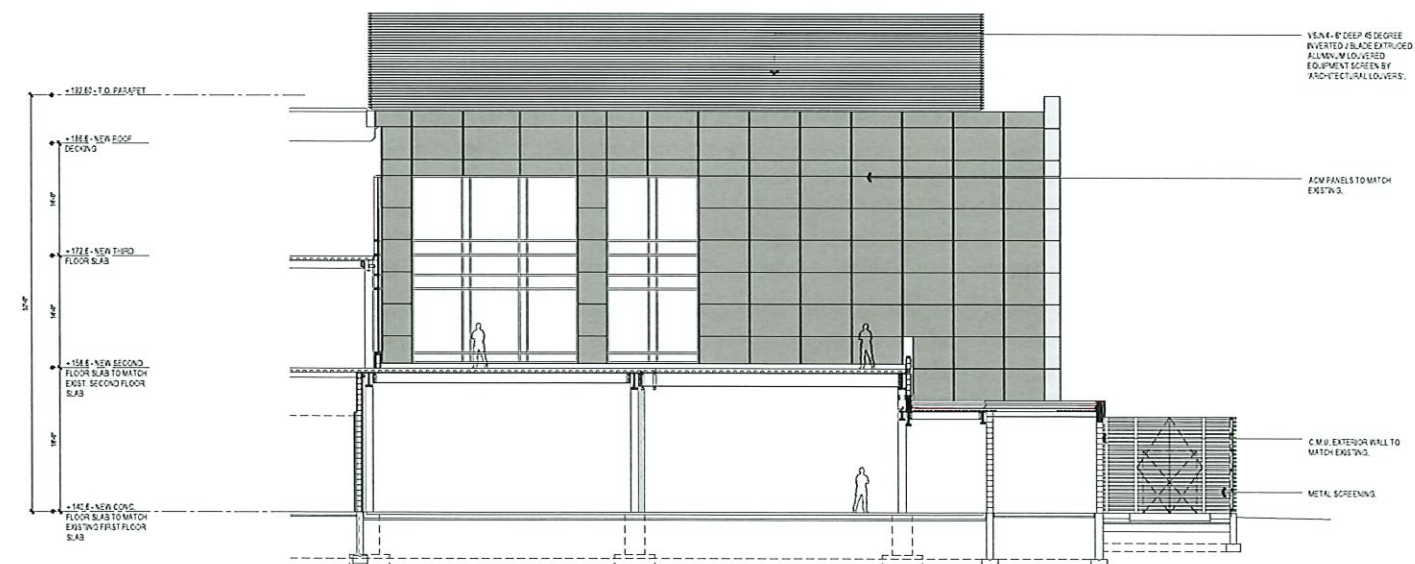
ARB04

Drawn By: S.Y.
Date: 11.15.21

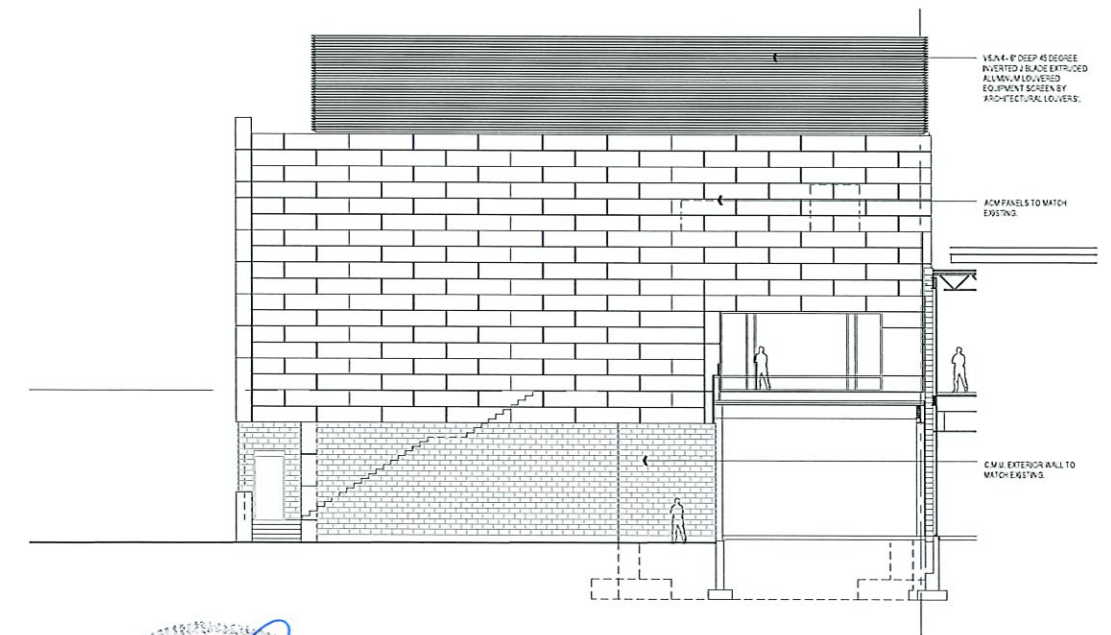




