

GREGORY AND ADAMS, P.C.

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SUSAN L. GOLDMAN
J. VANCE HANCOCK

J. CASEY HEALY
MICHAEL LAMAGNA*
DERREL M. MASON*
MATTHEW C. MASON*

JAMES D'ALTON MURPHY*⊗
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RALPH E. SLATER
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JULIAN A. GREGORY
(1912 - 2002)

THOMAS T. ADAMS
(1929 - 2015)

PLEASE REPLY TO SENDER:
JAMES D'ALTON MURPHY
DIRECT DIAL: 203-571-6309
jmurphy@gregoryandadams.com

* ALSO ADMITTED IN NEW YORK
⊗ ALSO ADMITTED IN VERMONT
§ ADMITTED IN NY AND NJ ONLY

July 20, 2022

By E-mail and Hand Delivery

Planning and Zoning Commission

Town Hall Annex

238 Danbury Road

Wilton, CT 06897

Attn: Mr. Michael E. Wrinn – Director of Planning and Land Use Management

Re: Hartford HealthCare Corporation – Application for Special Permit
Premises: 50 Danbury Road, Wilton, Connecticut

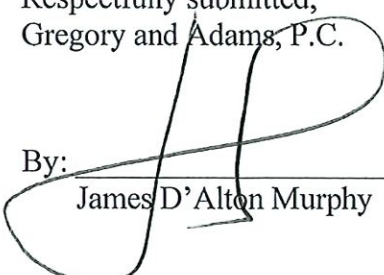
Dear Mr. Chairman and Members of the Commission:

In support of HHC's application for a Special Permit to allow the conversion of existing general office space to medical offices at the above-referenced Premises, I enclose one copy of each of the following:

1. Application for Special Permit, Page 1, revised July 20, 2022.
2. Form B revised July 20, 2022.
3. Parking Summary prepared by Tighe & Bond, Inc. dated July 20, 2022.
4. Gregory and Adams letter to the Commission dated July 19, 2022 requesting waivers of a Traffic Study and a Drainage Study, attached to which are copies of a Vestibule Location Plan and the Declaration to Maintain Stormwater Management Plan recorded in Volume 2515 of the Wilton Land Records at Page 307.
5. Certificates of Mailing for the owners of property entitled to legal notice of the public hearing for this application. The mailing of the certificates was validated by the United States Postal Service on July 12, 2022.

Please contact me if you have any questions or would like additional information.

Respectfully submitted,
Gregory and Adams, P.C.

By: 
James D'Alton Murphy

JD'AM/ko
Enclosures

cc: David Webber, Esq. – Hartford HealthCare
John W. Block, P.E. and Erik Lindquist, P.E. – Tighe & Bond, Inc.
Ms. Jennifer Murnane – Concord Healthcare
Kathleen L. Royle, Esq.
Daniel L. Conant, Esq.

WILTON PLANNING AND
ZONING COMMISSION

Revised SPECIAL PERMIT
7/20/22 APPLICATION

SP#

SPECIAL PERMIT DESCRIPTION: Cite specific section(s) of the Zoning Regulations and provide a detailed description of the proposed development. Attach additional sheets as required.

Section 29- 7.2.a to allow the conversion of @ 21,000 sq. ft. of existing general office space to medical offices in the building at 50 Danbury Road.

Hartford HealthCare Corporation c/o Gregory and Adams, 190 Old Ridgefield Road, Wilton, CT
APPLICANT'S NAME ADDRESS

Wilton 50 Danbury Road Owner, LLC c/o Gregory and Adams, 190 Old Ridgefield Road, Wilton, CT
OWNER'S NAME ADDRESS

50, 60 and 64 Danbury Road	DE-5
PROPERTY LOCATION	ZONING DISTRICT
50) 1415 58 68	33-50
5648, 534 60) 2517 836 68	33-60 22.27 acres
WLR VOLUME PAGE TAX MAP # LOT # ACREAGE	
64) 1415 327 68	33-64

THE FOLLOWING MATERIALS ARE REQUIRED:

* Please see **SPECIAL INSTRUCTIONS FOR SUBMISSION DURING COVID** at:

[Application Forms / Materials | Wilton CT](#)

* All submitted plans and documents shall bear an original signature, seal, and license number of the professional responsible for preparing each item. Maps should be folded, not rolled.

☒ **VICINITY SKETCH** at a scale of 1"=100' or 1"=200'. Said map shall show all existing zone boundaries, existing buildings and parcels, labeled by their corresponding Tax Map and Lot Number, within 500' of the subject property.

☒ **CLASS A-2 SURVEY MAP** of the subject property

☒ **SITE DEVELOPMENT PLAN** pursuant to Section 29-11 of the Zoning Regulations

☒ **FORM B – ZONING DATA**

☒ **LIST OF PROJECT PROFESSIONALS** including name, firm, address and telephone.

☒ **LETTER OF TITLE** certifying owner of record as of date of the application.

☒ **PROOF OF APPLICANT'S LEGAL INTEREST** in property

☒ **LIST OF OWNERS WITHIN 500'** of any portion of subject property, sorted by Tax Map and Lot #

[See online GIS instructions at: [owner list 500 ft gis directions.pdf \(wiltonct.org\)](#)]

☒ **ANY OTHER PLAN OR DOCUMENT** as required by Zoning Regulations

☒ **ONE COPY OF THE DEED**

☒ **ELECTRONIC SUBMISSION** of all materials, [consolidated into 1 or 2 PDFs maximum](#), emailed to michael.wrinn@wiltonct.org and daphne.white@wiltonct.org

☒ **\$460 FILING FEE + \$50/Unit or \$50/2000 sq. ft. (Accessory Apartment - \$260)** payable to: Town of Wilton

☒ **ENVELOPES**, addressed to each property owner within 500' of any portion of subject property.

[See "Envelopes Instructions" at: [envelopes instructions 0.pdf \(wiltonct.org\)](#)]

50, 60 and 64 Danbury Road

PROPERTY ADDRESS

22.27± acres

LOT ACREAGE

DE-5

1,136 LF

LOT FRONTAGE

	PER ZONING REGS (MAX OR MIN ALLOWED)	EXISTING	PROPOSED	TOTAL
GROSS FLOOR AREA [SF]	—	435,602 sq. ft.	120 sq. ft.	435,722 sq. ft.
BUILDING FOOTPRINT [SF]	—	210,764 sq. ft.	120 sq.ft.	210,884 sq. ft.
BUILDING COVERAGE [SF/%] (round up)	25% maximum	21.73%	—	21.74 %
BUILDING HEIGHT [FT - STORY]	4 stories/55'	3 stories/ 50.53'	—	3 stories/ '50.53
FLOOR AREA RATIO (F.A.R.)	None	—	—	—
PARKING SPACES (round up)	1/200 sf medical 1/300 sf office	1,226	—	1,226
LOADING SPACES	2	2	—	2
SITE COVERAGE [SF/%]	50%	46.38%	—	46.41%

OFF-STREET PARKING AND LOADING CALCULATIONS

Please provide the specific calculation used to determine the minimum required off-street parking and loading spaces pursuant to the Zoning Regulations.

PARKING CALCULATION

See Tighe & Bond Inc. Parking Summary Letter.

LOADING CALCULATION

1 per 125,000 sf GFA

PLAN OF CONSERVATION AND DEVELOPMENT

See attached Statement of Compliance with Town Plan of Conservation and Development.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein:
Hartford HealthCare Corporation by its agent
Gregory and Adams, P.C.

By:

James D'Alton Murphy

July 20, 2022

OFFICE USE ONLY



22-5001-019
July 20, 2022

Mr. Michael J. Sher, JD, MS
Hartford Healthcare Corporation
129 Patricia M. Genova Drive
Newington, CT 06111

Re: **Parking Summary**
50, 60 & 64 Danbury Road, Wilton, CT

Dear Mr. Sher:

This letter summarizes the parking requirements and supply for 50, 60, and 64 Danbury Road (the Site) in Wilton to support the Town of Wilton Special Permit (SP) application #495. As proposed by SP#495, the Site would include a gross floor area of 325,018 square feet with 225,726 square feet of general office space and 99,292 square feet of medical space.

