

## GREGORY AND ADAMS, P.C.

ATTORNEYS AT LAW  
190 OLD RIDGEFIELD ROAD  
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(203) 762-9000  
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JULIAN A. GREGORY  
(1912 - 2002)

THOMAS T. ADAMS  
(1929 - 2015)

ESTABLISHED 1964

NEW YORK OFFICE:  
399 KNOLLWOOD ROAD - SUITE 201  
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ROGER R. VALKENBURGH\*

\* ALSO ADMITTED IN NEW YORK  
\* ALSO ADMITTED IN VERMONT

WWW.GREGORYANDADAMS.COM

June 27, 2022

### **By E-mail and Hand Delivery**

Planning and Zoning Commission  
Town Hall Annex  
238 Danbury Road  
Wilton, CT 06897

Attn: Mr. Michael E. Wrinn – Director of Planning and Land Use Management

Re: Hartford HealthCare Corporation – Application for Special Permit  
Premises: 50 Danbury Road, Wilton, Connecticut

Dear Mr. Chairman and Members of the Commission:

This firm represents Hartford HealthCare Corporation (“HHC”). HHC has entered into a long-term lease for a portion of the 50 Danbury Road building currently owned by Wilton 50 Danbury Road Owner LLC and located within the Wilton Corporate Park condominium. HHC intends to convert the leased space from general office space to medical offices for the provision of medical services by Soundview Medical Associates (“SMA”) under an affiliated relationship between SMA and HHC announced in 2019. The converted space to be occupied by HHC and SMA is approximately 21,000 square feet and therefore, under Wilton Zoning regulations Section 29-7.C.2.a, HHC is required to obtain a Special Permit for its intended use. The only proposed alteration to the exterior of the 50 Danbury Road building is the creation of a separate entrance into the leased space by way of a small vestibule located on the eastern elevation/rear side of the building closest to the existing parking garage.

I hereby submit HHC’s application for a Special Permit to allow the conversion of existing general office space to medical offices at the above-referenced Premises (the “**Property**”).

In support of the application, I enclose one copy of each of the following:

1. Application for Special Permit with Form B – Zoning Data, Parking and Loading Calculation, and Statement of Compliance with the 2019 Wilton Town Plan of Conservation and Development attached.
2. Location Map.
3. Zoning Location Survey prepared by D’Andrea Surveying & Engineering, P.C. (“D’Andrea”) dated July 11, 2017, and last revised June 27, 2022.
4. First Floor Presentation Plan (PA-110) prepared by MBH Architecture, LLC (“MBH”) dated June 20, 2022.
5. First Floor Construction Plan (A-110) prepared by MBH dated June 20, 2022.
6. Site Layout Plan (C-100) prepared by Tighe & Bond, Inc. (“T&B”) dated May 6, 2022.
7. Grading, Drainage and Erosion Control Plan (C-200) prepared by T&B dated May 6, 2022.
8. Vestibule Rendering prepared by Concord Health Care.
9. Vicinity Sketch prepared by Gregory and Adams, P.C. (“G&A”) dated June 21, 2022.
10. Environmental Impact Statement prepared by G&A dated June 21, 2022.
11. List of Owners of Property within 500’ of the Premises.
12. List of Project Professionals.
13. G&A’s letter certifying the title to the Premises is held by Wilton 50 Danbury Road Owner LLC (“Wilton 50”), attached to which is a copy of the Quitclaim Deed by which title was taken.
14. Letter signed by HHC as the applicant authorizing Gregory and Adams, P.C. to act as its agent in this matter.
15. Letter signed by Wilton 50 as the owner authorizing Gregory and Adams, P.C. to act as its agent in this matter

Pursuant to Zoning Regulation, Section 29-11.A.4.b, HHC requests that the Commission waive any additional map requirements as relates to parking, circulation, drainage, building relationships, landscaping and lighting as the leased space conversion will have no impact on those existing site improvements.

I also enclose:

1. A check drawn to the order to the Town of Wilton in the amount of \$510.00 in payment of the application fee.
2. Two envelopes addressed to the applicant c/o Gregory and Adams, P.C.

We look forward to presenting the application to the Commission.

Please contact me if you have any questions or would like additional information.

Respectfully submitted,  
Gregory and Adams, P.C.

*/s/ James D'Alton Murphy*  
By: \_\_\_\_\_  
James D'Alton Murphy

JD'AM/ko  
Enclosures

cc: David Webber, Esq. – Hartford HealthCare  
John W. Block, P.E. and Erik Lindquist, P.E. – Tighe & Bond, Inc.  
Ms. Jennifer Murnane – Concord Healthcare  
Kathleen L. Royle, Esq.  
Daniel L. Conant, Esq.







☒ IS THE SUBJECT PROPERTY LOCATED WITHIN THE WATERSHED BOUNDARY? ☐ No

☒ IS THE SUBJECT PROPERTY WITHIN THE FLOOD ZONE? ☒ Yes ☐

**THE APPLICANT** understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted and is responsible for the payment of all legal notices incurred.

**THE UNDERSIGNED WARRANTS** the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

Hartford HealthCare Corporation by its Agent, Gregory and Adams, P.C.

By: James D'Alton Murphy

*James D'Alton Murphy / 160* June 27, 2022 jmurphy@gregoryandadams.com 203-571-6309  
 APPLICANT'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE

Wilton 50 Danbury Road Owner, LLC by its Agent, Gregory and Adams, P.C.

*James D'Alton Murphy / 160* June 27, 2022 jmurphy@gregoryandadams.com 203-571-6309  
 OWNER'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE

### For Planning and Zoning Department Use Only:

Mandatory Referrals - Jurisdiction/Agency		
	Yes	No
Village District Design Advisory Committee (VDDAC):	<input type="checkbox"/>	<input type="checkbox"/>
Architectural Review Board (ARB):	<input type="checkbox"/>	<input type="checkbox"/>
Western Connecticut Council of Governments (WestCOG):	<input type="checkbox"/>	<input type="checkbox"/>
South Norwalk Electric and Water Company (SNEW) Designated Public Watershed:	<input type="checkbox"/>	<input type="checkbox"/>
First Taxing District Water Department Designated Public Watershed:	<input type="checkbox"/>	<input type="checkbox"/>
State-Designated Aquifer Protection Area:	<input type="checkbox"/>	<input type="checkbox"/>
Adjoining Community Notification:	<input type="checkbox"/>	<input type="checkbox"/>

<b>WILTON PLANNING AND ZONING COMMISSION</b>	<b>FORM B - ZONING DATA</b>
Include the following data on the required Site Development Plan, as well.	

50, 60 and 64 Danbury Road	22.27± acres
PROPERTY ADDRESS	LOT ACREAGE
DE-5	1,136 LF
	LOT FRONTAGE

	PER ZONING REGS (MAX OR MIN ALLOWED)	EXISTING	PROPOSED	TOTAL
GROSS FLOOR AREA [SF]	—	435,602 sq. ft.	73 sq.ft.	435,675 sq. ft.
BUILDING FOOTPRINT [SF]	—	206,796 sq. ft.	73 sq.ft.	206,869 sq. ft.
BUILDING COVERAGE [SF/%] (round up)	25% maximum	21.73%	—	21.73 %
BUILDING HEIGHT [FT - STORY]	4 stories/55'	3 stories/ 50.53'	—	3 stories/ 50.53
FLOOR AREA RATIO (F.A.R.)	None	—	—	—
PARKING SPACES (round up)	1/300 sq. ft. GFA	1,422	—	1,422
LOADING SPACES	N/A	1	—	1
SITE COVERAGE [SF/%]	50%	46.38%	—	46.38%

<b>OFF-STREET PARKING AND LOADING CALCULATIONS</b>
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Please provide the specific calculation used to determine the minimum required off-street parking and loading spaces pursuant to the Zoning Regulations.

<b><u>PARKING CALCULATION</u></b> See attached Parking and Loading Calculation.
<b><u>LOADING CALCULATION</u></b> See attached Parking and Loading Calculation.
<b><u>PLAN OF CONSERVATION AND DEVELOPMENT</u></b> See attached Statement of Compliance with Town Plan of Conservation and Development.

<b>THE UNDERSIGNED WARRANTS</b> the truth of all statements contained herein: Hartford HealthCare Corporation by its agent Gregory and Adams, P.C.  By: /s/ <i>James D'Alton Murphy</i> June 27, 2022 <div style="border-top: 1px solid black; width: 100%; text-align: center;">James D'Alton Murphy</div>	<b><u>OFFICE USE ONLY</u></b>     
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**Hartford HealthCare Corporation**  
**Application for Special Permit**  
**50, 60 and 64 Danbury Road, Wilton, CT**  
**June 27, 2022**

**Business Uses - Parking and Loading Calculation**

Section 29-8.B.5.b (3) –

General business as professional offices, non-medical:

229, 508 sq. ft. / 300 sq. ft. of Gross Floor Area	766
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Section 29-8.B.5.b (6) –

Medical or dental offices:

95,398 sq. ft. / 200 sq. ft. of Gross Floor Area	<u>477</u>
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Total Parking Spaces Required	1,243
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Section 29-8.B.7.a –

Off Street Loading Requirements

Offices over 125,000 sq. ft. of Gross Floor Area	<u>2</u>
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Total Loading Spaces Required	2
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**Hartford HealthCare Corporation**

**Application for Special Permit**

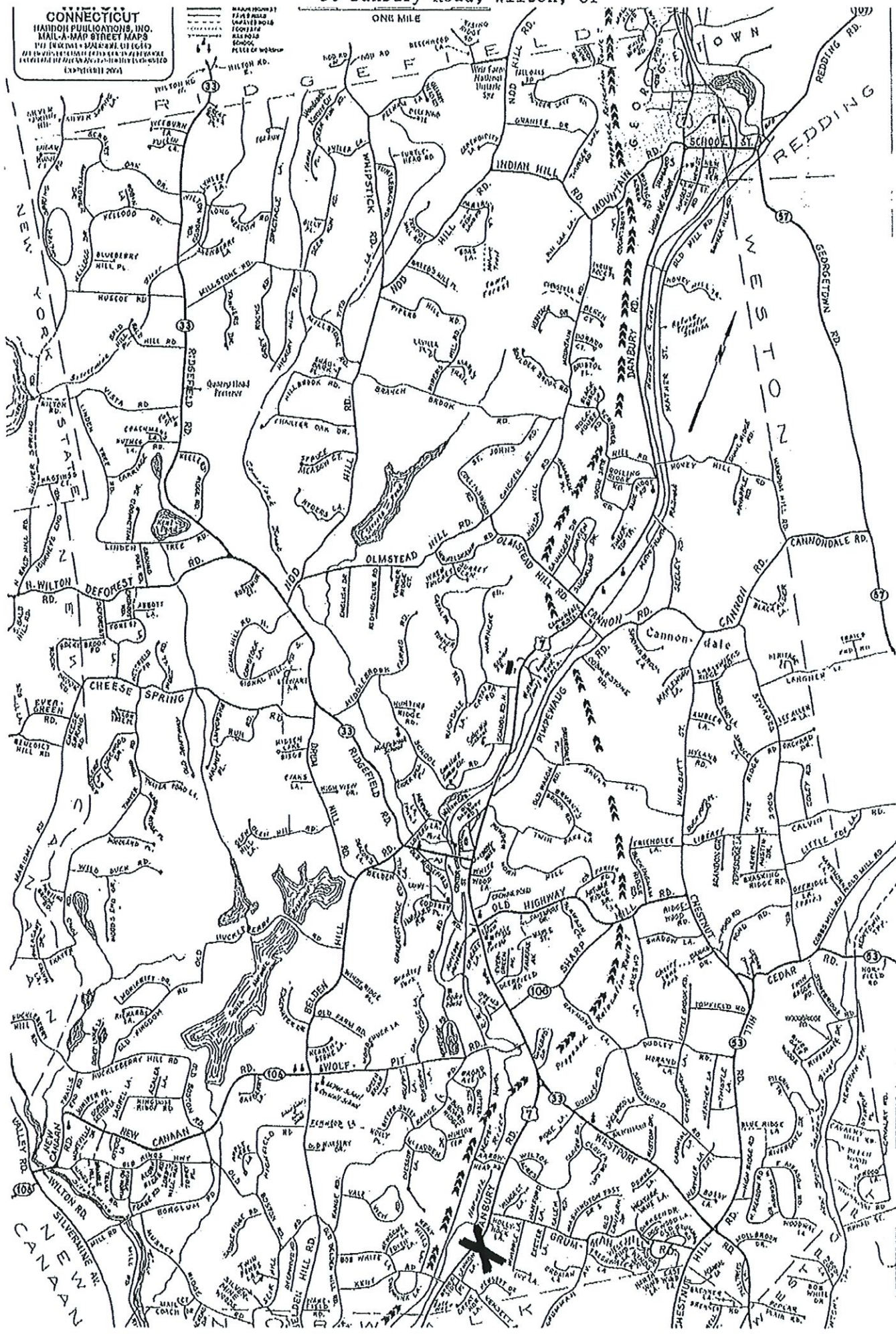
**Premises: 50 Danbury Road, Wilton, Connecticut**

**Statement of Compliance with Plan of Conservation and Development**

The Property is within The Wilton Corporate Park condominium on land consisting of 22.27 acres in area and is located in a Design Enterprise District (the “**DE-5 Zone**”). Wilton 50 Danbury Road Owner LLC owns the Property and it has authorized Hartford HealthCare Corporation to convert existing general office space to medical offices in the building located at 50 Danbury Road. Medical offices are a permitted use in the DE-5 Zone (reference being made to Section 29-7.C of the Zoning Regulations). The conversion of the existing general office space to medical offices is compatible with the Wilton 2019 Plan of Conservation and Development – adopted on September 23, 2019 and effective October 1, 2019 (the “**Town Plan**”) which notes that the South Wilton area in which the Property is located contains the most commercial and highest density and intensity land uses within the Town (reference being made to page 93 of the Town Plan under the heading “South Wilton”). The Town Plan goes on to state that due to the availability of infrastructure and proximity to highways, South Wilton is one of the Town’s priority development areas (reference again being made to page 93 of the Town Plan under the heading South Wilton).