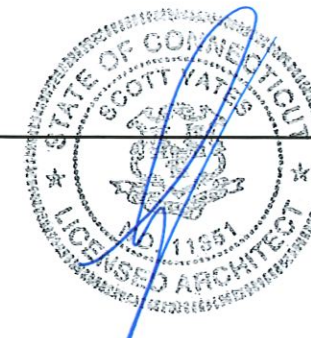
① WEST ELEVATION
SCALE: 3/32" = 1'-0"

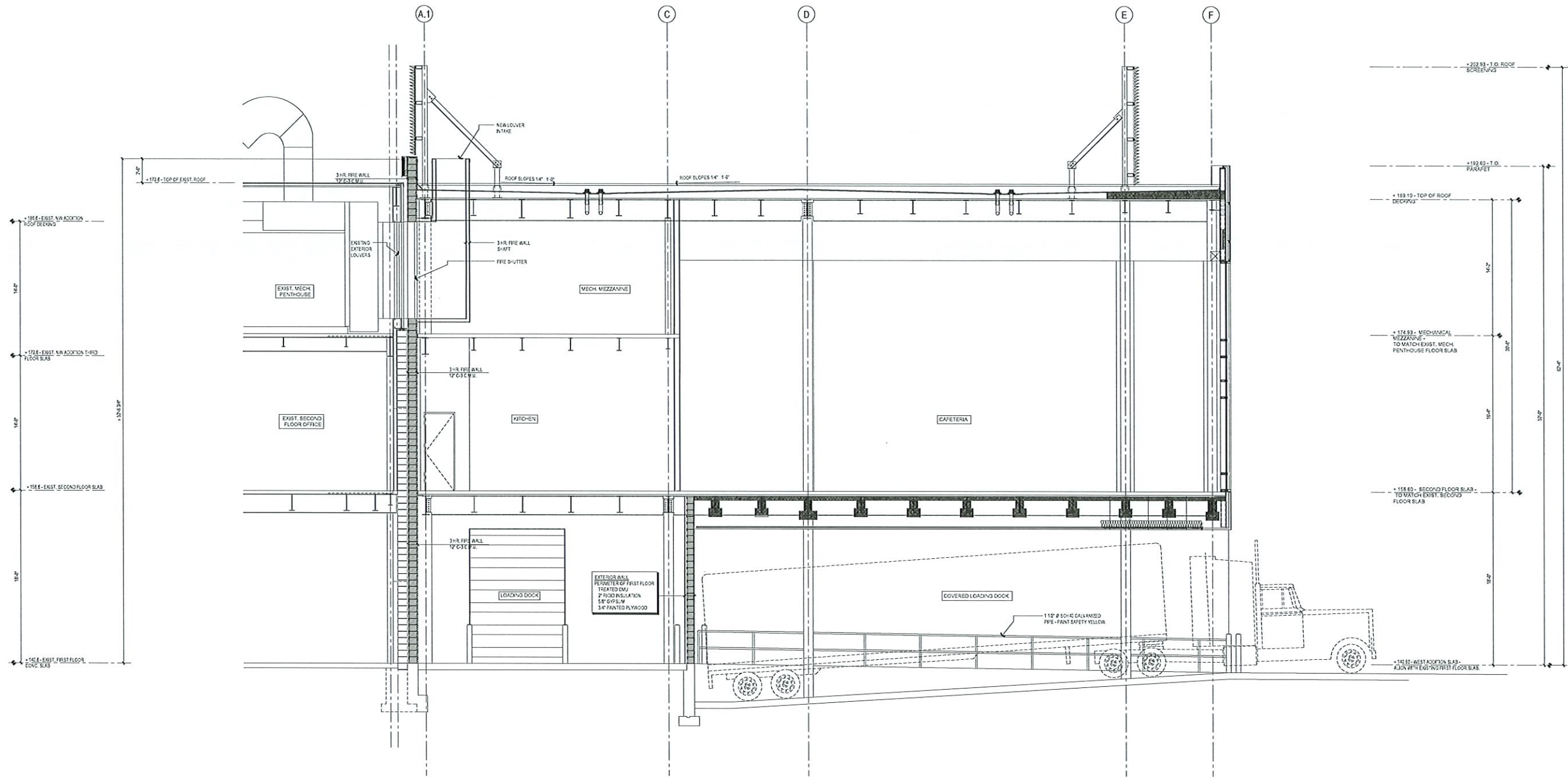


② NORTH ELEVATION
SCALE: 3/32" = 1'-0"