The parking requirements for the Site, per the Town of Wilton Zoning Regulations (dated revised May 6, 2022) Section 29-8.B, are summarized in Table 1 attached. As shown, the Site is required to contain 1,226 parking spaces. The Site includes 1,226 parking spaces with 470 surface parking spaces and 756 parking garage spaces as shown on the attached Parking Summary Plan (Figure 1). Therefore, the 50, 60, & 64 Danbury Road site contains sufficient parking to meet Wilton Zoning Regulations.

Sincerely,

TIGHE & BOND, INC.

Craig D. Yannes, PE, PTOE, RSP1
Project Manager

John W. Block, PE, L.S.
Senior Vice President

Enclosures: 50, 60, & 64 Danbury Road Parking Summary Table (Table 1)
50, 60, & 64 Danbury Road Parking Summary Plan (Figure 1)

Copy: James D'Alton Murphy, Esq., Gregory and Adams, P.C.
Kathleen L. Royle, Esq., Gregory and Adams, P.C.
William H. Fenn, Marcus Partners, Inc.

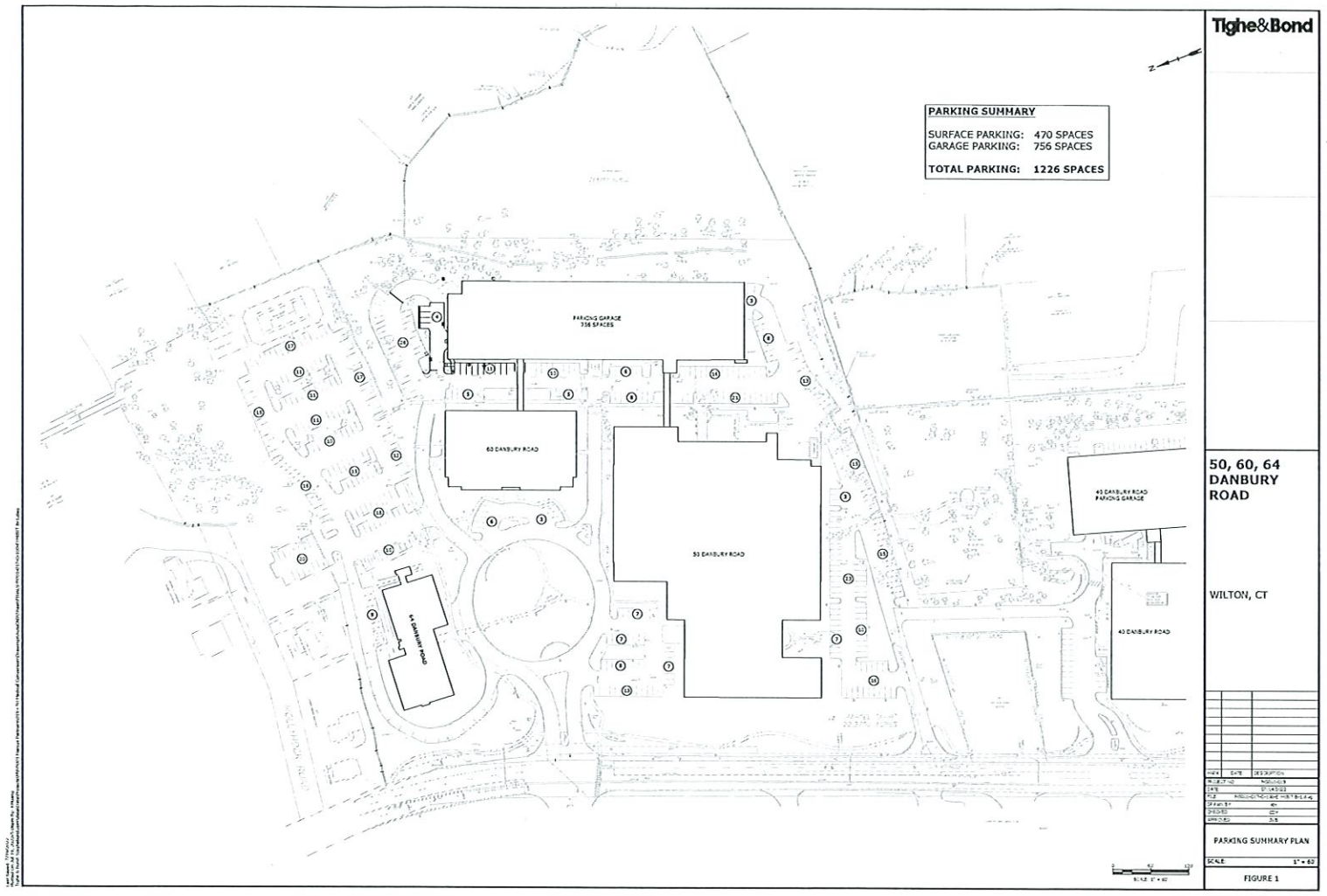
J:\M\M5001 Marcus Partners\019 - 50 Medical Conversion\Reports\2022-07-19 50 Danbury Rd. Parking Letter.docx



TABLE 1
Parking Summary
50, 60, & 64 Danbury Road, Wilton, CT

Location	Use	Size (Square Feet of Gross Floor Area)	Required Parking (Spaces)	Parking Waiver (Spaces)
50 Danbury Road	General Office	183,726	613	25
	Medical Office	24,894	125	
60 Danbury Road	Medical Office	53,619	269	
	Surgery Center	20,779	104	
64 Danbury Road	General Office	42,000	140	
Totals:		325,018	1251	25
Total Required Parking (Required Parking Minus Waiver):				1226
Total Site Parking Provided (See Parking Plan - Figure 1):				1226

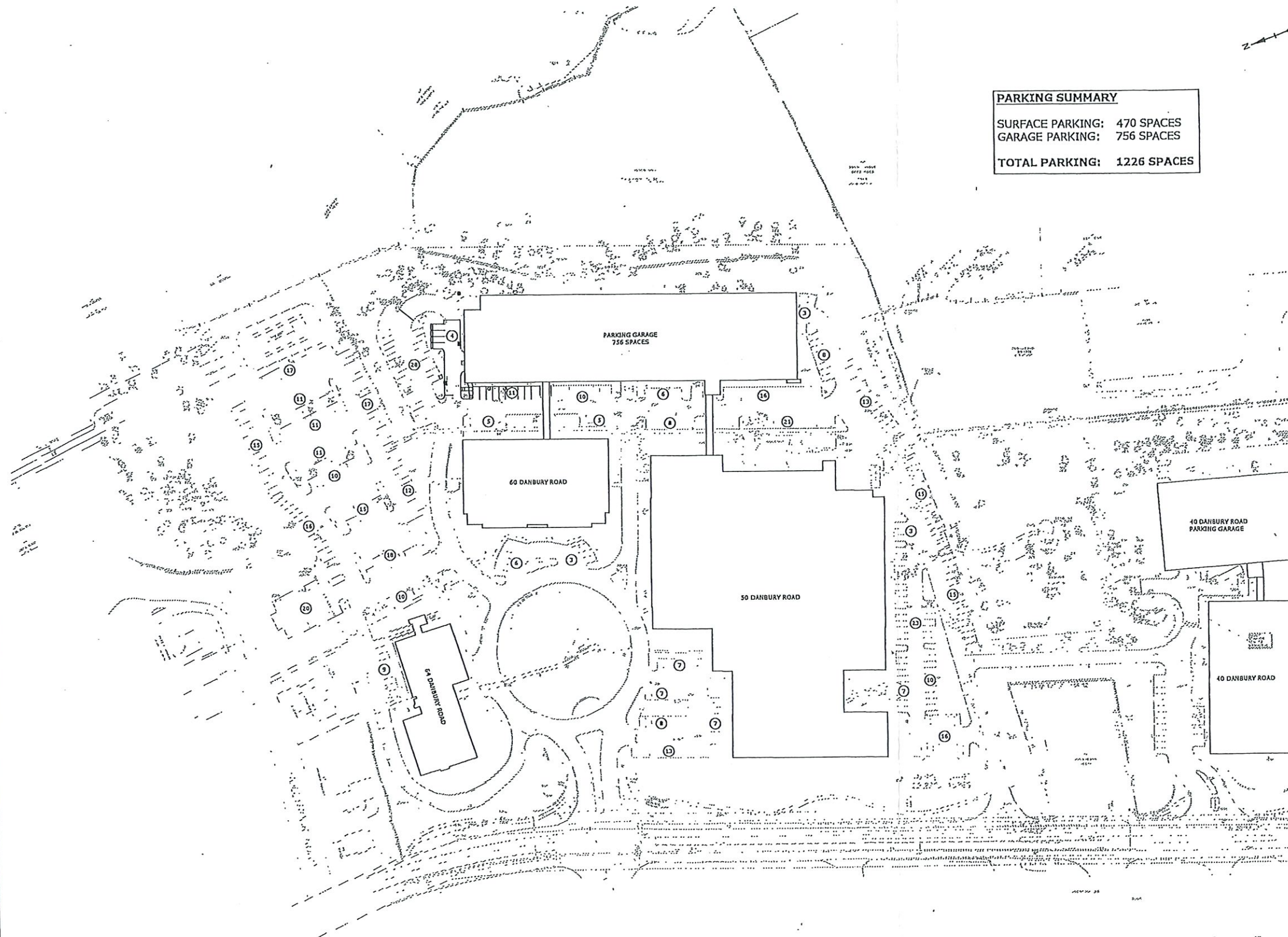
- Note:**
1. Parking requirements based on Town of Wilton Zoning Regulations (dated revised May, 6, 2022) Section 29-8.B.
 2. Parking requirement for medical office/surgery center is 1 space per 200 square feet of gross floor area.
 3. Parking requirement for general office is 1 space per 300 square feet of gross floor area.
 4. Parking waiver for 60 Danbury Road approved under SP#467.