**CONNECTICUT**  
ANDOVER PUBLICATIONS, INC.  
MAIL-A-MAP STREET MAPS  
1100 ROUTE 1 • WATERBURY, CT 06706  
(203) 753-1111







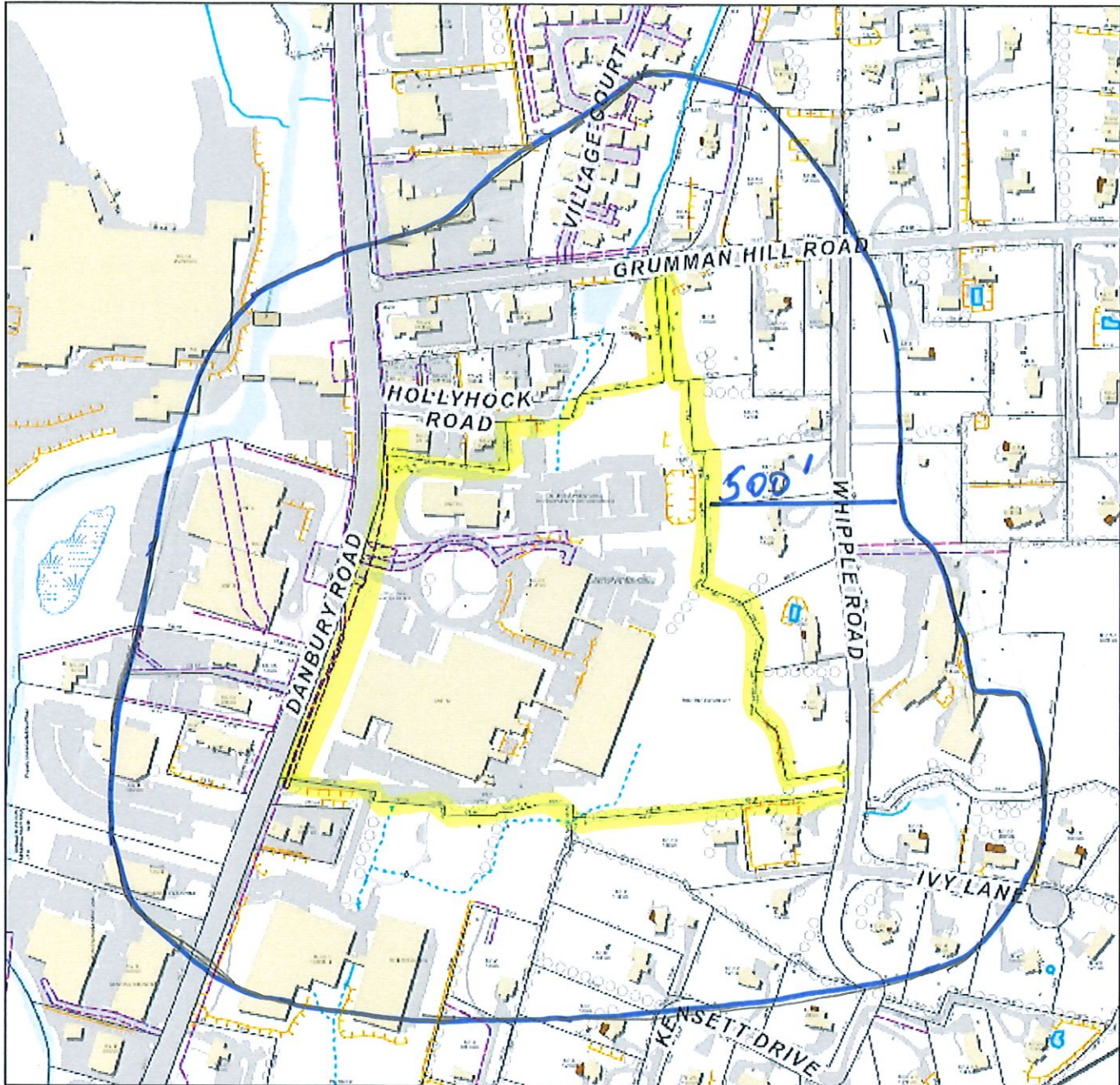


# Town of Wilton

Geographic Information System (GIS)



Date Printed: 6/22/2022



## MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Wilton and its mapping contractors assume no legal responsibility for the information contained herein.

**Zoning Effective: July 28, 2017**

**Planimetrics Updated: 2014**

Approximate Scale: 1 inch = 400 feet

0 400  
Feet





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\* ALSO ADMITTED IN NEW YORK  
\* ALSO ADMITTED IN VERMONT  
§ ADMITTED IN NY AND NJ ONLY

June 21, 2022

Planning and Zoning Commission  
Town Hall Annex  
238 Danbury Road  
Wilton, CT 06897

Re: Hartford HealthCare Corporation – Application for Special Permit  
Premises: 50, 60 and 64 Danbury Road, Wilton, Connecticut

Dear Members of the Commission:

Hartford HealthCare Corporation (“HHC”) has filed an application with the Commission to allow the conversion of 20,000 sq. ft. of existing general office space to medical offices at the above-referenced Premises which is located in Unit 50 of the Wilton Corporate Park, a condominium consisting of a three-story building with rights to common elements and limited common elements of the condominium association property, including a parking garage (the “**Property**”). In satisfaction of the requirements of Section 29-10.A.5 of the Zoning Regulations of the Town of Wilton (the “**Regulations**”), set forth below is HHC’s Environmental Impact Statement.

a. Compatibility with Town’s Plan of Development

The Property is within The Wilton Corporate Park condominium on land consisting of 22.27 acres in area and is located in a Design Enterprise District (the “**DE-5 Zone**”). Wilton 50 Danbury Road Owner LLC owns the Property and it has authorized Hartford HealthCare Corporation to convert existing general office space to medical offices in the building located at 50 Danbury Road. Medical offices are a permitted use in the DE-5 Zone (reference being made to Section 29-7.C of the Zoning Regulations). The conversion of the existing general office space to medical offices is compatible with the Wilton 2019 Plan of Conservation and Development – adopted on September 23, 2019 and effective October 1, 2019 (the “**Town Plan**”) which notes that the South Wilton area in which the Property is located contains the most commercial and highest density and intensity land uses within the Town (reference being made to page 93 the Town Plan under the heading “South Wilton”).



The Town Plan goes on to state that due to the availability of infrastructure and proximity to highways, South Wilton is one of the Town's priority development areas (reference being made to page 93 of the Town Plan under the heading South Wilton).

b. Sensitive Environmental Features

There are a stream and wetlands located on the Property, but de minimis site plan changes are proposed by this application. The proposed changes to the site plan consist of an approximately 75 sq. ft. vestibule that is located outside of the regulated area.

c. Impact on Water, Sewer and Storm Drainage

Town sewer and public water serve the Premises. The existing storm drainage plan will not be altered.

d. Traffic Impact

The traffic generated by medical offices will be comparable to the traffic generated by the existing general office space.

e. Impact on Town Services

The conversion of the existing general offices to medical offices will have no significant impact on Town services.

f. Alternatives to mitigate adverse impacts

There are no adverse impacts that will be caused by the conversion to medical offices.

Respectfully submitted,  
Gregory and Adams, P.C.

By: */s/ James D'Alton Murphy*  
James D'Alton Murphy

**Hartford HealthCare Corporation**

**Application for Special Permit**

**Premises: 40, 50, 60 and 64 Danbury Road, Wilton, Connecticut**

**Property Owners Within 500' – List 1 of 2 (Assessor's Map#68, Lots#33-1 #33-50, #33-60 and #33-64)**

<b>MAP/LOT NUMBER</b>	<b>OWNER'S NAME PROPERTY ADDRESS</b>	<b>MAILING ADDRESS (IF DIFFERENT)</b>
54-26	Paul M. Niche Margaret B. Niche 56 Grumman Hill Road Wilton, CT 06897	
67-2	Steve A. Campbell Tonia W. Stephens-Campbell 2 Lennon Lane Wilton, CT 06897	
67-3	Margaret Lynn Sullivan 1 Lennon Lane Wilton, CT 06897	
67-6	Janet E. Lawless Patrick T. Carroll 109 Kensett Drive Wilton, CT 06897	
67-7	Alan Emerson Jennifer C. Emerson 103 Kensett Drive Wilton, CT 06897	
67-8	Mario Lombardi 99 Kensett Drive Wilton, CT 06897	995 Shippin Avenue Stamford, CT 06902
67-9	Dorte E. Hansen 97 Kensett Drive Wilton, CT 06897	
67-10	Robert H. Cohen Nancy L. Cohen 93 Kensett Drive Wilton, CT 06897	
67-11	Mykhaylo Danylyuk Anna Danylyuk 81 Kensett Drive Wilton, CT 06897	
67-12	Rosemarie Altieri 65 Whipple Road Wilton, CT 06897	



<b>MAP/LOT NUMBER</b>	<b>OWNER'S NAME PROPERTY ADDRESS</b>	<b>MAILING ADDRESS (IF DIFFERENT)</b>
67-13	Kenneth C. Hendricks Geneve E. Hendricks 59 Whipple Road Wilton, CT 06897	
67-14	Derek P. Moe 55 Whipple Road Wilton, CT 06897	
67-15	Grumman Hill Montessori Association, Inc. 34 Whipple Road Wilton, CT 06897	
67-15-1	Town of Wilton Whipple Road Wilton, CT 06897	238 Danbury Road Wilton, CT 06897
67-16	Matthew Sposato Dara Sposato 4 Ivy Lane Wilton, CT 06897	
67-17	Joseph V. Bruno 12 Ivy Lane Wilton, CT 06897	
67-21	Marie H. Weber 15 Ivy Lane Wilton, CT 06897	
67-22	Mark J. Reifers Carolyn L. Reifers 9 Ivy Lane Wilton, CT 06897	
67-23	Jacqueline Christman Erik Christman 3 Ivy Lane Wilton, CT 06897	
68-8	Brian K. Smith Ann L. Smith 51 Grumman Hill Road Wilton, CT 06897	
68-9	Lorraine Skeen 16 Whipple Road Wilton, CT 06897	
68-11	J. Lansing Valk Barbara B. Valk 43 Whipple Road Wilton, CT 06897	

<b>MAP/LOT NUMBER</b>	<b>OWNER'S NAME PROPERTY ADDRESS</b>	<b>MAILING ADDRESS (IF DIFFERENT)</b>
68-12	Januar Jeepy Lubi Liu 33 Whipple Road Wilton, CT 06897	
68-13	Victor Gorshkov 23 Whipple Road Wilton, CT 06897	
68-14	Sari L. Weatherwax 19 Whipple Road Wilton, CT 06897	
68-15	Michael Murin Jennifer R. Stivrins 15 Whipple Road Wilton, CT 06897	
68-16	George H. Washburn, Jr. 43 Grumman Hill Road Wilton, CT 06897	8 Bracket Lane Ivoryton, CT 06442
68-17	Brandon Mulvihill Katherine Mulvihill 39 Grumman Hill Road Wilton, CT 06897	
68-18	Soyon Yun Yong Soo 27 Grumman Hill Road Wilton, CT 06897	
68-20	Olsi H. Jonan Sonila Kallciu 21 Grumman Hill Road Wilton, CT 06897	
68-21	Wilton Child Development Park LLC 11 Grumman Hill Road Wilton, CT 06897	
68-22	Holt McChord 1 Grumman Hill Road Wilton, CT 06897	
68-23	Trofa Property Development LLC 70 Danbury Road Wilton, CT 06897	236 Colonial Drive Fairfield, CT 06824
68-24	Trofa Property Development LLC 3 Hollyhock Road Wilton, CT 06897	236 Colonial Drive Fairfield, CT 06824
68-25	Vikram Mital 5 Hollyhock Road Wilton, CT 06897	