③ SOUTH ELEVATION
SCALE: 3/32" = 1'-0"





1 BUILDING SECTION
SCALE: 3/16" = 1'-0"



H & R DESIGN, INC.
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WEST ADDITION
77 DANBURY ROAD WILTON, CT 06897



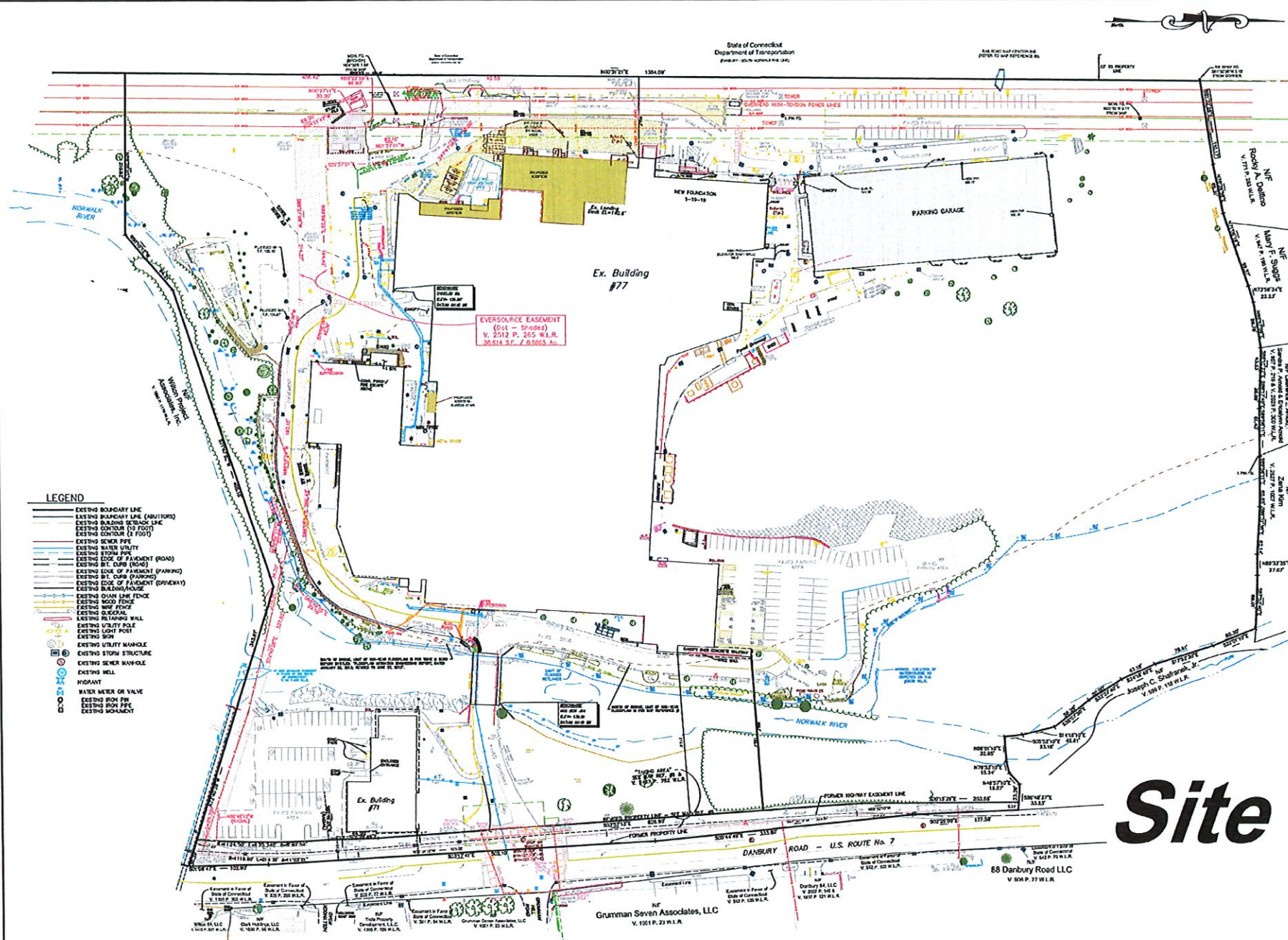
Pursuant to Section 8-3.(j) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 21, 2026