PARKING SUMMARY

SURFACE PARKING:	470 SPACES
GARAGE PARKING:	756 SPACES

TOTAL PARKING: 1226 SPACES



50, 60, 64
DANBURY
ROAD

WILTON, CT

HWK	DATE	DESCRIPTION
PROJECT NO.		N5001-019
DATE		07/14/2022
FILE		N5001-G17-C-100-E (N517 B-1-A)
CRASH B.F.		NO
CHC/D.O.		COY
APPROVED		Jr/D

PARKING SUMMARY PLAN

SCALE: 1" = 60'

FIGURE 1

PAUL H. BURNHAM
DANIEL L. CONANT
TREVOR CONLOW§
SUSAN L. GOLDMAN
J. VANCE HANCOCK
J. CASEY HEALY
MICHAEL LAMAGNA*
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DIRECT DIAL: 203-571-6309
jmurphy@gregoryandadams.com

July 19, 2022

By Hand-Delivery and E-mail

Wilton Planning and Zoning Commission
Town Hall Annex
238 Danbury Road
Wilton, CT 06897
Attn: Mr. Michael Wrinn – Director of Planning and Land Use Management

Re: Hartford HealthCare Corp. – Request for Waivers of Traffic and Drainage Studies
Premises: 50 Danbury Road

Dear Chairman Tomasetti and Members of the Commission:

This firm represents, Hartford HealthCare Corporation (“**HHC**”) and its affiliate, Soundview Medical Associates (“**SMA**”). HHC has entered into a long-term lease for a portion of the 50 Danbury Road building currently owned by Wilton 50 Danbury Road Owner LLC and located within the Wilton Corporate Park condominium, which is comprised of 50, 60, and 64 Danbury Road.

HHC seeks to convert approximately 21,000 square feet of existing office space to medical offices and therefore, pursuant to section 29-7.C.2.a, HHC must obtain a Special Permit. As a part of the Special Permit application process, applicants may be required to submit a traffic study, per section 29-10.A.4, as well as detail the environmental impacts, per section 29-10.A.5.b, and a storm water management plan.

Director Wrinn asked HHC to submit formal waiver requests for traffic and drainage studies, and our requests are as follows:

1. Waiver of Traffic Study

HHC retained Craig Yannes, P.E., of Tighe & Bond, Inc. (“**T&B**”), to conduct a traffic and parking analysis. According to Mr. Yannes, the size of the proposed conversion, which is approximately 21,000 square feet, should not require a full traffic study. Further, while Mr. Yannes’ analysis indicates the proposed conversion may result in additional peak hour traffic, any increase in peak hour traffic is less than the Connecticut Department of Transportation

Office of the State Traffic Administration (OSTA) threshold for the preparation of a traffic study. Mr. Yannes and the applicant are in the process of obtaining the required OSTA Administrative Decision Approval, which, per OSTA regulations, does not require a full traffic study.

2. Waiver of Drainage Study

HHC also requests a waiver for the submission of a drainage study and a stormwater management plan for the following reasons:

- a. The only proposed alteration to the exterior of the building is the *de minimis* addition of a vestibule, totaling approximately 120 square feet. The proposed location of the vestibule is highlighted in Exhibit A, attached hereto, and the proposed vestibule is not located in wetlands nor is it within a wetlands review area.
- b. The proposed vestibule and accompanying sidewalk, to be located under an existing pedestrian bridge between a parking garage and the 50 Danbury Road building, will only add 217 square feet of impervious coverage to the Wilton Corporate Park condominium, which consists of a parcel totaling 970,081 square feet. For additional details concerning the building and site coverage, please refer to the Site Layout Plan, sheet C-100, prepared by T&B, which was submitted as part of our Supplemental Submission on July 29, 2022.
- c. The plans for the proposed vestibule include features to manage stormwater, and the proposed features include grading and additional stormwater management features (i.e. yard drains and siltsacks). For additional details regarding grading, drainage, and stormwater management, please refer to the Grading, Drainage and Erosion Control Plan, sheet C-200, prepared by T&B, which was submitted as a part of our Supplemental Submission on July 29, 2022.
- d. The proposed vestibule will not affect the existing Stormwater Management Plan for 50, 60, and 64 Danbury Road, on file with the Town of Wilton and as recorded in the Wilton Land Records in Book 2515 at pages 307-329. The Declaration to Maintain Stormwater Management Plan has been attached hereto as Exhibit B.

On account of the aforementioned, we respectfully request the Commission grant our request for a waiver of the traffic and drainage study requirements.

Very truly yours,
GREGORY AND ADAMS, P.C.

By: James D'Alton Murphy
James D'Alton Murphy

Cc with enclosures:

Michael Wrinn – Director of Planning and Land Use Management

Exhibit A

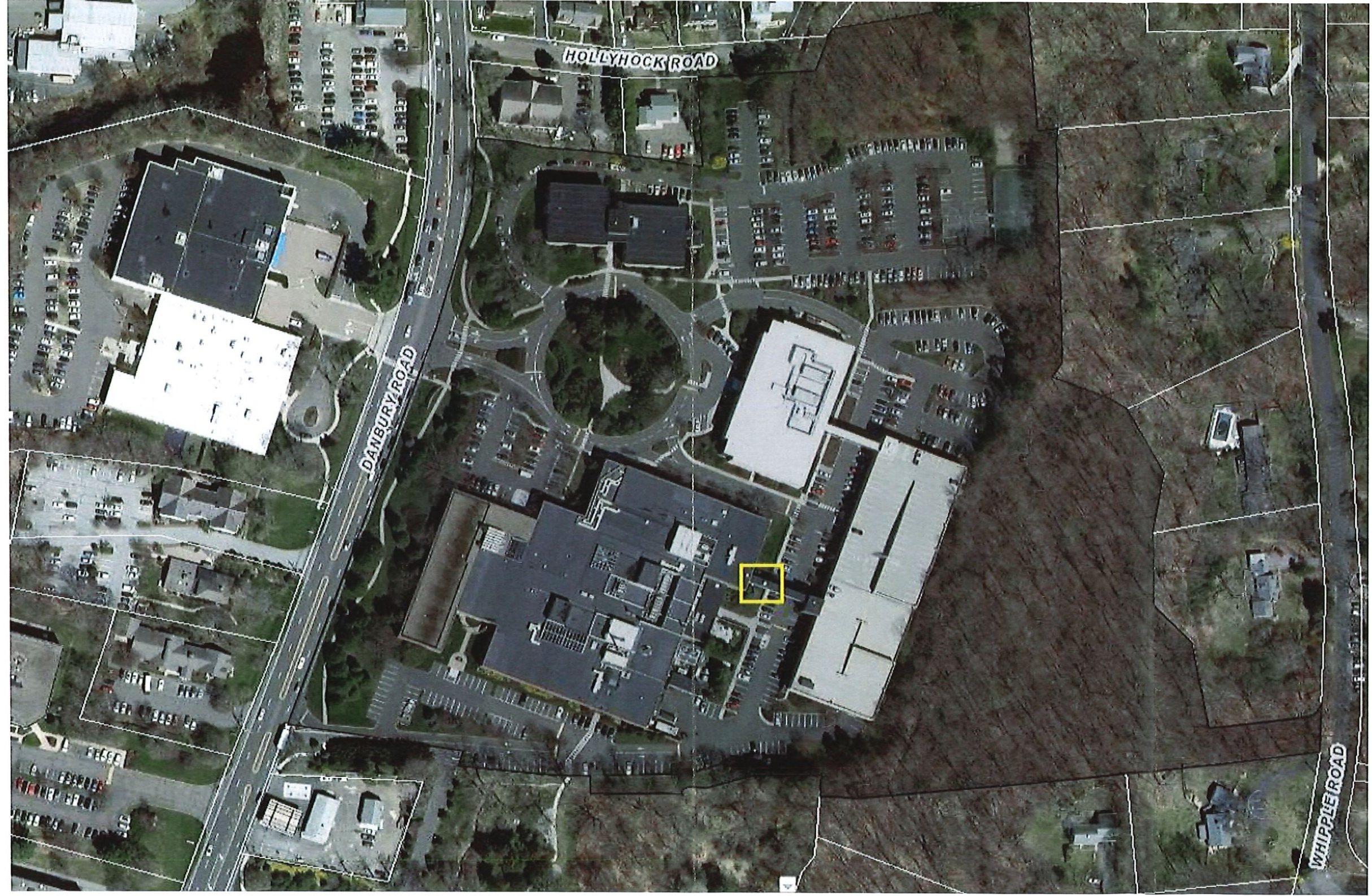


Exhibit B

**DECLARATION TO MAINTAIN STORMWATER MANAGEMENT PLAN
(50, 60 and 64 Danbury Road, Wilton, CT)**

DECLARATION, made this 21st day of August, 2020, by Wilton – 50 Danbury Road Owner LLC with a principal place of business c/o Taconic Capital Advisors L.P., 280 Park Avenue, 5th Floor, New York, NY 10017; Wilton 40/60, LLC, with a principal place of business c/o Marcus Partners, Inc., 260 Franklin Street, Ste. 620, Boston, MA, 02110; and Wilton – 64 Danbury Road Owner LLC with a principal place of business c/o Taconic Capital Advisors L.P., 280 Park Avenue, 5th Floor, New York, NY 10017 (collectively, the “Declarant”).

WHEREAS, Declarant owns that certain piece, parcel and tract of land located in the Town of Wilton, County of Fairfield and State of Connecticut shown and designated as “22.2700 Acres” (the “Property”) on that certain map entitled “Zoning Location Survey Prepared For DIV FIFTY, LLC” by D’Andrea Surveying & Engineering, P.C. dated July 11, 2017; (the “Survey”); and

WHEREAS, the Planning and Zoning Commission of the Town of Wilton (the “Commission”) granted Declarant’s application for a special permit (“SP#433”) as evidenced by the Commission’s Resolution #1017-12P dated October 10, 2017 to allow the expansion of an existing parking garage on the Property (the “Resolution”); and

WHEREAS, special condition #4 of the Resolution requires that a stormwater management plan be filed on the Wilton Land Records; and

WHEREAS, in satisfaction of said condition #4, Declarant proposes to install or cause to be installed on the Property certain facilities, including but not limited to catch basins with hooded outlets, a CDS structure, a subsurface infiltration system for roof runoff, surface water quality and bio detention basins, outlet structures and other features (collectively, the “Drainage Facilities”) all as more particularly shown and designated on those certain plans prepared by Tighe & Bond, Inc. dated July 19, 2017 and last revised July 6, 2020, entitled: DIVFifty, LLC 50-60 Parking Garage Expansion (i) C0.00 General Notes, Standard Abbreviations and Legend; (ii) C0.01 Existing Conditions Plan; (iii) C1.00 Overall Site Plan; (iv) C1.01 Site Plan Enlargement; (v) C2.00 Site Drainage and Utility Plan; (vi) C3.00 Grading Plan; (vii) C4.00 Soil Erosion and Sediment Control Plan; (viii) C4.01 Soil Erosion and Sediment Control Details; (ix) C5.00 Site Details – 1; and (x) C5.01 Site Details – 2 (collectively, the “Drainage Facilities Plans”); and

WHEREAS, the Drainage Facilities Plans are on file in the office of the Commission located in the Town Hall Annex at 238 Danbury Road, Wilton, CT and copies of the Drainage Facilities Plans are attached hereto as *Exhibit A*; and

WHEREAS, Declarant intends that Property and the current and any subsequent owner thereof shall have the benefits and burdens of certain covenants, conditions and restrictions imposed on the Property by this Declaration;

WHEREAS, Declarant intends that Property and the current and any subsequent owner thereof shall have the benefits and burdens of certain covenants, conditions and restrictions imposed on the Property by this Declaration;

NOW, THEREFORE, Declarant hereby declares that the Property shall be held, transferred, sold, conveyed, encumbered and occupied only subject to the covenants, conditions and restrictions hereinafter set forth, which covenants, conditions and restrictions shall constitute equitable servitudes and shall run with the land.

1. Declarant or its successors and assigns shall install or cause to be installed the Drainage Facilities all as more particularly described and shown on the Drainage Facilities Plans.
2. Declarant or its successors and assigns shall cause the Drainage Facilities to be inspected, maintained, cleaned and repaired in accordance with the Maintenance and Inspection Plan (the "**Maintenance Plan**") attached hereto as *Exhibit B*.
3. Declarant or its successors and assigns, at it or their sole cost and expense, shall be responsible for maintaining, cleaning, repairing and reconstructing as necessary the Drainage Facilities in accordance with the Maintenance Plan.
4. Declarant grants to the Town of Wilton the right to enter upon the Property to perform any necessary inspections of the Drainage Facilities. In the event that the Declarant, or its successors and assigns, fails to inspect, maintain and clean the Drainage Facilities in accordance with the Maintenance Plan, Declarant grants the Commission or the Director of Environmental Affairs of the Town of Wilton the right, but not the duty, to take the action necessary to assure compliance, including the right to enter upon the Property to perform the necessary inspections, maintenance and cleaning of the Drainage Facilities and the right to assess against Declarant the costs incurred by the Town in taking such action.
5. In the event that any party shall violate or attempt to violate the terms or conditions of this Declaration, it shall be lawful for the Town of Wilton to prosecute any proceedings at law or in equity against the party violating or attempting to violate such terms or conditions. Furthermore, the party who shall succeed on the merits in an action to enforce the terms and conditions of this Declaration shall be entitled to recover all costs and expenses incurred in said enforcement action, including reasonable attorney's fees.
6. Declarant agrees that the provisions of this Declaration shall run with the land, and that it shall be binding in perpetuity on the Declarant and its successors and assigns. The obligations under this Declaration may not be modified or released without the consent of the Commission.

7. Declarant agrees that the terms, conditions, restrictions and purposes of this Declaration will be inserted by it in any deed or other legal instrument by which Declarant divests itself of either the fee simple title or its possessory interest in all or part of the Property.
8. This Declaration shall not change the character of private ownership of the Property nor shall it create a right of the public to use the Property.
9. Declarant agrees that this Agreement shall be recorded on the Wilton Land Records at Declarant's sole cost and expense.

IN WITNESS WHEREOF, the Declarant has caused the presents to be executed this 26 day of August, 2020.

Signed, Sealed and Delivered
In the presence of:

Shannon Black

Shannon Black

Wilton – 50 Danbury Road Owner LLC

By: Peyton McNutt
Its: Authorized Signatory

STATE OF NEW YORK)
)
COUNTY OF NEW YORK) ss.: City of New York

On this the 26th day of August 2020, before me, the undersigned officer, personally appeared Peyton McNutt, the Authorized Signatory of Wilton – 50 Danbury Road Owner LLC, signer and sealer of the foregoing instrument, who acknowledged the execution of the same to be her free act and deed as said Authorized Signatory.