<b>MAP/LOT NUMBER</b>	<b>OWNER'S NAME PROPERTY ADDRESS</b>	<b>MAILING ADDRESS (IF DIFFERENT)</b>
68-26	7 R2 Properties LLC 7 Hollyhock Road Wilton, CT 06897	
68-27	Fujii Properties LLC 9 Hollyhock Road Wilton, CT 06897	9 Clubhouse Circle Darien, CT 06820
68-29	Hollyhock Associates LLC 6 Hollyhock Road Wilton, CT 06897	10 Cliff Avenue Darien, CT 06820
68-30	Clark Holdings LLC 2 Hollyhock Road Wilton, CT 06897	245 Newtown Turnpike Weston, CT 06883
68-33-1	Wilton 40, LLC 40 Danbury Road Wilton, CT 06897	Marcus Partners Acctg. Dept. 301 Merritt 7 Norwalk, CT 06851
68-33-60	Wilton Medical Realty LLC 60 Danbury Road Wilton, CT 06897	100 Avon Meadow Lane Avon, CT 06001
68-33-64	Wilton 64 Danbury Road Owner LLC 64 Danbury Road Wilton, CT 06897	280 Park Avenue, 5 <sup>th</sup> Floor New York, NY 10017
68-34	Calitri Properties LLC 46 Danbury Road Wilton, CT 06897	
68-35	Wilson Properties II, LLC 57 Danbury Road Wilton, CT 06897	43 Danbury Road Wilton, CT 06897
68-36A	Wilton Project LLC 65 Danbury Road Wilton, CT 06897	Metro Center One Station Place Stamford, CT 06902
68-36B	Wilton Properties RSK LLC 59 Danbury Road Wilton, CT 06897	470 West Ave., Ste. 2007 Stamford, CT 06902
68-36C	Wilton Project LLC Danbury Road Wilton, CT 06897	Metro Center One Station Place Stamford, CT 06902
69-18	ASML US, LLC 77 Danbury Road Wilton, CT 06897	c/o CTMI Attn: Kevin Cavasos 6115 Camp Bowie #152 Fort Worth, TX 76116
69-59	Danbury 84 LLC 84 Danbury Road Wilton, CT 06897	2 Ruby Street Norwalk, CT 06850

<b>MAP/LOT NUMBER</b>	<b>OWNER'S NAME PROPERTY ADDRESS</b>	<b>MAILING ADDRESS (IF DIFFERENT)</b>
69-60	Grumman Seven Associates LLC 78 Danbury Road Wilton, CT 06897	82 Danbury Road Wilton, CT 06897
69-62	Justin Saverine Mackenzie Saverine 28 Grumman Hill Road Wilton, CT 06897	
69-63	Julia M. Stansbury 32 Grumman Hill Road Wilton, CT 06897	
69-63-1	Eric J. Petro 2020 Revocable Trust Linda J. Petro 2020 Revocable Trust 34 Grumman Hill Road Wilton, CT 06897	
69-64	Albert J. Pykosz Linda A. Pykosz 38 Grumman Hill Road Wilton, CT 06897	
69-65	John Farrell Sponza 46 Grumman Hill Road Wilton, CT 06897	
84-33	Wilson Properties I, LLC 39 Danbury Road Wilton, CT 06897	43 Danbury Road Wilton, CT 06897
84-35	Wilson Properties II, LLC 43 Danbury Road Wilton, CT 06897	
84-36	45 Danbury Rd LLC 45 Danbury Road Wilton, CT 06897	c/o R.D. Scinto Attn: Bill Piacitelli One Corporate Drive, Ste. 100 Shelton, CT 06484
84-37	Groucho & Clueless 51 Danbury Road Wilton, CT 06897	P.O. Box 2440 Spokane, WA 99210
84-39	Rings End Incorporated 53 Danbury Road Wilton, CT 06897	181 West Avenue Darien, CT 06820
84-40	Wilton Pediatrics Realty LLC 55 Danbury Road Wilton, CT 06897	



**Hartford HealthCare Corporation  
Application for Special Permit**

**Premises: 40, 50, 60 and 64 Danbury Road, Wilton, Connecticut**

**Property Owners Within 500' – List 2 of 2 (Assessor's Map#68, Lots #33-1, #33-50, 33-60 and 33-64)**

<b>MAP/LOT NUMBER</b>	<b>OWNER'S NAME PROPERTY ADDRESS</b>	<b>MAILING ADDRESS (IF DIFFERENT)</b>
69-61-2	Piyush Pandey Anju Pandey 2 Village Court Wilton, CT 06897	
69-61-4	Robert P. Chiavon, Trustee Peggy A. Chiavon, Trustee 4 Village Court Wilton, CT 06897	
69-61-6	Glenn A. Hutchinson 6 Village Court Wilton, CT 06897	
69-61-8	Christopher V. Salvato Linda A. Salvato 8 Village Court Wilton, CT 06897	
69-61-10	Danjie Liu Yan Jiang 10 Village Court Wilton, CT 06897	
69-61-12	Raymond R. Koziak 12 Village Court Wilton, CT 06897	130 Lenox Avenue, #9 Stamford, CT 06906
69-61-14	Joseph P. Careccia Olga Sidiropoulis 14 Village Court Wilton, CT 06897	
69-61-16	Kimberly Duffy 16 Village Court Wilton, CT 06897	
69-61-18	Michael J. Gagliano Malgorzata Gagliano 18 Village Court Wilton, CT 06897	
69-61-20	Yubo Lu 20 Village Court Wilton, CT 06897	

<b>MAP/LOT NUMBER</b>	<b>OWNER'S NAME PROPERTY ADDRESS</b>	<b>MAILING ADDRESS (IF DIFFERENT)</b>
69-61-22	Anusha Thota Sandeep Malluri 22 Village Court Wilton, CT 06897	
69-61-24	Audrey Kurtz 24 Village Court Wilton, CT 06897	
69-61-26	James E. Arenholz, Jr. 26 Village Court Wilton, CT 06897	
69-61-28	Rosemary R. Vervoort Gary R. Vervoort 28 Village Court Wilton, CT 06897	
69-61-30	Assaf Eisdorfer Danit Eisdorfer 30 Village Court Wilton, CT 06897	
69-61-32	Elizabeth B. Callahan 32 Village Court Wilton, CT 06897	
69-61-34	Ross S. Kazer Vicki W. Kazer 34 Village Court Wilton, CT 06897	
69-61-36	Paula D. Fleming 36 Village Court Wilton, CT 06897	
69-61-38	Mark Emerick Jacquelyn Emerick 38 Village Court Wilton, CT 06897	
69-61-40	Kara Crowther 40 Village Court Wilton, CT 06897	
69-61-42	Current Resident 42 Village Court Wilton, CT 06897	
69-61-44	An Nan Yuan Hui 44 Village Court Wilton, CT 06897	



<b>MAP/LOT NUMBER</b>	<b>OWNER'S NAME PROPERTY ADDRESS</b>	<b>MAILING ADDRESS (IF DIFFERENT)</b>
69-61-46	Bomi P. Dinshaw Nina B. Dinshaw 46 Village Court Wilton, CT 06897	
69-61-48	Marie Dunn 48 Village Court Wilton, CT 06897	
69-61-50	Princelal Chiriyankandath Hency P. Chiriyankandath 50 Village Court Wilton, CT 06897	
69-61-52	Di Zhang Feng Zhang 52 Village Court Wilton, CT 06897	
69-61-54	Paul H. Luchansky Toni-Anne Luchansky 54 Village Court Wilton, CT 06897	
69-61-56	Monica R. Sprei 56 Village Court Wilton, CT 06897	
69-61-58	Arun Swaminathan Sumithra Bakthavatchalam 58 Village Court Wilton, CT 06897	
69-61-60	Laura Cody 60 Village Court Wilton, CT 06897	
69-61-62	Samira Vendantam Amith Mamidala 62 Village Court Wilton, CT 06897	
69-61-64	Kenneth Daniel Libby 64 Village Court Wilton, CT 06897	
69-61-66	Ulysses Whitby Gussie Whitby 66 Village Court Wilton, CT 06897	
69-61-68	Serge A. Karpow 68 Village Court Wilton, CT 06897	

<b>MAP/LOT NUMBER</b>	<b>OWNER'S NAME PROPERTY ADDRESS</b>	<b>MAILING ADDRESS (IF DIFFERENT)</b>
69-61-70	Joann Logiurato 70 Village Court Wilton, CT 06897	
69-61-72	Joseph Zarb Rose Zarb 72 Village Court Wilton, CT 06897	
69-61-74	John B. Canning Janet S. Canning 74 Village Court Wilton, CT 06897	
69-61-76	Gian Andreassi 76 Village Court Wilton, CT 06897	
69-61-78	Mahadevan Arun Venkataraman Radhika Nagaratnam 78 Village Court Wilton, CT 06897	
69-61-80	Tianshi Bu Kun Dong 80 Village Court Wilton, CT 06897	
69-61-82	Lee Armstrong 82 Village Court Wilton, CT 06897	
69-61-84	Syma B. Gruss Revocable Trust 84 Village Court Wilton, CT 06897	
69-61-86	Manuel T. Bastos Florinda F. Bastos 86 Village Court Wilton, CT 06897	
69-61-88	Stacy E. Reynolds 88 Village Court Wilton, CT 06897	
69-61-90	Mark A. Messina Michele D. Messina 90 Village Court Wilton, CT 06897	
69-61-92	Kunwar Kalra Ruchika Khurana 92 Village Court Wilton, CT 06897	



<b>MAP/LOT NUMBER</b>	<b>OWNER'S NAME PROPERTY ADDRESS</b>	<b>MAILING ADDRESS (IF DIFFERENT)</b>
69-61-94	Richard K. Dineen Claire Dineen 94 Village Court Wilton, CT 06897	
69-61-96	Lamba Tarun Talreja Jharna 96 Village Court Wilton, CT 06897	

**Hartford HealthCare Corporation**

**Application for Special Permit**

**Premises: 50 Danbury Road, Wilton, CT**

**List of Project Professionals**

- |                    |   |
|--------------------|---|
| 1. Applicant       | Hartford HealthCare Corporation<br>c/o Gregory and Adams, P.C.<br>190 Old Ridgefield Road<br>Wilton, CT 06897<br>(203) 762-6309   |
| 2. Owner           | Wilton 50 Danbury Road Owner LLC<br>c/o Gregory and Adams, P.C.<br>190 Old Ridgefield Road<br>Wilton, CT 06897<br>(203) 571-6309  |
| 3. Surveyor        | Mr. Robert L. Liddel, Jr.<br>D'Andrea Surveying & Engineering PC<br>6 Neil Lane<br>Riverside, CT<br>(203) 637-1779<br>robert.liddel@rvdi.com  |
| 4. Civil Engineer  | John W. Block, P.E.<br>Erik Lindquist, P.E.<br>Tighe & Bond, Inc.<br>1000 Bridgeport Avenue<br>Shelton, CT 06484<br>(203) 712-1100<br>jwblock@tighebond.com<br>elindquist@tighebond.com |
| 5. Architect       | Mr. Nicholas P. Michnevitz III AIA, NCARB<br>MBH Architecture, LLC<br>433 South Main Street<br>Suite 301<br>West Hartford, CT 06110<br>(860) 521-1400                                   |
| 6. Project Manager | Ms. Jennifer Murnane<br>Concord Healthcare<br>30 Frandel Drive<br>Avon, CT 06001<br>860-368-9476<br>jmurnane@chd-inc.com  |



7. Attorneys

James D'Alton Murphy  
Kathleen L. Royle  
Daniel L. Conant  
Gregory and Adams, P.C.  
190 Old Ridgefield Road  
Wilton, CT 06897  
(203) 762-9000  
jmurphy@gregoryandadams.com  
kroyle@gregoryandadams.com  
dconant@gregoryandadams.com

# GREGORY AND ADAMS, P.C.

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JULIAN A. GREGORY  
(1912 - 2002)

THOMAS T. ADAMS  
(1929 - 2015)

PLEASE REPLY TO SENDER:  
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RALPH E. SLATER  
ROGER R. VALKENBURGH \*

\* ALSO ADMITTED IN NEW YORK  
\* ALSO ADMITTED IN VERMONT  
§ ADMITTED IN NY AND NJ ONLY

June 21, 2022

Planning and Zoning Commission  
Town Hall Annex  
238 Danbury Road  
Wilton, CT 06897

Re: Hartford HealthCare Corporation – Application for Special Permit  
Premises: 50 Danbury Road, Wilton, CT

Dear Members of the Commission:

As attorneys for Hartford HealthCare Corporation, we hereby certify that Wilton 50 Danbury Road Owner, LLC is the owner of that certain property known as Unit 50 located at 50 Danbury Road in Wilton by virtue of a Quitclaim Deed recorded on February 3, 2020 in Volume 2505 of the Wilton Land Records at Page 598 (a copy of which deed was submitted to the Commission).

Very truly yours,  
GREGORY AND ADAMS, P.C.

By: s/s James D'Alton Murphy  
James D'Alton Murphy

JD'AM/ko





Doc ID: 001179210003 Type: LAN

BK 2505 PG 598-600

After recording, return to:  
Milbank LLP  
55 Hudson Yards  
New York, New York 10001  
Attention: Yaakov Sheinfeld, Esq.

### QUITCLAIM DEED

**WILTON - DANBURY ROAD HOLDINGS LLC**, a Delaware limited liability company with an address at c/o Taconic Capital Advisors L.P., 280 Park Avenue, 5<sup>th</sup> Floor, New York, New York 10017 ("**Grantor**") for consideration of Ten Dollars (\$10.00) and other valuable consideration paid, grants to **WILTON - 50 DANBURY ROAD OWNER LLC**, a Delaware limited liability company with an address at c/o Taconic Capital Advisors L.P., 280 Park Avenue, 5<sup>th</sup> Floor, New York, New York 10017 ("**Grantee**"), with QUITCLAIM COVENANTS, that certain piece or parcel of land with all the buildings and improvements thereon and appurtenances thereto, commonly known as 50 Danbury Road, Wilton, Connecticut, and being more particularly described in Schedule A attached hereto and made a part hereof (the "**Property**").