For conditions of approval for Special Permit #486, see Resolution #1221-486SP

ARB07

Drawn By:
Date:

S.Y.
11.15.21



Sheet Index

C.1	Cover Sheet	As Noted	January 06, 2022
A.1	Location Map & Vicinity Sketch	As Noted	November 11, 2021
BDY.1	Property Survey & Asbuilt Map	1"=50'	November 11, 2021
ZLS.1	Zoning Location Survey	1"=50'	January 06, 2022
OSD.1	Overall Site Development Plan	1"=20'	November 11, 2021
OSD.2	Site Development Plan - Egress Stairs	1"=10'	November 11, 2021
SES.1	Sedimentation & Erosion Control Plan & Standard Details	As Noted	November 11, 2021
D.1	Detail Sheet	As Noted	November 11, 2021

Site Development Plan
for
Proposed Building Additions

77 Danbury Road, Wilton, CT

Prepared for
ASML US, LLC

PZ APPROVAL NOTES:
1. Pursuant to Section 8-3(f) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 21, 2026.
2. For conditions of approval for SPECIAL PERMIT #488, see RESOLUTION #1221 - 446SP.

1) COPIES NOT BEARING THE EMBOSSED SEAL OF THE SURVEYOR OR ENGINEER SHALL BE RENDERED NULL AND VOID.
2) REVISIONS TO THESE PLANS BY ANYONE OTHER THAN ARTHUR H. HOWLAND, P.C. SHALL MAKE THESE PLANS NULL AND VOID. ARTHUR H. HOWLAND, P.C. SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISIONS:	
01-06-2022 PZ APPROVAL NOTED	
01-30-2022 PZ APPROVAL NOTED	



ARTHUR H. HOWLAND & ASSOCIATES, P.C.
CIVIL ENGINEERS • LAND SURVEYORS
SOIL SCIENTISTS • LAND PLANNERS
143 WEST STREET, SUITE E, NEW BRITAIN, CONNECTICUT 06053
PHONE: (860) 354-4546 • (860) 354-4547 • (860) 354-4548
FAX: (860) 354-4415 • WEB: WWW.AHOWLAND.COM