Shannon Black

Commissioner of the Superior Court
Notary Public
My commission expires: October 31, 2020

Signed, Sealed and Delivered
In the presence of:

Michael Punzak
Robbie Marcus

Wilton 40/60 LLC

By:

Paul R. Marcus
Its: Member of Executive Committee

STATE OF Massachusetts)
COUNTY OF Suffolk)

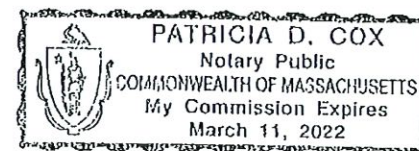
ss.: City of Boston

On this the 27 day of August, 2020, before me, the undersigned officer,
personally appeared Paul R. Marcus, the member of the of Wilton 40/60 LLC,
signer and sealer of the foregoing instrument, who acknowledged the execution of the
same to be his free act and deed as said member of the Executive Committee

[Signature]

Commissioner of the Superior Court
Notary Public

My commission expires: 3-11-2022



Signed, Sealed and Delivered
In the presence of:

Shannon Black

Shannon Black

Wilton – 64 Danbury Road Owner LLC

By:

Peyton McNutt

Peyton McNutt
Its: Authorized Signatory

STATE OF NEW YORK)
COUNTY OF NEW YORK)

ss.: City of New York

On this the 26th day of August, 2020, before me, the undersigned officer, personally appeared Peyton McNutt, the Authorized Signatory of Wilton – 64 Danbury Road Owner LLC, signer and sealer of the foregoing instrument, who acknowledged the execution of the same to be her free act and deed as said Authorized Signatory.



Shannon Black

Commissioner of the Superior Court
Notary Public
My commission expires: October 31, 2020

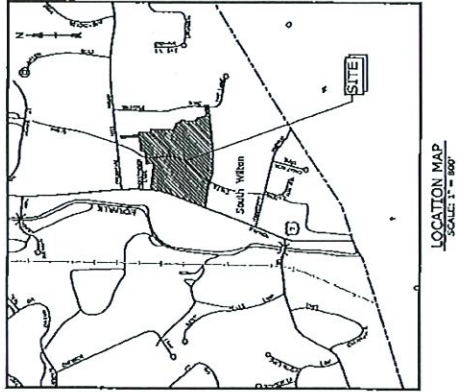
Exhibit A

Drainage Facilities Plans

DIVFifty, LLC
PARKING GARAGE EXPANSION
50-60 DANBURY ROAD, WILTON CT

ZONING PERMIT SUBMISSION
JULY 6, 2020

LIST OF DRAWINGS	
SHEET NO.	TITLE
CS-00	GENERAL NOTES, STANDARD ASSESSMENTS AND LEGEND
CS-01	GENERAL SITE PLAN
CS-02	DETAILED SITE PLAN
CS-03	SITE PLANT DISBURSEMENT
CS-04	SITE DRAINAGE AND UTILITY PLAN
CS-05	CHANGING PLAN
CS-06	SOIL DESIGN AND ZEPHYRUS CONTROL PLAN
CS-07	SOIL DESIGN AND ZEPHYRUS CONTROL DETAILS
CS-08	SOIL DESIGN AND ZEPHYRUS CONTROL DETAILS
CS-09	SOIL DESIGN AND ZEPHYRUS CONTROL DETAILS
CS-10	SOIL DESIGN AND ZEPHYRUS CONTROL DETAILS
CS-11	SOIL DESIGN AND ZEPHYRUS CONTROL DETAILS
CS-12	SOIL DESIGN AND ZEPHYRUS CONTROL DETAILS
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CS-100	SOIL DESIGN AND ZEPHYRUS CONTROL DETAILS



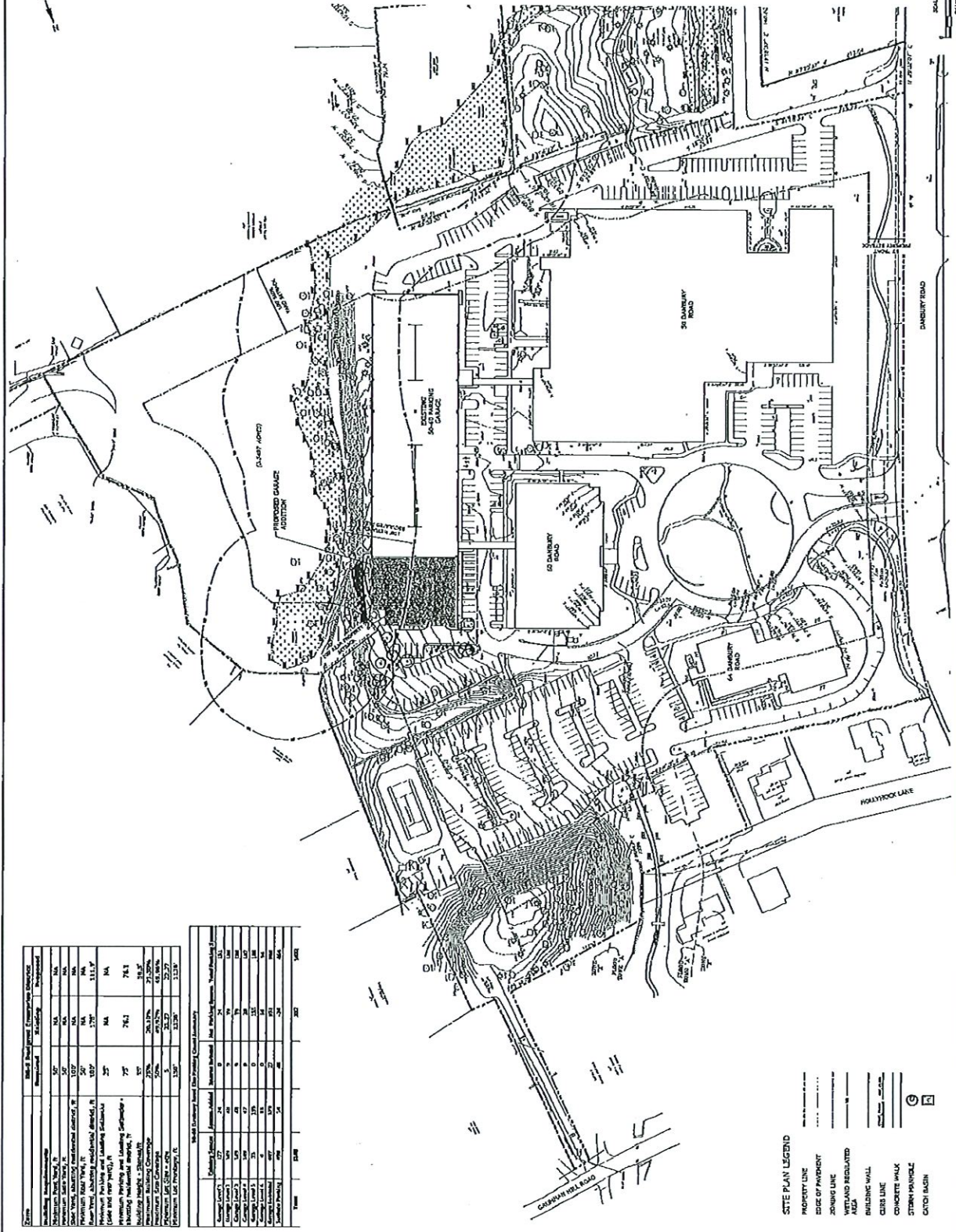
PREPARED BY:
Tighe & Bond
www.tigheandbond.com
1000 Bridgeport Avenue
Bridgeport, CT 06606
Phone: 203.375.1100
Fax: 203.375.1101

PREPARED FOR:
DIVFifty, LLC

ENDORSED BY:
MICHAEL WRINN
DIRECTOR OF PLANNING AND LAND USE MANAGEMENT/TOWN PLANNER

Item	Area	Volume	Weight	Notes
1. Building	1,000	1,000	1,000	
2. Parking	1,000	1,000	1,000	
3. Driveway	1,000	1,000	1,000	
4. Landscaping	1,000	1,000	1,000	
5. Fencing	1,000	1,000	1,000	
6. Stormwater	1,000	1,000	1,000	
7. Utilities	1,000	1,000	1,000	
8. Other	1,000	1,000	1,000	
Total	8,000	8,000	8,000	