TO HAVE AND TO HOLD the above granted and bargained property, with the improvements thereon and appurtenances thereto, unto the Grantee, its successors and assigns forever, to its and their own proper use and behoof.

No Conveyance Tax Received

*Leni A. Kobrak*

Town Clerk of Wilton

IN WITNESS WHEREOF, the Grantor has caused this Quitclaim Deed to be executed as of January  
 \_\_\_, 2020.

Witnessed by:

**WILTON - DANBURY ROAD HOLDINGS LLC,**  
 a Delaware limited liability company

*Erin Rota*

Print Name:

Erin Rota

*Maria Suarez*

Print Name:

Maria Suarez

By:  
 Its

*ZZ*

**Peyton McNutt**  
**Authorized Signatory**

STATE OF New York     )  
                                       ) ss.  
 COUNTY OF New York    )

Personally appeared, Peyton McNutt, Authorized Signatory of Wilton - Danbury Road Holdings LLC, signer of the foregoing instruction, who acknowledged that she executed the same for the purposes therein contained as her free act and deed, and the free act and deed of said limited liability company, before me.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.



*Shannon Black*  
 Notary Public     Shannon Black  
 My Commission Expires: October 31, 2020



**SCHEDULE A**

All of that certain lot, piece or parcel of land situate, lying and being in Fairfield County, Connecticut and being more particularly described as follows:

Certain real property known and described as Unit 50 of The Wilton Corporate Park, a condominium situated in the Town of Wilton, County of Fairfield and State of Connecticut, formed pursuant to the provisions of the Common Interest Ownership Act, by Declaration of DIV Fifty, LLC dated August 15, 2002 and recorded August 22, 2002 in Book 1415 at Page 1 of the Wilton Land Records, as amended by that certain First Amendment to Declaration of The Wilton Corporate Park dated as of June 6, 2007 and recorded in said Land Records on June 12, 2007 at 3:47 p.m. in Volume 1945, Page 321, and as further amended by Second Amendment to Declaration of The Wilton Corporate Park dated as of June 29, 2007 and recorded in said Land Records on July 2, 2007 at 10:53:47 a.m. in Volume 1950, Page 234 and as further amended by that certain Third Amendment to Declaration of The Wilton Corporate Park dated as of March 17, 2009 and recorded in said Land Records on March 20, 2009 at 12:22 p.m. in Volume 2042, Page 200 and as further amended by that certain Fourth Amendment to Declaration of The Wilton Corporate Park dated as of March 13, 2017 and recorded in said Land Records on March 21, 2017 at 9:57 a.m. in Volume 2469, Page 266 (the "Declaration"). The Unit is more particularly described in the Declaration and in the Plans filed in the Office of the Wilton Town Clerk simultaneously with the Declaration.

Together with the undivided interests in any of the Limited Common Elements and the Common Elements appurtenant thereto as more particularly described in the Declaration.

Together with those rights and easements set forth in a Declaration of Covenants and Easements made by DIV Fifty, LLC dated August 22, 2002 and recorded on August 22, 2002 in Book 1414 at Page 304 of the Wilton Land Records, as amended by that certain First Amendment to Declaration of Covenants and Easements dated as of June 6, 2007 and recorded in said Land Records on June 12, 2007 at 3:47 p.m. in Volume 1946, Page 1 as further amended by that certain Second Amendment to Declaration of Covenants and Easements dated as of June 29, 2007 and recorded at 10:54 a.m. on July 2, 2007 in Volume 1950 Page 258 of said Land Records.

Received for Record at Wilton, CT  
On 02/03/2020 At 8:41:00 am

*Doni A. Sobolek*

## GREGORY AND ADAMS, P.C.

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ROGER R. VALKENBURGH \*

\* ALSO ADMITTED IN NEW YORK  
⊗ ALSO ADMITTED IN VERMONT  
§ ADMITTED IN NY AND NJ ONLY

June 21, 2022

### By E-Mail Only

Hartford HealthCare Corporation  
Attn: Mr. Thomas Vaccarelli, Senior Vice President

Re: Hartford HealthCare Corporation – Land Use Applications to the Town of Wilton  
Premises: 50 and 60 Danbury Road, Wilton, Connecticut

Dear Mr. Vaccarelli:

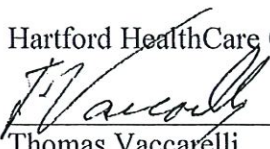
We are in the process of preparing land use applications to various Town of Wilton and State of Connecticut and other government agencies, if applicable, on behalf of Hartford HealthCare Corporation. These agencies require written authorization from the applicant authorizing Gregory and Adams, P.C. to act as its agent in connection with land use matters involving the subject properties. Please return the signed letter to us by email. Thank you.

Very truly yours,

*/s/ James D'Alton Murphy*  
James D'Alton Murphy

JD'AM/ko

The undersigned hereby authorizes Gregory and Adams, P.C. to act as its agent in connection with the above-referenced matters.

Hartford HealthCare Corporation  
By:   
Thomas Vaccarelli  
Its: Vice President  
Duly Authorized



## GREGORY AND ADAMS, P.C.

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RALPH E. SLATER  
ROGER R. VALKENBURGH \*

\* ALSO ADMITTED IN NEW YORK  
§ ALSO ADMITTED IN VERMONT  
§ ADMITTED IN NY AND NJ ONLY

June 21, 2022

### By E-mail Only

Wilton 50 Danbury Road Owner LLC  
Attn: Mr. William H. Fenn, Senior Vice President  
Marcus Partners, Inc.

Re: Hartford HealthCare Corporation – Land Use Applications to Town of Wilton  
Premises: 50 Danbury Road, Wilton, Connecticut

Dear Mr. Fenn:

As you know, we are in the process of preparing land use applications to various Town of Wilton and State of Connecticut and other government agencies, if applicable, on behalf of our client, Hartford HealthCare Corporation. These agencies require written authorization from the owner of the Premises authorizing Gregory and Adams, P.C. to act as its agent in connection with land use matters involving the subject property. Please sign the letter on behalf of the owner and return the letter to us by email. Thank you.

Very truly yours,

*/s/ James D'Alton Murphy*  
James D'Alton Murphy

JD'AM/ko

The undersigned hereby authorizes Gregory and Adams, P.C. to act as its agent in connection with the above-referenced application.

Wilton 50 Danbury Road Owner LLC

By:   
Erin Rota  
Duly Authorized

- GENERAL NOTES
1. BEARINGS AND COORDINATES ARE BASED UPON THE CONNECTICUT COORDINATE SYSTEM OF 1822 (NAD 27)
  2. WETLANDS WERE DEMONSTRATED IN THE FIELD BY OTTO THEALL, PROFESSIONAL SOIL SCIENTIST ON FEBRUARY 23 AND 24, MARCH 9, AND APRIL 10, 2017.
  3. THE SUBJECT PARCEL LIES PROXIMATELY IN FLOOD ZONE "X" WITH PORTIONS FALLING IN FLOOD ZONE "A". FLOOD ZONE LIMITS IDENTIFIED HEREON WAS TRANSMISSIONED FROM FIRM MAP NUMBER 0900100391P DATED JUNE 16, 2016 AND PUBLISHED BY FEMA.

- MAP REFERENCES
1. "PROPERTY SURVEY SHOWING CONSOLIDATION OF PARCELS AND DIVISION OF PROPERTY LOCATED IN WILTON, CONNECTICUT PREPARED FOR DAVIS INVESTMENT VENTURES, INC., DATED DECEMBER 8, 2001, REVISED TO MAY 7, 2001, AND NUMBERED 5347 IN THE WILTON LAND RECORDS.
  2. "MAP SHOWING EASEMENT ACQUIRED FROM DIV FIFTY, LLC BY THE STATE OF CONNECTICUT, DATED DECEMBER 9, 2001 AND NUMBERED 5338 IN THE WILTON LAND RECORDS.
  3. "PROPERTY SURVEY SHOWING CONDOMINIUM DECLARATION, THE WILTON CORPORATE PARK ASSOCIATION, INC. LOCATED AT 50, 60 & 64 DANBURY ROAD WILTON, CONNECTICUT PREPARED FOR DIV FIFTY, LLC, DATED AUGUST 18, 2002 AND NUMBERED 5343 IN THE WILTON LAND RECORDS.
  4. "EASEMENT MAP SHOWING PROPERTY AT 50 DANBURY ROAD WILTON, CONNECTICUT PREPARED FOR DAVIS INVESTMENT VENTURES, INC., DATED AUGUST 6, 2002 AND NUMBERED 5342 IN THE WILTON LAND RECORDS.
  5. "ZONING LOCATION SURVEY DEPICTING REVISION OF PROPERTY LINES ON PROPERTY AT 40 & 64 DANBURY ROAD WILTON, CONNECTICUT PREPARED FOR DIV FIFTY, LLC, DATED APRIL 16, 2007, PREPARED BY Rocco V. D'Andrea, Inc., REVISED MAY 10, 2007 AND NUMBERED 5581 IN THE WILTON LAND RECORDS.
  6. "MAP SHOWING EASEMENT ACQUIRED FROM WILTON 40/60 LLC BY THE STATE OF CONNECTICUT DATED JANUARY 16, 2008, PREPARED BY Rocco V. D'Andrea, Inc.
  7. "EASEMENT MAP DEPICTING EASEMENT TO BE GRANTED TO YANKEE GAS SERVICES COMPANY ACROSS PROPERTY OF WILTON 40/60 LLC, 50-64 DANBURY ROAD WILTON, CONNECTICUT, DATED JULY 2, 2008 AND PREPARED BY Rocco V. D'Andrea, Inc., NUMBERED 5588 IN THE WILTON LAND RECORDS.
  8. "PROPERTY SURVEY SHOWING CONDOMINIUM DECLARATION, THE WILTON CORPORATE PARK ASSOCIATION, INC. LOCATED AT 50, 60 & 64 DANBURY ROAD WILTON, CONNECTICUT PREPARED FOR WILTON 40/60 LLC, DATED JANUARY 28, 2008, PREPARED BY Rocco V. D'Andrea, Inc., NUMBERED 5548 IN THE WILTON LAND RECORDS.
  9. "ZONING LOCATION SURVEY OF PROPERTY AT 50, 60 & 64 DANBURY ROAD WILTON, CONNECTICUT PREPARED FOR DIVFIFTY, LLC, DATED JULY 11, 2017, AND PREPARED BY D'ANDREA SURVEYING & ENGINEERING, P.C.
  10. "PROPERTY SURVEY SHOWING CONDOMINIUM DECLARATION, WILTON CORPORATE PARK ASSOCIATION, INC. LOCATED AT 50, 60 & 64 DANBURY ROAD WILTON, CONNECTICUT PREPARED FOR THE WILTON CORPORATE PARK ASSOCIATION, INC. DATED JUNE 17, 2020 AND PREPARED BY D'ANDREA SURVEYING & ENGINEERING, P.C.

- SYMBOL LEGEND
- SDMH STORM DRAIN MANHOLE
  - SSMH SANITARY SEWER MANHOLE
  - EMH ELECTRICAL MANHOLE
  - TMH TELEPHONE MANHOLE
  - WMH WATER MANHOLE
  - HD HYDRANT/STANDPIPE
  - SG SIGNS
  - LG LIGHTS
  - GG GAS GATE
  - WG WATER GATE
  - CO CLEAN-OUT
  - UP UTILITY POLE
  - CB CATCH BASINS
  - SW STONE WALL
  - FENCE (TYPE AS NOTED)
  - PS PEDESTRIAN SIGNAL REQUEST
  - SP STEEL POST / BOLLARD
  - TL TRAFFIC LIGHT
  - SMW SOIL MONITOR WELL
  - TP TRAFFIC POLE
  - WFL WETLAND FLAG 2017
  - FW FLAGGED WETLANDS 2017

### SPECIAL NOTES

A. PURSUANT TO SECTION 8-3(1) OF THE CONNECTICUT GENERAL STATUTES, ALL WORK IN CONNECTION WITH THIS SPECIAL PERMIT SHALL BE COMPLETED WITHIN FIVE YEARS AFTER THE APPROVAL OF THE PLAN. SAID FIVE-YEAR PERIOD SHALL EXPIRE ON JUNE 12, 2025.

B. FOR CONDITIONS OF APPROVAL FOR SPECIAL PERMIT #467, SEE RESOLUTION #0620 - 467SP.

#### AS-BUILT BUILDING COVERAGE

#50 BUILDING	109,692 S. F.
#50 GENERATOR	290 S. F.
#50 BRIDGE	804 S. F.
#60 BUILDING	25,100 S. F.
#60 BRIDGE	761 S. F.
#64 BUILDING	15,311 S. F.
PARKING GARAGE	57,228 S. F.
TENNIS COURT	2,786/2=1,393 S. F.
SHEDS	185 S. F.

TOTAL 210,764 S. F.  
PERCENT COVERAGE - 210,764/970,081=21.73%

#### AS-BUILT SITE COVERAGE

PARKING, WALKS, DRIVES	= 239,199 S. F.
BUILDINGS	= 210,764 S. F.
TOTAL	= 449,963 S. F.
PERCENT COVERAGE	= 449,963/970,081=46.38%

REFER TO MAP REFERENCE No. 10 FOR UNIT BOUNDARIES, CONDOMINIUM AND DEVELOPMENT DESCRIPTIONS.

THIS MAP IS A ZONING LOCATION SURVEY. BOUNDARY INFORMATION IS BASED ON A RESURVEY CONDUCTED IN ACCORDANCE WITH HORIZONTAL ACCURACY CLASS "A-2" AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20.