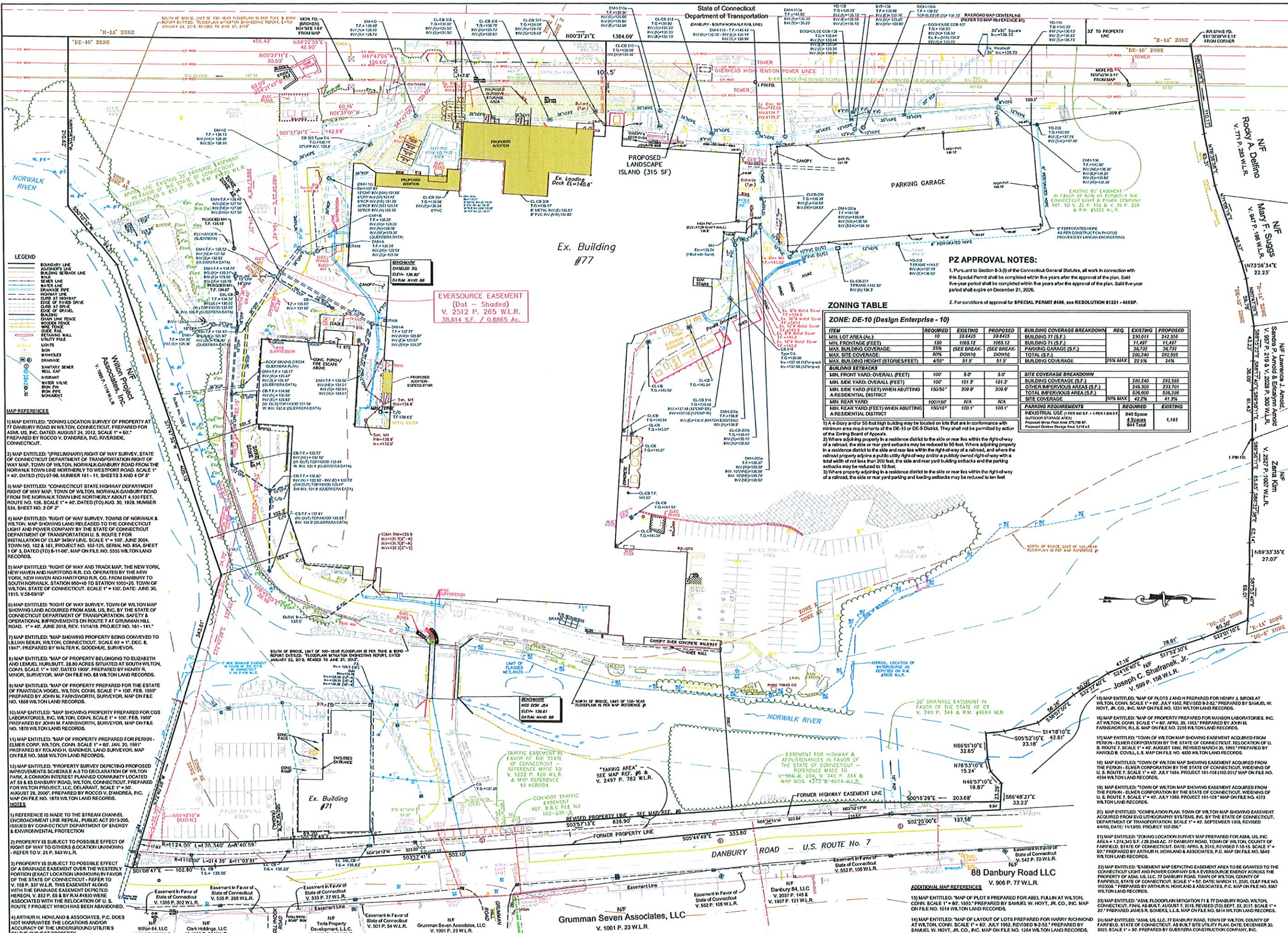
Cover Sheet

DATE: November 11, 2021

SCALE: As Noted



SHEET: C.1



1) COPIES NOT BEARING THE EMBOSSED SEAL OF THE SURVEYOR OR ENGINEER SHALL BE REJECTED AND VOID.

2) REVISIONS TO THESE PLANS BY ANYONE OTHER THAN ARTHUR H. HOWLAND, P.C. SHALL MAKE THESE PLANS NULL AND VOID. ARTHUR H. HOWLAND, P.C. SHALL TAKE NO RESPONSIBILITY FOR SUCH REVISIONS.

REVISIONS:
01-26-2022 PZ APPROVAL NOTED

PROPERTY DESCRIPTION DEED REFERENCES:
V. 2494 P. 293, V. 1348 P. 202 & V. 1002 P. 329 WILTON LAND RECORDS.

FRONT SETBACK VARIANCE FOR PARKING TO 4.0 FEET AND BUILDING TO 5.0 FEET. REFER TO V. 2494 P. 366 WILTON LAND RECORDS.

REFERENCE IS MADE TO VARIOUS SPECIAL PERMIT VARIANCES FOR THE BUILDING AND SITE ON FILE IN THE WILTON LAND RECORDS.

PROPERTY IS LOCATED WITHIN THE DE-10 ZONE DISTRICT.

ELEVATION DATUM IS NAVD 83.

REFER TO CONNECTICUT GENERAL STATUTES SEC. 8-13a REGARDING THE NONCONFORMING LOCATIONS OF BUILDINGS THAT HAVE EXISTED FOR MORE THAN THREE YEARS.

Underground utility, structure and facility locations shown have been determined from record maps provided by utility companies, governmental agencies, testimony, field locations, and other sources. Other utilities may exist on site or in the area shown. The site location, and existence of all underground features must be field verified by the appropriate providers prior to construction. Call Before You Dig, 1-800-922-4655.

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATION OF CONNECTICUT STATE AGENCIES SECTIONS 20-300a, 20-300b, 20-300c, 20-300d, 20-300e, 20-300f, 20-300g, 20-300h, 20-300i, 20-300j, 20-300k, 20-300l, 20-300m, 20-300n, 20-300o, 20-300p, 20-300q, 20-300r, 20-300s, 20-300t, 20-300u, 20-300v, 20-300w, 20-300x, 20-300y, 20-300z, 20-300aa, 20-300ab, 20-300ac, 20-300ad, 20-300ae, 20-300af, 20-300ag, 20-300ah, 20-300ai, 20-300aj, 20-300ak, 20-300al, 20-300am, 20-300an, 20-300ao, 20-300ap, 20-300aq, 20-300ar, 20-300as, 20-300at, 20-300au, 20-300av, 20-300aw, 20-300ax, 20-300ay, 20-300az, 20-300ba, 20-300bb, 20-300bc, 20-300bd, 20-300be, 20-300bf, 20-300bg, 20-300bh, 20-300bi, 20-300bj, 20-300bk, 20-300bl, 20-300bm, 20-300bn, 20-300bo, 20-300bp, 20-300bq, 20-300br, 20-300bs, 20-300bt, 20-300bu, 20-300bv, 20-300bw, 20-300bx, 20-300by, 20-300bz, 20-300ca, 20-300cb, 20-300cc, 20-300cd, 20-300ce, 20-300cf, 20-300cg, 20-300ch, 20-300ci, 20-300cj, 20-300ck, 20-300cl, 20-300cm, 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20-300zp, 20-300zq, 20-300zr, 20-300zs, 20-300zt, 20-300zu, 20-300zv, 20-300zw, 20-300zx, 20-300zy, 20-300zz