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7. Utilities	1,000	1,000	1,000	
8. Other	1,000	1,000	1,000	
Total	8,000	8,000	8,000	



- SITE PLAN LEGEND**
- PROPERTY LINE
 - EDGE OF PARKING
 - SEWER LINE
 - LAND AND REGULATED AREA
 - BUILDING WALL
 - CEILING LINE
 - CONCRETE WALK
 - STORM MAINLINE
 - CATCH BASIN

Time & Bond

1000 Bridgeport Avenue
Suite 210
Shelton, CT 06484
(203) 732-1100

Divinity, LLC
50-60 Parking
Garage
Expansion

Wilton,
Connecticut

VEGETATION SCALE

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OVERALL SITE PLAN

SCALE: 1" = 100'

Tighe & Bond
1000 Washington Avenue
Stamford, CT 06907
(203) 341-1500

DATE: 2/20/2020
DRAWN: J. BOND
PROJECT: 50-60 Garage Expansion

FINAL APPROVAL PLAN
APPROVED TO SECTION 16.01 OF
THE ZONING REGULATIONS, ALL
NOTES, SPECIFICATIONS, AND
PLAN SHALL BE OBSERVED TO
LATER THAN OCTOBER 11, 2022.
SPECIAL NOTE: ALL NOTES
RESOLUTION #137-11

DIVIFIT, LLC
50-60 Garage Expansion
Wilton, Connecticut

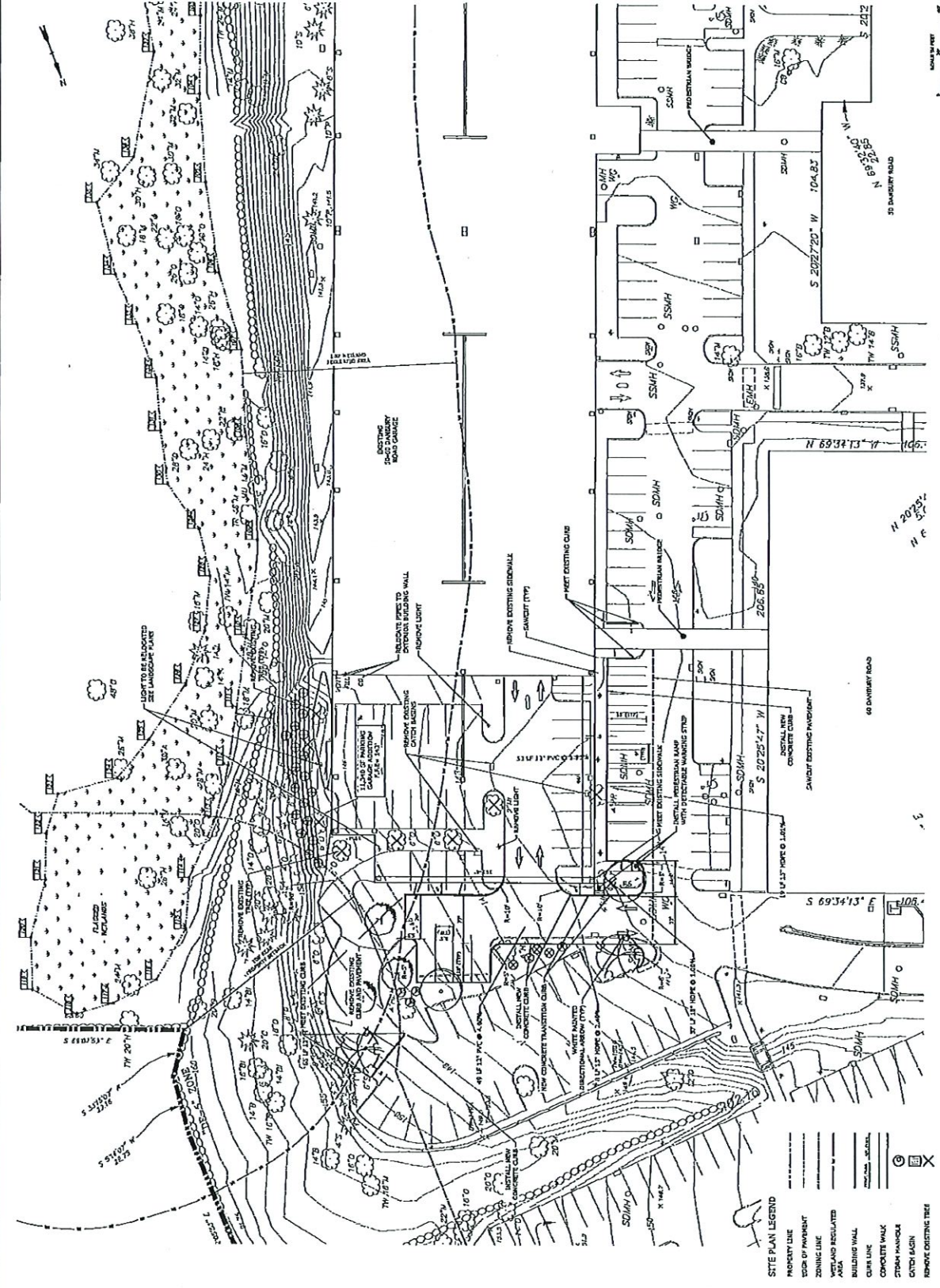
Wilton,
Connecticut

DATE: 2/20/2020
DRAWN: J. BOND
PROJECT: 50-60 Garage Expansion

1	PROPOSED	EXISTING	PROPOSED
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DATE: 2/20/2020
DRAWN: J. BOND
PROJECT: 50-60 Garage Expansion

SCALE: 1" = 20'



SITE PLAN LEGEND
PROPERTY LINE
SIDE OF PAVEMENT
ZONING LINE
WETLAND REGULATORY AREA
BUILDING WALL
CONCRETE WALK
STORM MANHOLE
CATCH BASIN
REMOVE EXISTING TREE

SCALE: 1" = 20'

FINAL PRELIMINARY PLAN
A. ADDITIONAL TO SECTION 16.1.1 OF
THE CONNECTICUT REGULATION FOR
CONNECTIONS WITH THIS SITE
LATE THAN OCTOBER 11, 2021.
B. FOR CONDITIONS OF APPROVAL FOR
REGULATORY PLANS.