NEW MONUMENTATION HAS NOT BEEN SET IN THE COURSE OF MAKING THIS SURVEY.

ONLY COPIES OF THIS MAP, BEARING AN ORIGINAL IMPRINT OF THE SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE TRUE, VALID COPIES.

AREA = 22.2700 ACRES (970,081 S.F.)

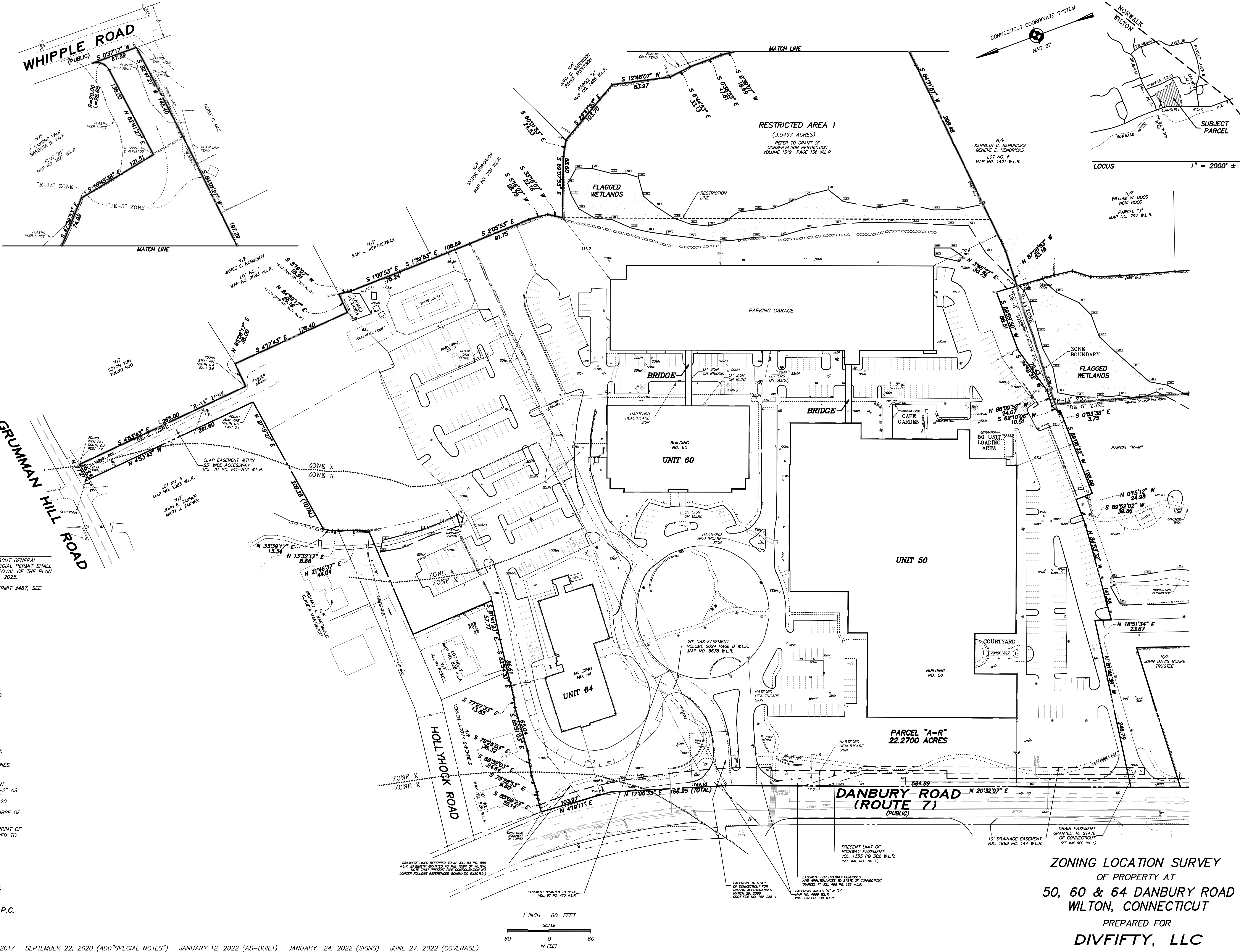
LAND LIES IN "DE-5" ZONE

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

D'ANDREA SURVEYING & ENGINEERING, P.C.

ROBERT L. LIDDEL JR., CT LS No. 15775  
RIVERSIDE, CONNECTICUT

JULY 11, 2017 SEPTEMBER 22, 2020 (ADD "SPECIAL NOTES") JANUARY 12, 2022 (AS-BUILT) JANUARY 24, 2022 (SIGNS) JUNE 27, 2022 (COVERAGE)





REVISIONS		
NO.	DESCRIPTION	DATE

SOUNDVIEW MEDICAL

50 DANBURY ROAD-FIRST FLOOR  
WILTON, CT 06897



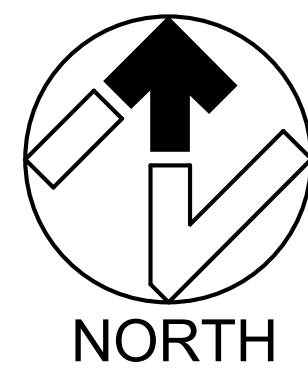
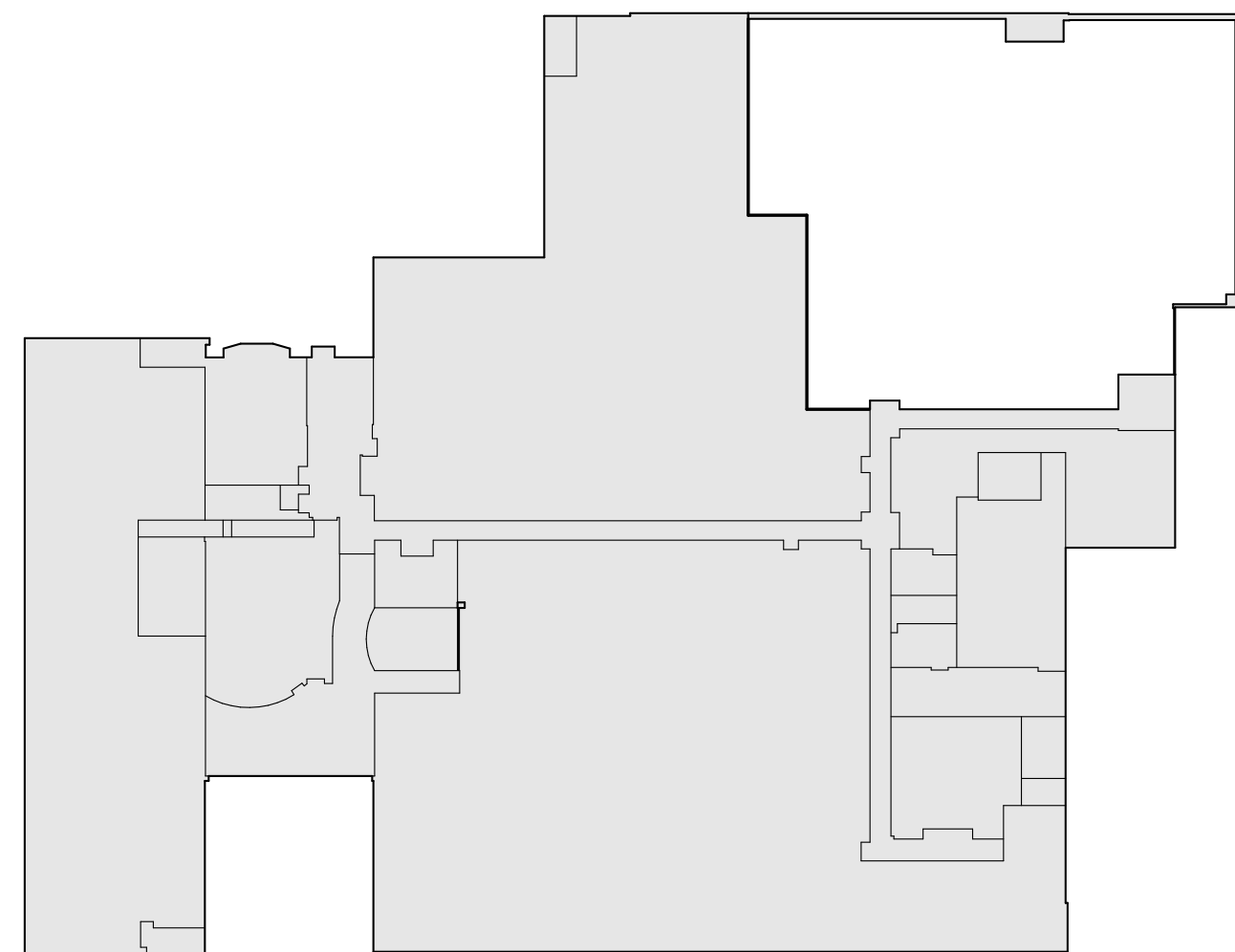
FIRST FLOOR  
PRESENTATION  
PLAN

ISSUED FOR:	REVIEW
DATE ISSUED:	06-16-2022
SCALE:	As indicated
PROJECT NUMBER:	21201
DRAWN BY:	JHH

PA-110



1 FIRST FLOOR PRESENTATION PLAN  
SCALE: 1/8" = 1'-0"





# FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL CONDITIONS IN FIELD. REPORT ANY AND ALL DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO ARCHITECT BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PATCHING AND REPAIRING OF ALL FINISH SURFACES DUE TO PENETRATIONS OF EXISTING MATERIALS AND STRUCTURES NECESSARY FOR NEW UTILITIES, MECHANICAL, ELECTRICAL AND PLUMBING WORK.
- CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALL, FLOOR AND CEILING SURFACES AS REQUIRED DUE TO NEW CONSTRUCTION PROJECT.
- INTERIOR DIMENSIONS ARE TO THE FINISH FACE OF WALL (→) OR FROM CENTERLINE OF COLUMN (←→).
- REFER TO AJOI SHEET SERIES FOR INTERIOR ELEVATIONS AND MILLWORK SECTIONS & DETAILS.
- MILLWORK DESIGNATED WITH A HATCH PATTERN.
- FOR ALL DOOR TYPES AND DETAILS REFER TO DRAWING A-100 DOOR SCHEDULE, DETAILS & HARDWARE SETS.
- ALL CORRIDOR AND RATED WALL ASSEMBLIES SHALL BE CONSTRUCTED IN A MANNER TO PREVENT THE PASSAGE OF SMOKE.
- ALL PENETRATIONS TO BE SEALED WITH U.L. APPROVED SMOKE PREVENTING SEALANT.
- PROVIDE AND INSTALL ACCESS PANELS (COLOR TO BE DETERMINED) AT ALL FIRE DAMPER LOCATIONS. SEE MECHANICAL DRAWINGS FOR EXACT LOCATION & COORDINATE WITH ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING ANY EXISTING MECHANICAL SHAFT OR FLUE THAT MUST BE OPENED IN ORDER TO PERFORM ANY AND ALL REQUIRED MECHANICAL WORK. FIRE RATINGS MUST COMPLY WITH ALL CODES AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A WATER TIGHT BUILDING WHICH INCLUDES, BUT NOT LIMITED TO, ALL FLASHING AND SEALING AROUND ALL EXTERIOR WINDOW AND DOOR OPENINGS & WHERE DETERMINED MATERIALS MUST. THE CONTRACTOR SHALL ALSO FOLLOW ALL MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND REQUIREMENTS.
- PROVIDE WATER RESISTANT GWS IN NEW TOILET ROOMS, BATHROOMS, JANITORS CLOSETS, AND ALL VET AREAS.
- FURNISH AND INSTALL RECESSED FIRE EXTINGUISHER CABINETS AS INDICATED BY (FE) MOUNTED AT 36" A.F.F. TO BOTTOM OF CABINET. PROVIDE SOLID BLOCKING AT CABINET LOCATIONS RETAIN ALL REQUIRED WALL RATINGS AT CABINET LOCATIONS.
- REFER TO PHASING PLANS PRIOR TO THE COMMENCEMENT OF ALL WORK. (COORDINATE WITH OWNER AND ARCHITECT TO CONFIRM COURSE OF ACTION).
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLASHING AND PATCHING OF EXISTING FLOOR TO PREP AND MEET THE REQUIREMENTS OF THE FINISH SCHEDULE.
  - PATCH/REPAIR ANY AREAS OF STEEL WHERE FIREPROOFING HAS BEEN REMOVED DUE TO INSTALLATION OF ANY NEW WORK.
  - PATCH/REPAIR ANY AREAS OF STEEL WHERE FIREPROOFING HAS BEEN REMOVED DUE TO INSTALLATION OF NEW STEEL FOR PENETRATIONS AT DUCTS.
  - ALL AREAS SHALL BE PROTECTED WITH A SPRAY ON OR TROWEL ON FIREPROOFING APPLICATION TO MEET A 2 HR. RATING.

## NEW WALL CONSTRUCTION LEGEND

REFER TO WALL TYPES ON SHEET A-100 FOR DETAILED WALL CONSTRUCTION AND U.L. REQUIREMENTS.