ARTHUR H. HOWLAND & ASSOCIATES, P.C.
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145 WEST MAIN STREET, SUITE 200, WILTON, CT 06495
TEL: (860) 355-4444 FAX: (860) 355-4444
WWW.ARHOWLAND.COM

prepared for
ASML US, LLC

Revised Area = 1,247,668 S.F.
/ 28.6425 Ac.

77 Danbury Road
Town of Wilton
County of Fairfield
State of Connecticut

DATE:
November 11, 2021

SCALE:
1" = 50'

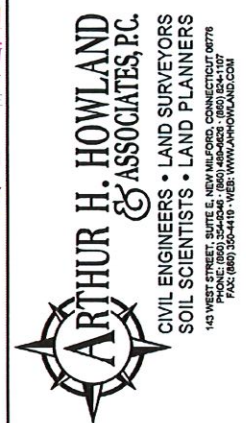
SHEET:
ZLS.1

1) COPIES NOT BEARING THE EMBOSSED SEAL OF THE SURVEYOR OR ENGINEER SHALL BE RENDERED NULL AND VOID.

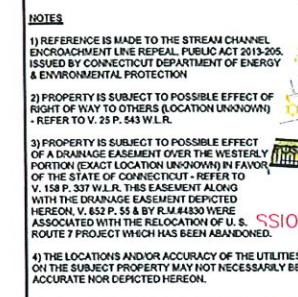
2) REVISIONS TO THESE PLANS BY ANYONE OTHER THAN ARTHUR H. HOWLAND, PC SHALL MAKE THESE PLANS NULL AND VOID. ARTHUR H. HOWLAND, PC SHALL TAXE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISIONS:
01-20-2022 PZ APPROV. NOTED

see RESOLUTION #1221 - 435SP.