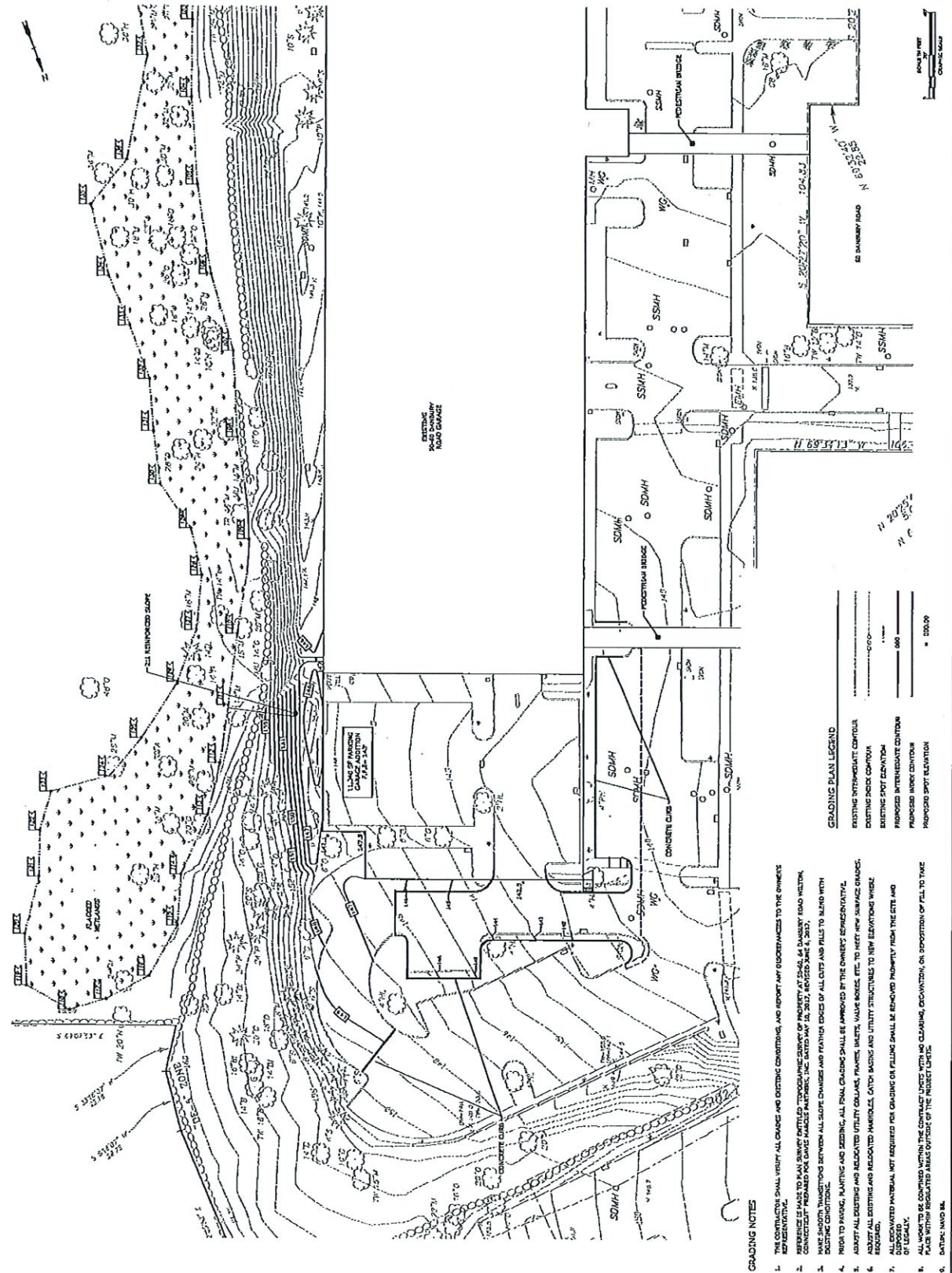
**DIVFifty, LLC
50-60 Parking
Garage
Expansion**

Wilton,
Connecticut

VERTICAL SCALE:
1" = 10'
HORIZONTAL SCALE:
1" = 40'

NO.	DATE	DESCRIPTION
1	10/11/21	PRELIMINARY
2	10/11/21	REVISED
3	10/11/21	REVISED
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10	10/11/21	REVISED

GRADING PLAN
SCALE: 1" = 40'
C3.00



GRADING NOTES

1. THE CONTRACTOR SHALL VERIFY ALL CHANGES AND EXISTING CONDITIONS, AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
2. REFERENCE IS MADE TO PLAN SHEET ENTITLED, "PROPOSED GRADING OF PROPERTY AT 50-60, 54 DUNBURY ROAD, WILTON, CONNECTICUT, FOR THE 50-60 PARKING GARAGE EXPANSION, PREPARED BY TIGHE & BOND, INC. DATED MAY 12, 2017, REVISED DATE 6, 2021.
3. HAVE BEEN REVIEWED AND APPROVED BY THE ENGINEER, TIGHE & BOND, INC. DATED MAY 12, 2017, REVISED DATE 6, 2021.
4. PRIOR TO PROCEEDING WITH THE GRADING, THE CONTRACTOR SHALL BE ADVISED BY THE OWNER'S REPRESENTATIVE, THAT ALL EXISTING AND PROPOSED UTILITY LOCATIONS, MANHOLE, WALKWAYS, ETC., TO MEET THE GRADING REQUIREMENTS, SHALL BE ADJUSTED TO THE PROPOSED GRADING.
5. ADJUST ALL EXISTING AND PROPOSED MANHOLE, LAND BOUNDARY AND UTILITY STRUCTURES TO NEW ELEVATIONS WHERE REQUIRED.
6. ALL EXISTING MATERIAL NOT REQUIRED FOR GRADING OR FILLING SHALL BE REMOVED FROM THE SITE AND PLACED WITHIN REGULATED AREAS OUTSIDE OF THE PROJECT LIMITS.
7. ALL WORK TO BE COMPLETED WITHIN THE CONTRACT LIMITS WITHIN AND CLEANING, DECONTAMINATION, OR DISPOSITION OF FILL TO TAKE PLACE WITHIN REGULATED AREAS OUTSIDE OF THE PROJECT LIMITS.
8. DURING RAINFALL.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- [illegible]

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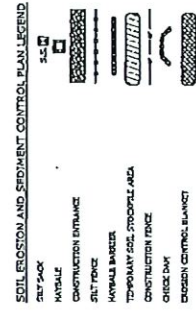
Wilton,
Connecticut

DIVFifty, LLC
50-60 Parking
Garage
Expansion

FINAL APPROVAL PLAN
E. ACCORDING TO SECTION 84.03(7) OF
THE CONNECTICUT GENERAL
STATUTES, AS AMENDED, ALL WORK
STATES, AS AMENDED, ALL WORK
IN CONNECTION WITH THIS SITE
PLAN SHALL BE COMPLETED NO
LATER THAN OCTOBER 13, 2011.