- EXISTING WALL TO REMAIN
- NEW NON-RATED PARTITION
- NEW SMOKE PARTITION TO PREVENT THE PASSAGE OF SMOKE
- TEMPORARY (1) HR CONSTRUCTION BARRIER
- NEW 1 HOUR FIRE RATED PARTITION
- NEW SMOKE BARRIER (1 HOUR FIRE RATED & PREVENTS PASSAGE OF SMOKE)
- NEW 2 HOUR FIRE RATED PARTITION

NOTE:  
ALL RATED WALLS SHALL BE IDENTIFIED/LABELLED ABOVE  
ALL CEILINGS AS TO THE FIRE RATING OF EACH PARTITION.  
COORDINATE EXACT SPECIFICATIONS WITH SPECIFICATION STANDARDS

1 PARTIAL FIRST FLOOR CONSTRUCTION PLAN  
SCALE: 1/8" = 1'-0"

PROJECT SCOPE	
	AREA WITHIN SCOPE OF WORK REF. NEW SF
	AREA NOT WITHIN SCOPE OF WORK

REVISION NO.	DESCRIPTION	DATE

## SOUNDVIEW MEDICAL

50 DANBURY ROAD  
WILTON, CT 06897



## FIRST FLOOR CONSTRUCTION PLAN

ISSUED FOR:	PROGRESS
DATE ISSUED:	06-08-2022
SCALE:	As Indicated
PROJECT NUMBER:	2101
DRAWN BY:	MBH

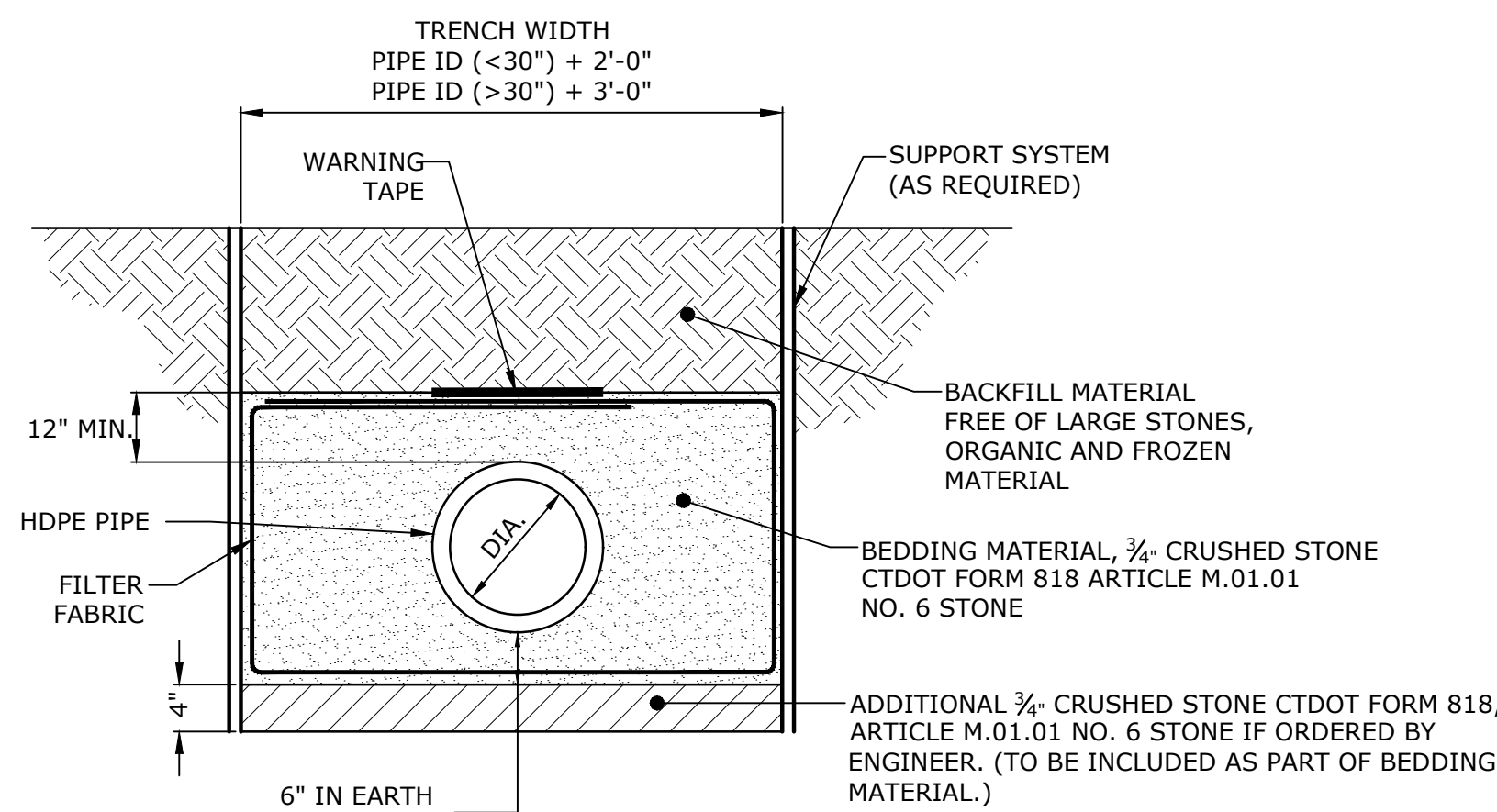
A-110

PROGRESS  
06/08/2022

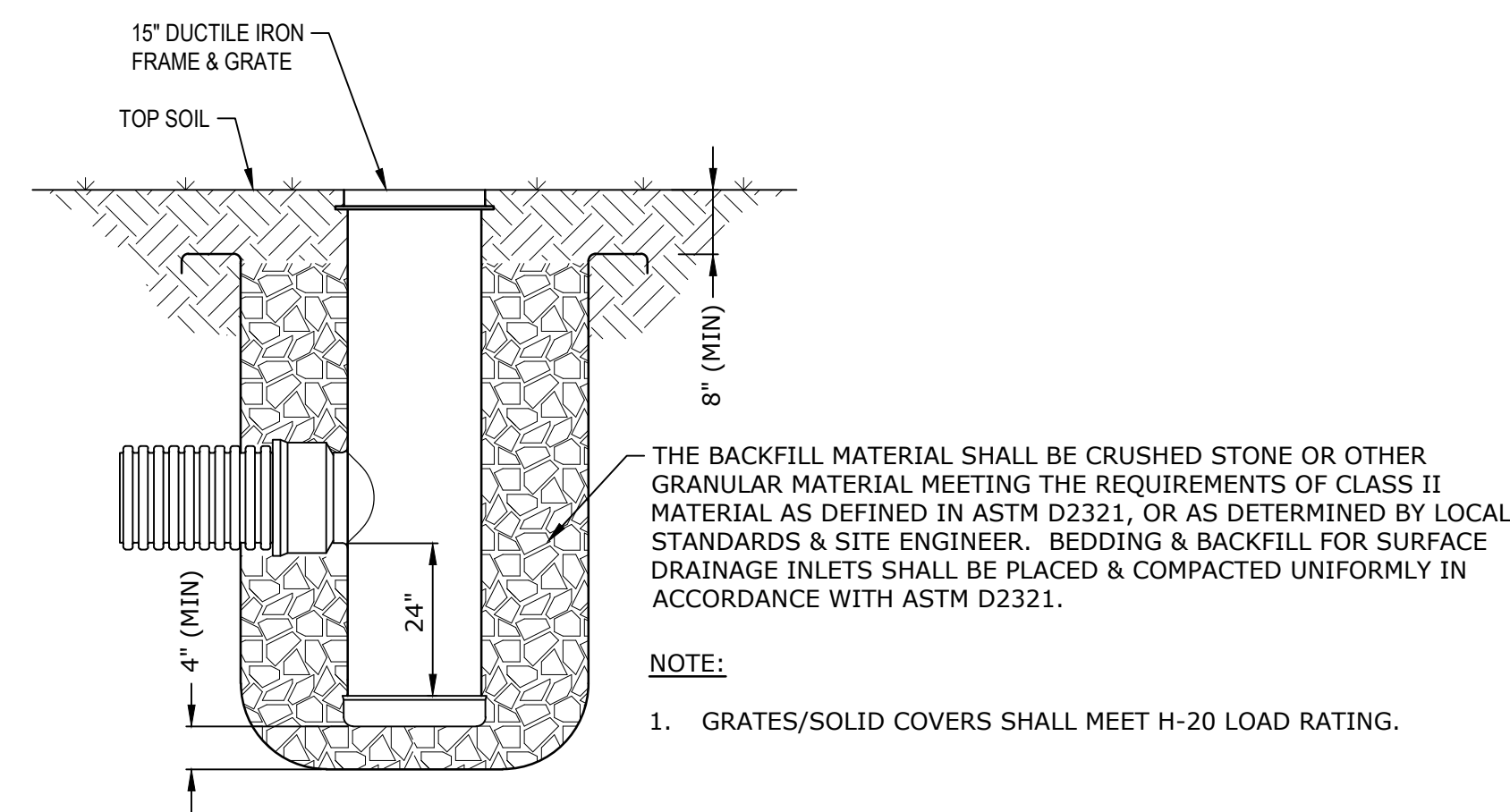


 S.S. - SILT SACK

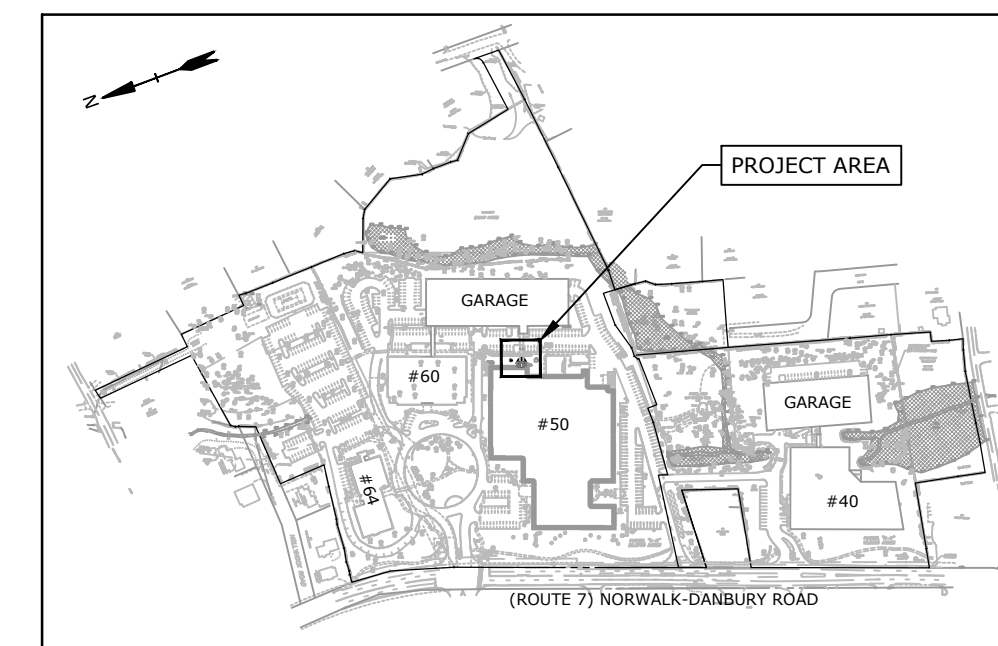
1. SURVEY CONDITIONS TAKEN FROM PLAN ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY AT 50, 60 & 64 DANBURY ROAD, WILTON, CONNECTICUT, PREPARED FOR DAVIS MARCUS PARTNERS, INC." BY D'ANDREA SURVEYING & ENGINEERING, P.C., DATED MAY 10, 2017.