SHEET: **OSD.1**

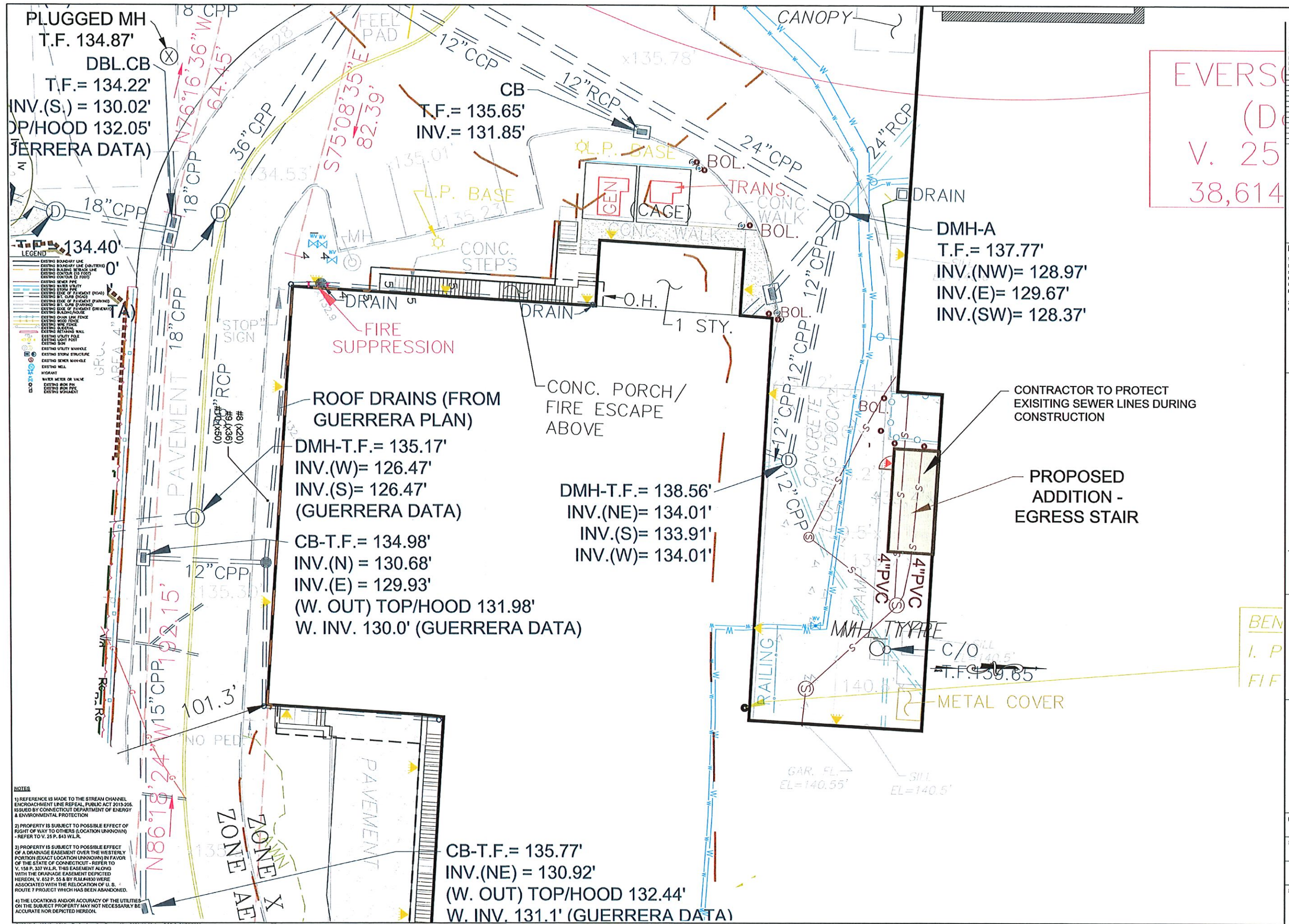


LEGEND

	EXISTING BOUNDARY LINE		PROPOSED CONTOUR (100)
	EXISTING BOUNDARY LINE (ADJUSTED)		PROPOSED CONTOUR (100)
	EXISTING BUILDING RETAINING LINE		PROPOSED SENEER LATERAL
	EXISTING CONTOUR (10 FOOT)		PROPOSED SENEER LATERAL
	EXISTING CONTOUR (20 FOOT)		PROPOSED STORM PIPE
	EXISTING SENEER PIPE		PROPOSED STORM PIPE
	EXISTING WATER UTILITY		PROPOSED CONC. CURB
	EXISTING EASE OF PAVEMENT (HAWK)		PROPOSED BUILDING WALL
	EXISTING EASE OF PAVEMENT (HAWK)		PROPOSED CHAIN LINK FENCE
	EXISTING EASE OF PAVEMENT (HAWK)		PROPOSED WOOD FENCE
	EXISTING EASE OF PAVEMENT (HAWK)		PROPOSED ALUMINUM FENCE
	EXISTING EASE OF PAVEMENT (HAWK)		PROPOSED RETAINING WALL
	EXISTING BUILDING WALL		PROPOSED RETAINING WALL
	EXISTING CHAIN LINK FENCE		PROPOSED SENEER FENCE
	EXISTING WOOD FENCE		PROPOSED LIMIT OF DISTURBANCE
	EXISTING ALUMINUM FENCE		PROPOSED SPOT ELEVATION
	EXISTING RETAINING WALL		PROPOSED LIGHT UTILITY
	EXISTING UTILITY POLE		PROPOSED SIGN
	EXISTING LIGHT POST		PROPOSED SIGN
	EXISTING SIGN		PROPOSED SIGN
	EXISTING UTILITY MANHOLE		PROPOSED SIGN
	EXISTING STORM STRUCTURE		PROPOSED STORM STRUCTURE
	EXISTING STORM MANHOLE		PROPOSED SENEER MANHOLE
	EXISTING SENEER MANHOLE		PROPOSED CONC. WALK
	EXISTING MELL		PROPOSED CONC. WALK
	PROPOSED		PROPOSED LANDSCAPING OR TREELINE
	WATER METER OR VALVE		PROPOSED REPAIR
	EXISTING BOX PIPE		PROPOSED CONSTRUCTION ENTRANCE
	EXISTING BOX PIPE		
	EXISTING BOX PIPE		

LUMINAIRE SCHEDULE				
SYMBOL	LUMINAIRE	MOUNTING TYPE	MOUNTING HEIGHT	QUANTITY
	LUNARK CROSSTOUR MAXX LED WALL PACK SERIES	BUILDING	10'	10

Ex. Building
#77



1) COPIES NOT BEARING THE EMBOSSED SEAL OF THE SURVEYOR OR ENGINEER SHALL BE RENDERED NULL AND VOID.
2) REVISIONS TO THESE PLANS BY ANYONE OTHER THAN ARTHUR H. HOWLAND, P.C. SHALL MAKE THESE PLANS NULL AND VOID. ARTHUR H. HOWLAND, P.C. SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.
01-20-2022 PZ APPROV. NOTED
PROPERTY DESCRIPTION DEED REFERENCES: V. 1348 P. 202 & V. 1002 P. 329 WILTON LAND RECORDS.
PROPERTY IS LOCATED WITHIN THE DE-10 ZONE DISTRICT.
ELEVATION DATUM IS NAVD 83.
REFER TO CONNECTICUT GENERAL STATUTES SEC. 8-13a REGARDING THE NONCONFORMING LOCATIONS OF BUILDINGS THAT HAVE EXISTED FOR MORE THAN THREE YEARS.