F. FOR CONDITIONS OF APPROVAL FOR
SPECIAL PERMIT #432, CITY

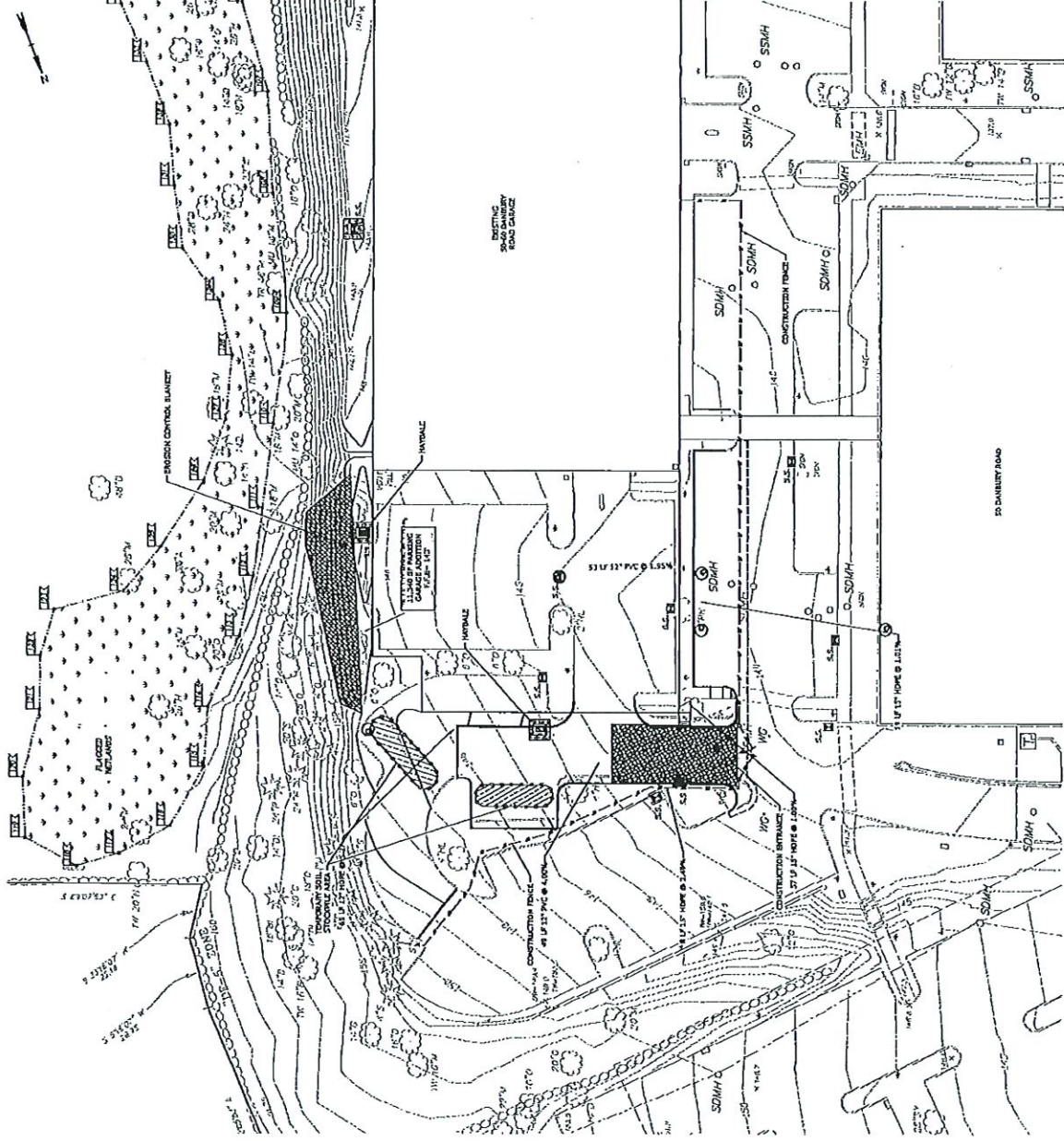
SOIL EROSION AND SEDIMENT CONTROL PLAN LEGEND

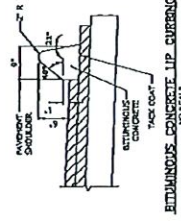


VERIFY SCALE
SAME LOT & MOH OR ORIGINAL DRAWING IF NOT ONE MOH OR THIS SPEC. ADJUST SCALE ACCORDINGLY

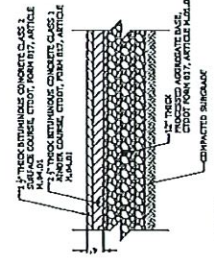
[illegible]SOIL EROSION AND
SEDIMENT CONTROL PLAN

C4.00





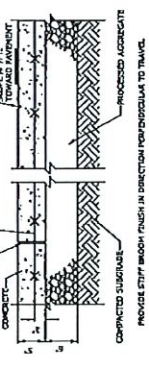
BITUMINOUS CONCRETE LIP CURRENTS



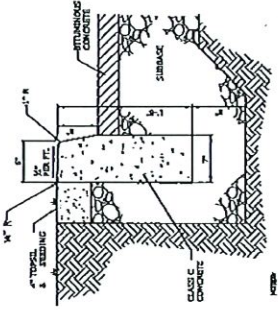
NOTES

1. PROPOSED AGGREGATE DISAGGREGATION SHALL CONFORM WITH CDOT, FORM 817, ARTICLE 150.0-1. CHANGE AGGREGATE SHALL CONFORM WITH CDOT, FORM 817, ARTICLE 150.0-2(a)(10). THE REQUIRED AGGREGATE SHALL BE IDENTICAL TO THE REQUIRED AGGREGATE AGGREGATE, ARTICLE 150.0-2(c) IS NOT APPLICABLE.

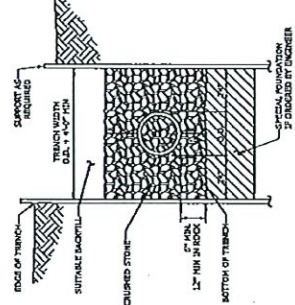
**BITUMINOUS CONCRETE PAVEMENT
STANDARD FOR DRIVE AND ON-SITE PARKING**



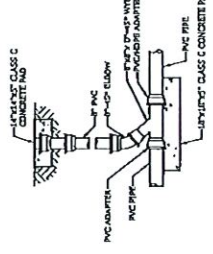
CONCRETE SIDEWALK DETAIL
NO SCALE



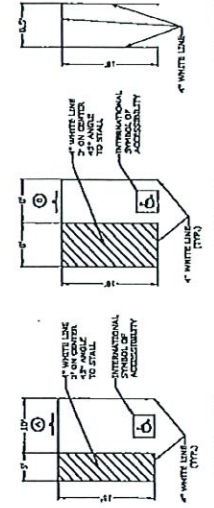
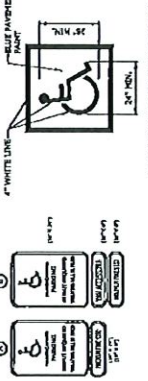
CONCRETE CURB
NO SCALE



TYPICAL SANITARY SEWER TRENCH SECTION
AND SCALE



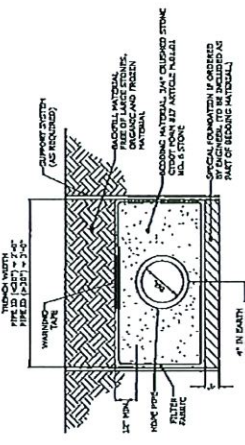
CLEANOUT DETAIL
NO SCALE

VAN ALPHEN P.

ALL INFORMATION ON THIS DOCUMENT IS UNCLASSIFIED

1. SIGN LOCATED AT ALL PARKING/LOAD ZONES
2. 13' X 15' DOT STANDARD ACCESSIBLE PARKING STALL
3. SIGN BACKGROUND - BLUE REFLECTIVE
4. LETTERS, GRAPHICS & BORDER - WHITE REFLECTIVE

STANDARD AND HANDICAPPED SPACE STRIPING DETAIL



DOX HOPE TRENCH BEDDING
NO. 5056

[illegible]Wilton,
Connecticut

DIVFifty, LLC
50-60 Parking
Garage
Expansion

SITE DETAILS - 1

C5.00

Exhibit B

Maintenance and Inspection Plan

50-60 Danbury Road

Wilton, Connecticut

Maintenance and Inspection Plan

July 12, 2017

The initial inspection will be made during an intense rainfall to check the adequacy of the yard drains, catch basins, roof leaders, piping, hydrodynamic separator, infiltration system, system outlet and level spreader.

The following is a checklist of items that will be checked and maintained during scheduled maintenance operations.

Drainage Structures: The Owner will be responsible for cleaning the catch basins, yard drains, manholes, piping, and outlet protection on their property. A Connecticut licensed hauler shall clean the sumps, and legally dispose of removed sand at an off-site location. The road sand may not be reused or stored on-site. As part of the hauling contract, the hauler shall notify the Owner in writing where the material is being disposed.

Each catch basin and yard drain shall be inspected every four months, with one inspection occurring during the month of April. Any debris occurring within one foot from the bottom of each sump shall be removed by Vacuum "Vactor" type of maintenance equipment. Maintain a log of inspections. Remove organic matter, sand and debris from catch basins as necessary and dispose of legally.

Underground Infiltration: The underground infiltration system shall be inspected annually and will be cleaned of all silt, debris and sediment from the inlet structure, outlet structure and the chamber lengths. The outlet control structure will be inspected and cleaned to make sure nothing is clogging the discharge pipe.

Pavement: Paved areas shall be swept periodically by the Owner to clean trash and other debris. The Owner will sweep paved areas on its property in the spring to remove winter accumulations of road sand.

Perform a visual inspection of paved areas four times per year with one inspection after the last snowfall, but no later than April 1. Sweep accumulated sediment and debris from the paved areas. Clean paved areas as necessary during the remainder of the year.

Drainage Structures Inspection

Each catch basin and yard drain shall be inspected every four months, with one inspection occurring during the month of April. Any debris occurring within one foot from the bottom of each sump shall be removed by Vacuum "Vactor" type of maintenance equipment. Maintain a log of inspections. Remove organic matter, sand and debris from catch basins as necessary and dispose of legally.

Date (MM/DD/YY)	Company/Person	Supervising Team Member	Comments

Underground Infiltration

The underground infiltration system shall be inspected annually and will be cleaned of all silt, debris and sediment from the Inlet structure, outlet structure and the chamber lengths. The outlet control structure will be inspected and cleaned to make sure nothing is clogging the discharge pipe.

Date (MM/DD/YY)	Company/Person	Supervising Team Member	Comments

Pavement Inspection

Perform a visual inspection of paved areas four times per year with one inspection after the last snowfall, but no later than April 1. Sweep accumulated sediment and debris from the paved areas. Clean paved areas as necessary during the remainder of the year.

Date (MM/DD/YY)	Company/Person	Supervising Team Member	Comments

Gloria A. Sabatini