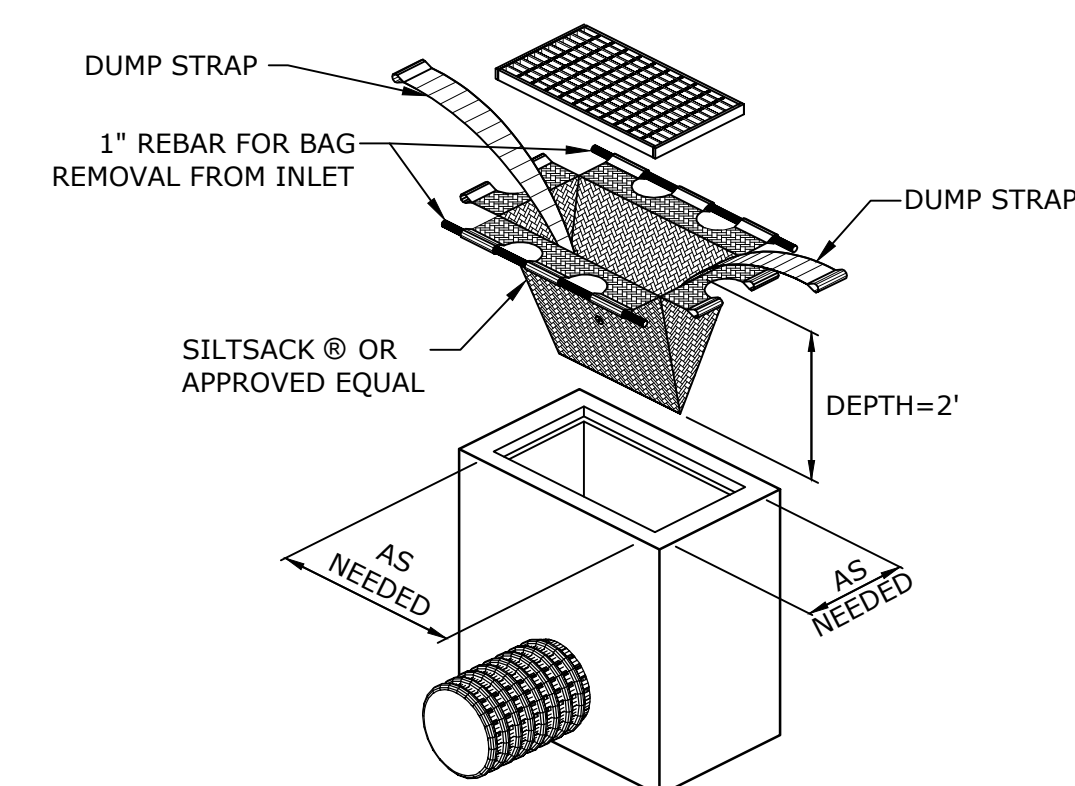
**HDPE TRENCH BEDDING**  
NO SCALE



**NYOPLAST - YARD DRAIN DETAIL**  
NO SCALE

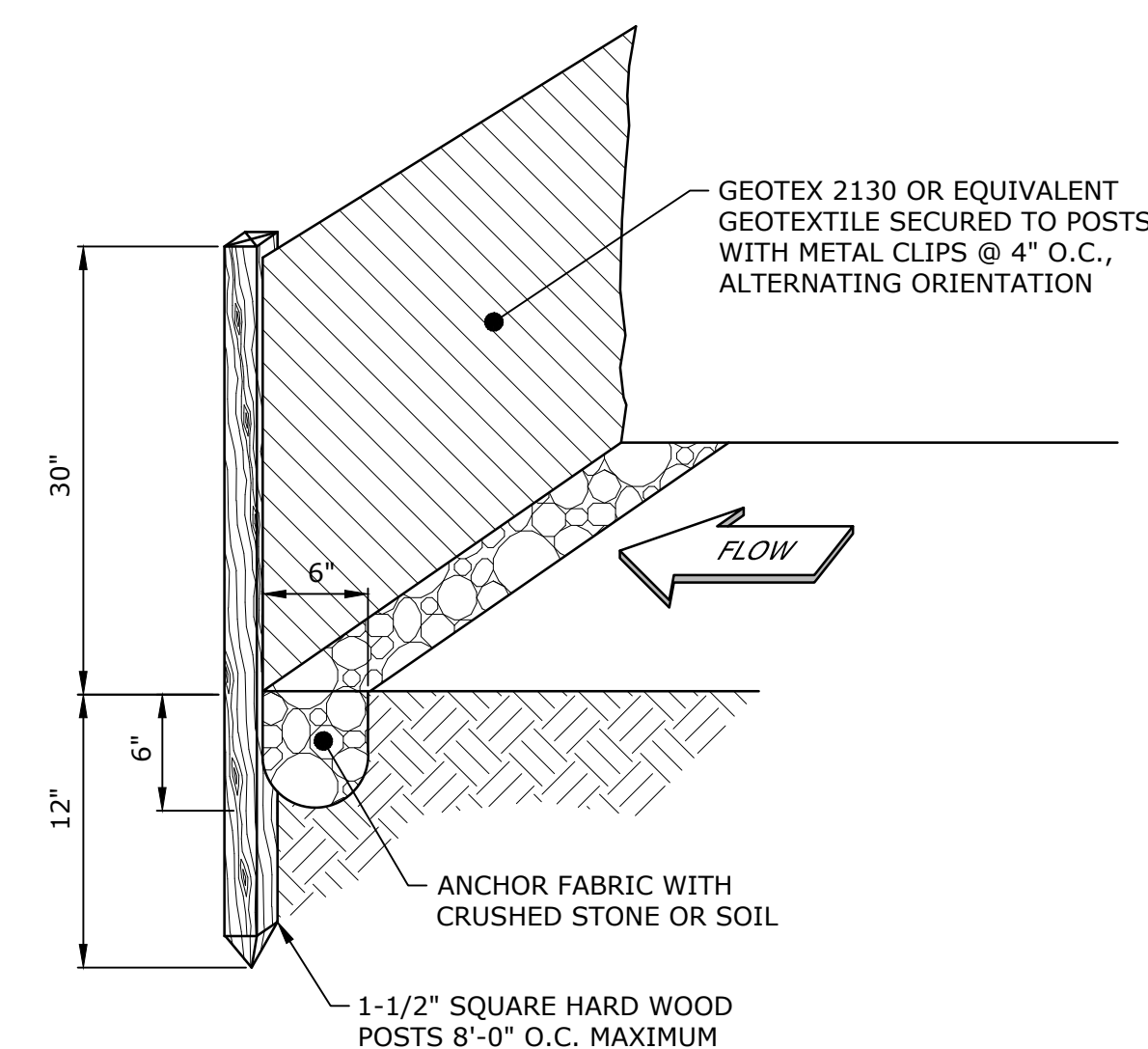


**VICINITY PLAN**  
SCALE: 1" = 500'

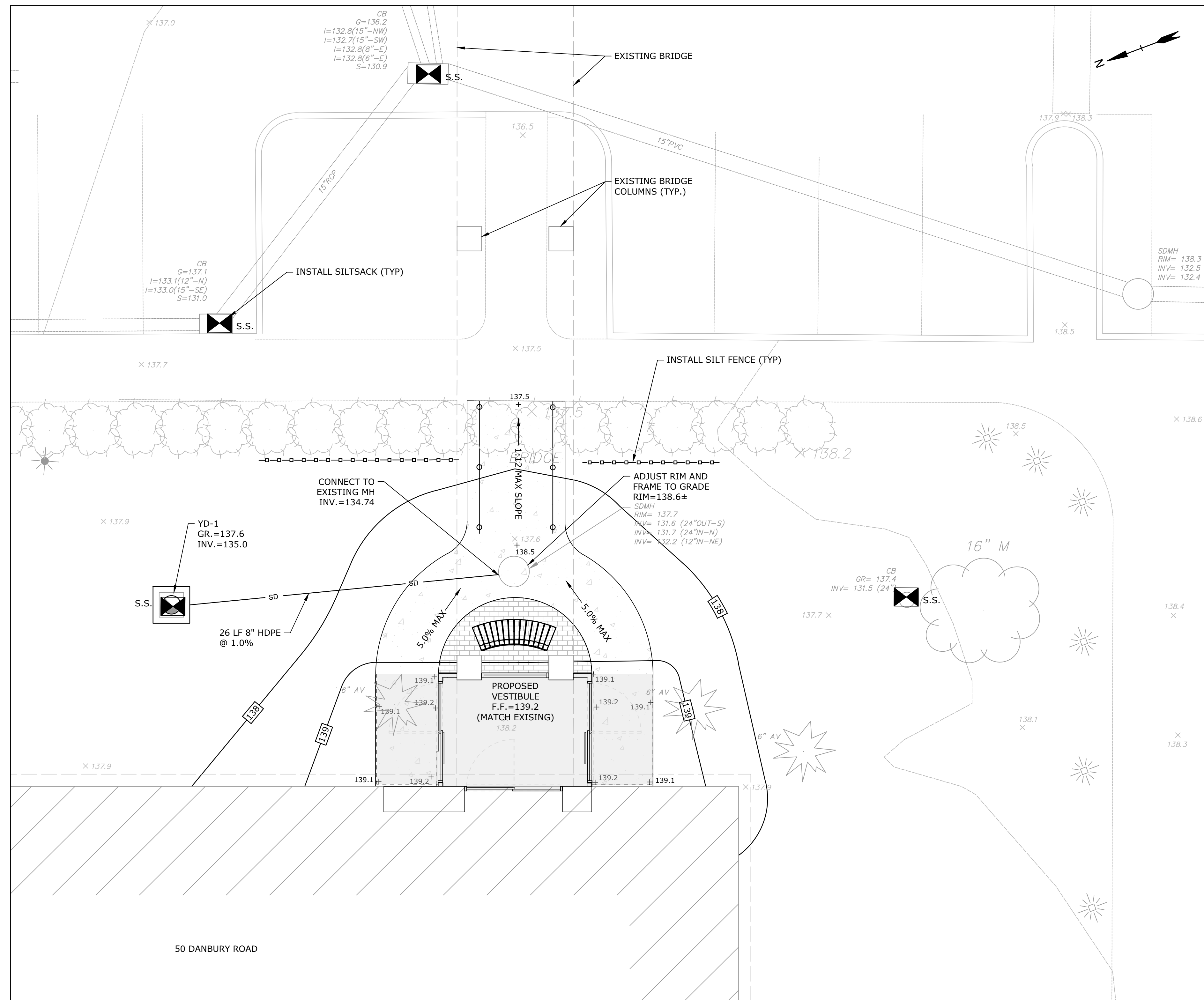


SILTSACK MANUFACTURED BY:  
ACF ENVIRONMENTAL  
2831 CARDWELL ROAD  
RICHMOND, VIRGINIA 23237

**SILTSACK®**  
NO SCALE



**SILT FENCE**  
NO SCALE



**VESTIBULE ADDITION - PLAN VIEW**  
SCALE: 1" = 5'

1000 Bridgeport Avenue  
Suite 320  
Shelton, CT 06484  
(203) 712-1100

**50 Danbury  
Road**

Soundview  
Medical  
Vestibule

Wilton, Connecticut

MARK	DATE	DESCRIPTION
PROJECT NO:		M5001-018
DATE:		05/06/2022
FILE:		M5001-018-C-200-GRAD.dwg
DRAWN BY:		MDS
DESIGNED/CHECKED BY:		EWL
APPROVED BY:		JWB

## GRADING, DRAINAGE AND EROSION CONTROL PLAN

SCALE: AS SHOWN

C-200

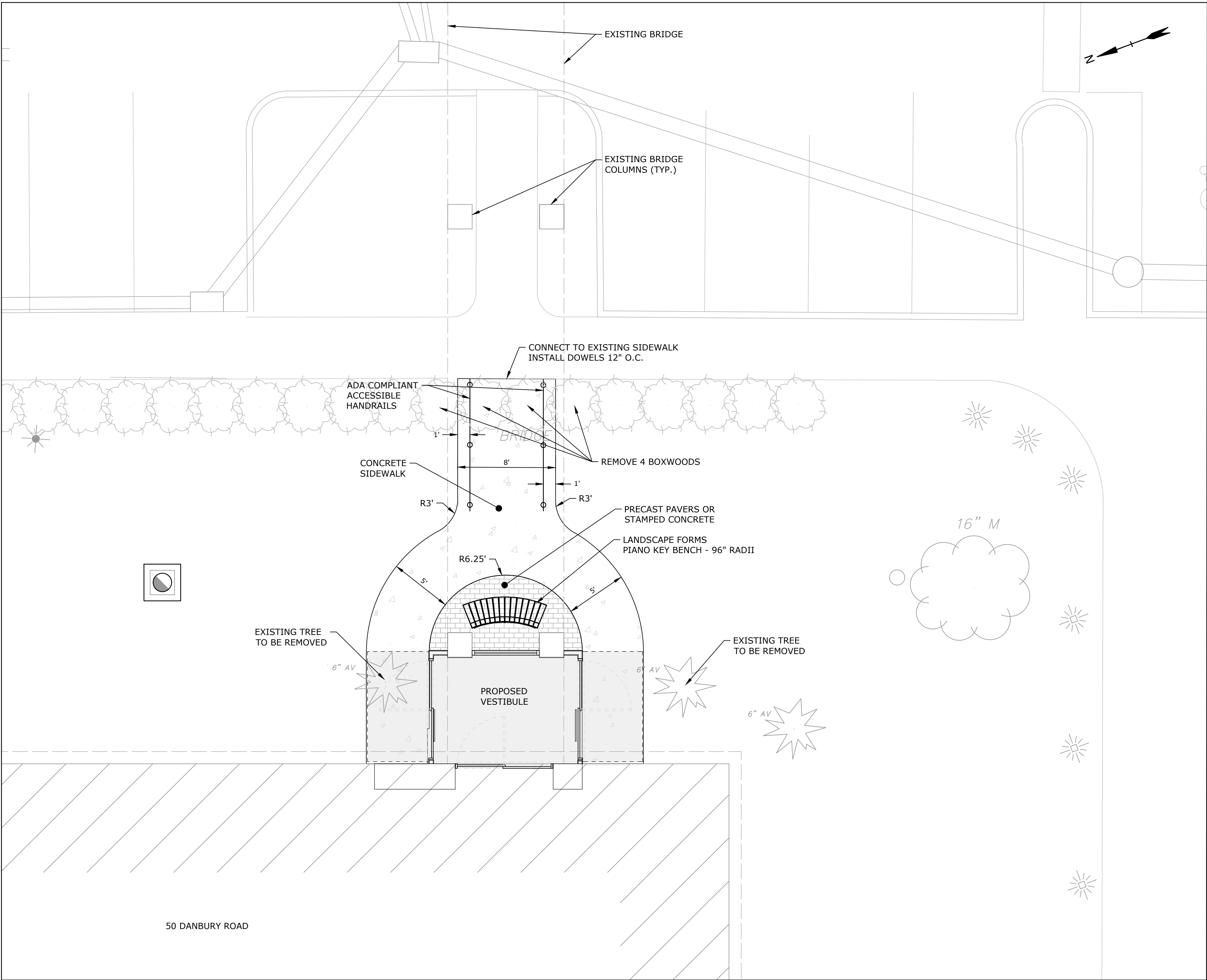
BUILDING COVERAGE\*:

EXISTING		PROPOSED
#50 BUILDING	109,692 S.F.	109,692 S.F.
#50 GENERATOR	290 S.F.	290 S.F.
#50 BRIDGE	804 S.F.	804 S.F.
#50 VESTIBULE	NA	120 S.F. (EXCLUDING BRIDGE OVER)
#60 BUILDING	25,100 s.f.	25,100 s.f.
#60 BRIDGE	761 S.F.	761 S.F.
#64 BUILDING	15,311 S.F.	15,311 S.F.
PARKING GARAGE	57,228 S.F.	57,228 S.F.
TENNIS COURT	2,786 / 2 = 1,393 S.F.	2,786 / 2 = 1,393 S.F.
SHEDS	185 S.F.	185 S.F.
TOTAL	211,034 S.F.	211,154S.F.
PERCENT COVERAGE -	211,034 / 970,081 = 21.75%	211,154 / 970,081 = 21.77%

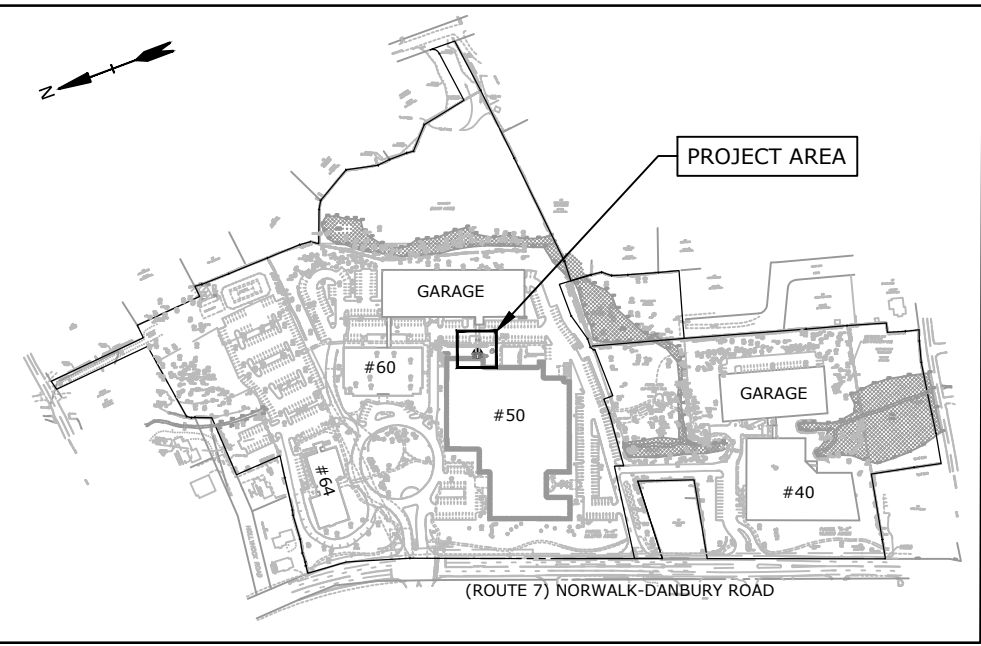
SITE COVERAGE\*:

EXISTING		PROPOSED
PARKING, WALKS, AND DRIVES	239,199 S.F.	239,296 S.F.
BUILDINGS	211,034 S.F.	211,154 S.F.
TOTAL	450,233 S.F.	450,450 S.F.
PERCENT COVERAGE -	450,233 / 970,081 = 46.41%	PERCENT COVERAGE - 450,450 / 970,081 = 46.43%

\* - COVERAGE INFORMATION TAKEN FROM PLAN ENTITLED "ZONING LOCATION SURVEY OF PROPERTY AT 50, 60 & 64 DANBURY ROAD, WILTON, CONNECTICUT, PREPARED FOR DIVFIFTY, LLC", PREPARED BY D'ANDREA SURVEYING & ENGINEERING, P.C., DATED: JULY 11, 2017, AND LAST REVISED JANUARY 24, 2022.



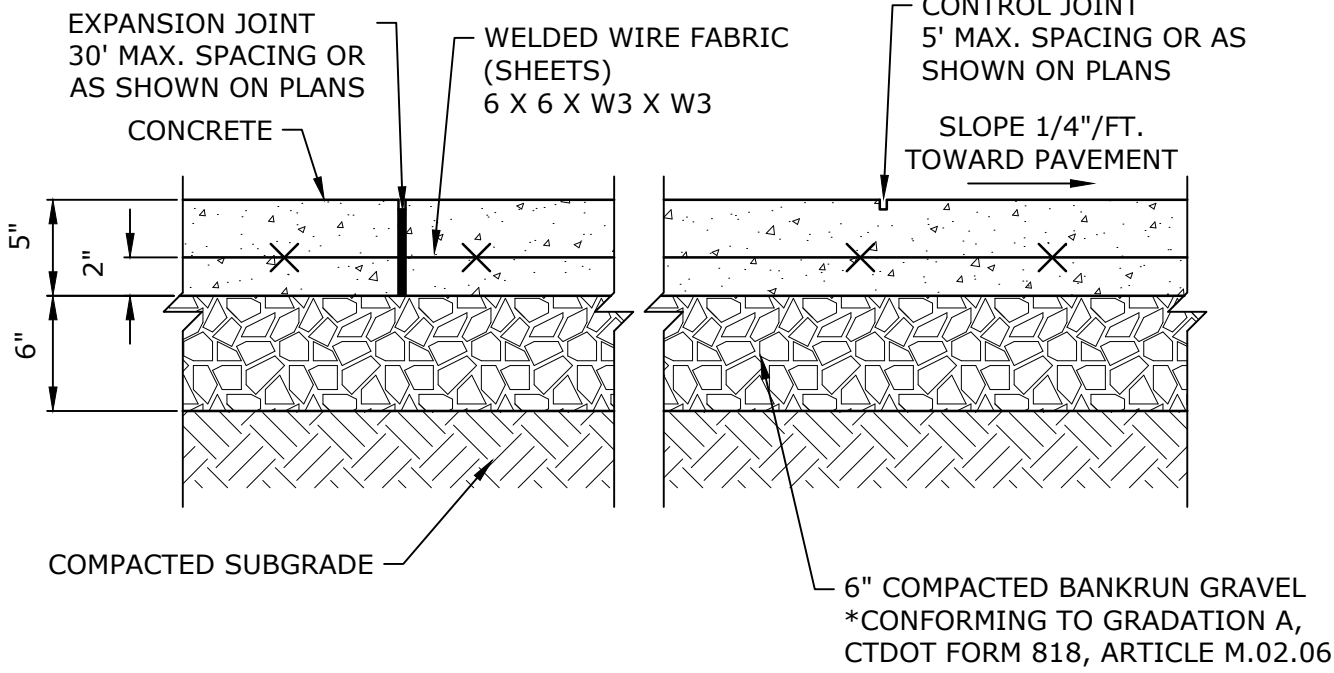
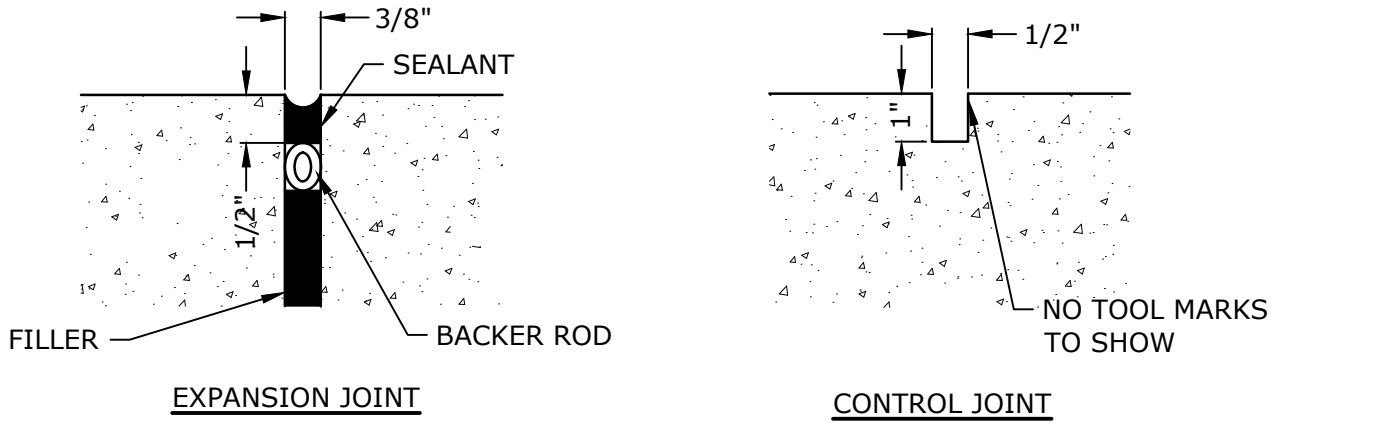
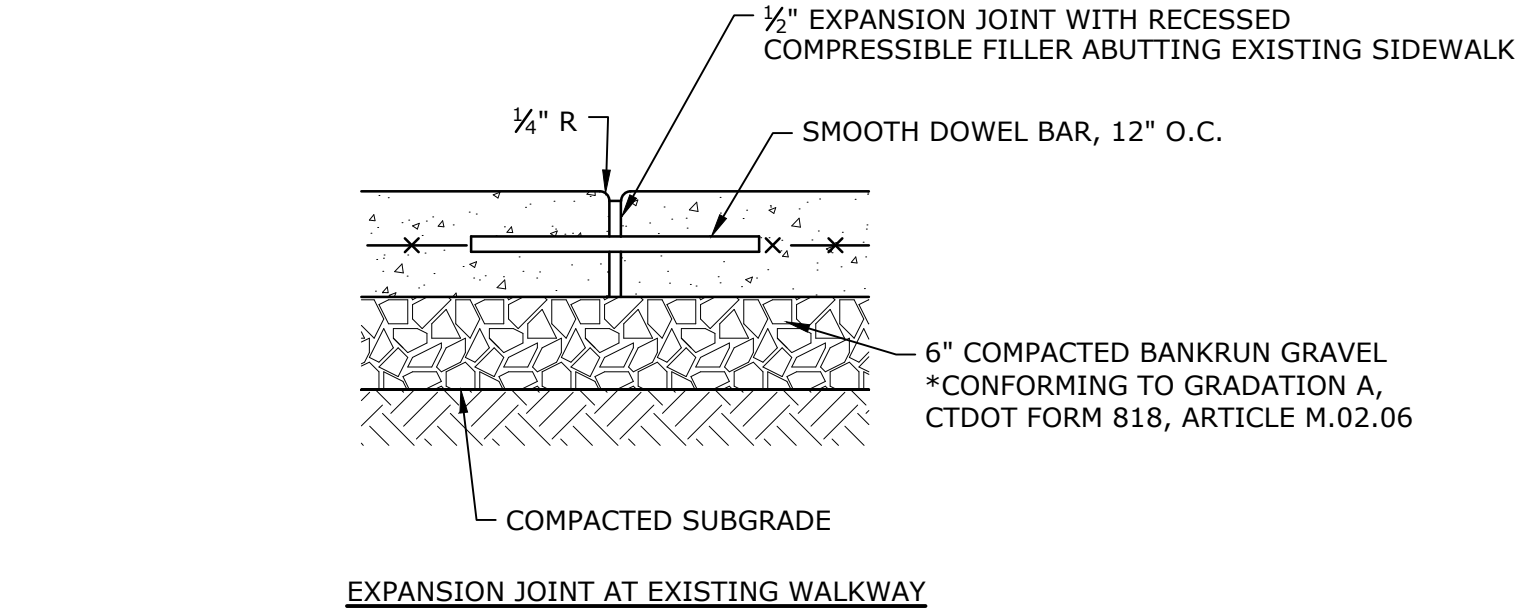
VESTIBULE ADDITION - PLAN VIEW  
SCALE: 1" = 5'



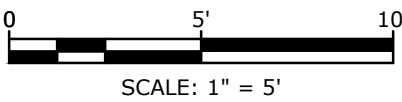
VICINITY PLAN  
SCALE: 1" = 500'

NOTE

1. SURVEY CONDITIONS TAKEN FROM PLAN ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY AT 50, 60 & 64 DANBURY ROAD, WILTON, CONNECTICUT, PREPARED FOR DAVIS MARCUS PARTNERS, INC." BY D'ANDREA SURVEYING & ENGINEERING, P.C., DATED MAY 10, 2017.
2. RE-ESTABLISH ALL DISTURBED AREAS WITH TOPSOIL AND SEED ONCE GRADES ARE ESTABLISHED AND SIDEWALK IS CONSTRUCTED.



CONCRETE SIDEWALK DETAIL  
NO SCALE



Tighe&Bond

1000 Bridgeport Avenue  
Suite 320  
Shelton, CT 06484  
(203) 712-1100

50 Danbury Road

Soundview Medical Vestibule

Wilton, Connecticut

MARK	DATE	DESCRIPTION
PROJECT NO:	M5001-018	
DATE:	05/06/2022	
FILE:	M5001-018-C-100-SITE.dwg	
DRAWN BY:	MDS	
DESIGNED/CHECKED BY:	EWL	
APPROVED BY:	JWB	

SITE LAYOUT PLAN

SCALE: AS SHOWN

C-100