PZ APPROVAL NOTES:
1. Pursuant to Section 8-3 (j) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 31, 2026.
2. For conditions of approval for SPECIAL PERMIT #488, see RESOLUTION #1221 - 488SP.



ARTHUR H. HOWLAND & ASSOCIATES, P.C.
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SOIL SCIENTISTS • LAND PLANNERS
14 WEST STREET, SUITE E, NEW MILFORD, CONNECTICUT 06776
TEL: (860) 350-4419 • FAX: (860) 350-4419 • WWW.AHHOWLAND.COM

Overall Site Development Plan - Egress Stair Addition

prepared for
ASML US, LLC
Area = 1,247,668 S.F./ 28.6425 Ac.
77 Danbury Road
Town of Wilton
County of Fairfield
State of Connecticut

DATE:
November 11, 2021

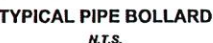
SCALE:
1" = 10'



SHEET:
OSD.2

NOTES
1) REFERENCE IS MADE TO THE STREAM CHANNEL ENCROACHMENT LINE REPEAL, PUBLIC ACT 2013-205, ISSUED BY CONNECTICUT DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION
2) PROPERTY IS SUBJECT TO POSSIBLE EFFECT OF RIGHT OF WAY TO OTHERS (LOCATION UNKNOWN) - REFER TO V. 25 P. 643 W.L.R.
3) PROPERTY IS SUBJECT TO POSSIBLE EFFECT OF A DRAINAGE EASEMENT OVER THE WESTERLY PORTION (EXACT LOCATION UNKNOWN) IN FAVOR OF THE STATE OF CONNECTICUT - REFER TO V. 154 P. 337 W.L.R. THIS EASEMENT ALONG WITH THE DRAINAGE EASEMENT DEPICTED HEREON, V. 652 P. 55 & BY RLM#4830 WERE ASSOCIATED WITH THE RELOCATION OF U.S. ROUTE 7 PROJECT WHICH HAS BEEN ABANDONED.
4) THE LOCATIONS AND/OR ACCURACY OF THE UTILITIES ON THE SUBJECT PROPERTY MAY NOT NECESSARILY BE ACCURATE NOR DEPICTED HEREON.

PROPOSED BUILDING MOUNTED LIGHT FIXTURE DETAILS
N.T.S.



<p>REVISIONS TO THESE PLANS BY ANYONE OTHER THAN ARTHUR H. HOWLAND, PC SHALL MAKE THESE PLANS NULL AND VOID. ARTHUR H. HOWLAND, PC SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.</p> <p>REVISIONS: 01-20-2022 PZ APPROV. NOTED</p>	<p>PZ APPROVAL NOTES:</p> <p>1. Pursuant to Section 8-3(i) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 31, 2026.</p> <p>2. For conditions of approval for SPECIAL PERMIT #48A, see RESOLUTION #12121 - 4365.P.</p>
	
<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p>ARTHUR H. HOWLAND & ASSOCIATES, P.C.</p> </div> <div style="text-align: center;"> <p>CIVIL ENGINEERS • LAND SURVEYORS SOIL SCIENTISTS • LAND PLANNERS</p> <p>143 WEST STREET, SUITE 2, NEW HAVEN, CT 06510-1117 TEL: (860) 330-4410 • FAX: (860) 330-4419 • WEB: WWW.AHHOWLAND.COM</p> </div> </div>	
<p>ASML Ref. No.: 12-18-7-D1-0 EXE:5000 ADDITION</p>	
<h1 style="margin: 0;">Detail Sheet</h1>	
<p>for</p>	
<p>APPLICANT:</p> <p style="font-size: 1.2em; font-weight: bold;">ASML US, LLC</p> <p>77 Danbury Road</p> <p>Town of Wilton County of Fairfield State of Connecticut</p>	
<p>DATE:</p> <p style="font-size: 1.2em; font-weight: bold;">November 11, 2021</p> <p>SCALE:</p> <p style="font-size: 1.2em; font-weight: bold;">As Noted</p>	