

PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE & SEAL.

LEGEND: -

APPROX. APPROXIMATE
BOT. BOTTOM OF CURB
B.W. BOTTOM OF WALL
CB. CATCH BASIN
EL. ELEVATION
F.L. FLOW LINE
PR. PROPOSED
LOC. LOCATION
T.B.R. TO BE REMOVED
T.C. TOP OF CURB
T.W. TOP OF WALL
TYP. TYPICAL
EX. EXISTING

90 EXISTING CONTOUR LINE
x 90.5 EXISTING SPOT ELEVATION
90 PROPOSED CONTOUR LINE
x 90.5 PROPOSED SPOT ELEVATION

○ TREE
— XX — SEDIMENT BARRIER
— CF — CONSTRUCTION FENCE
— RL — ROOF LEADER
— FD — FOOTING DRAIN
○ INFILTRATION TEST HOLE
○ DTH-Y DEEP TEST HOLE

SURVEYOR'S NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a General Location & Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2, Vertical Accuracy Class V-2 and Topographic Accuracy Class T-2 and it is intended for use in municipal planning and review purposes.
- Area of parcel = 250,779 s.f. = 5.757 acres
- Reference is made to Maps 515, 4510 and 5597 of the Wilton Land Records.
- Reference is made to Warranty Deed recorded in V. 2528, Pg. 1076 of the Wilton Land Records.
- Reference is made to Tax Assessor's Parcel 3, Map 3.
- Property Located in R-2A Residence Zone.
- Property located in Flood Zone X as depicted on Flood Insurance Rate Maps prepared by the Federal Emergency Management Agency. Reference is made to Community Panel No. 090020 384 F, dated June 18, 2010.
- Elevation Datum - assumed system.
- All monumentation, found or set, depicted hereon.

THE PURPOSE OF THIS PLAN IS TO ASSIST THE HOMEOWNERS OBTAIN APPROVAL FROM THE TOWN OF WILTON. IT IS NOT A SURVEY, NOR IS IT TO BE USED FOR ANY OTHER PURPOSE. FRANGIONE ENGINEERING, LLC TAKES NO RESPONSIBILITY IF THIS DRAWING IS USED FOR ANY PURPOSE OTHER THAN THAT WHICH WAS INTENDED.

ORIGINAL TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY RYAN & FAULDS LAND SURVEYORS ENTITLED "TOPOGRAPHIC SURVEY PREPARED FOR BRIAN M. & JENNIFER A. ANGERAME", DATED APRIL 26, 2021. SURVEYOR'S NOTES SHOWN HEREON TAKEN FROM SAID SURVEY. FRANGIONE ENGINEERING, LLC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE ORIGINAL TOPOGRAPHIC INFORMATION.

UTILITY NOTE:

Underground utilities, facilities and structures have been plotted from surface indications and record sources. The locations of all underground utilities are approximate only. Additionally, there may be other underground utilities the existence of which is presently unknown. Any party utilizing the utility information and data depicted on this survey shall call "CALL BEFORE YOU DIG" at 800-922-4455 a minimum of forty eight (48) hours prior to any construction activities to verify the location of underground utilities.

DRAINAGE NOTES:

- EX. DRAINAGE PATTERNS SHALL BE MAINTAINED AT ALL TIMES.
- POSITIVE DRAINAGE AWAY FROM HOUSE SHALL BE MAINTAINED AT ALL TIMES.
- ALL AREAS THAT ARE USED BY CONSTRUCTION EQUIPMENT AND USED FOR CONTRACTOR PARKING MUST HAVE SOIL TILLED 12" TO 16" AND AMENDED WITH SMALL AMOUNTS OF ORGANIC MATERIAL IF NEEDED.
- ALL PR. DRAIN PIPES SHALL BE 8" SDR-35 PVC ASTM D3034 UNLESS OTHERWISE NOTED.
- ALL PR. DRAIN PIPES SHALL BE PLACED A MINIMUM OF 5' FROM ANY PART OF THE PR. SEPTIC SYSTEM.

TOTAL AREA = 5.757 ACRES
(250,779 SQ. FT.)
ZONE IS "R-2A" RESIDENCE ZONE

SCALE: 1" = 20'

NOTE: PER HEALTH DEPARTMENT RECORDS, WELL ON GITES PROPERTY IS MORE THAN 75' FROM PROPOSED SEPTIC SYSTEM AND SEPTIC SYSTEM ON GITES PROPERTY IS MORE THAN 50' FROM PROPERTY LINE

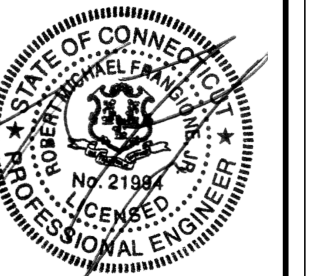
DANIEL GITES AND SUSAN REGAN GITES
PR. 1500 GALLON SEPTIC TANK
H-20 LOADED WITH OUTLET FILTER
F.L. IN: 124.0 F.L. OUT: 123.75

RICHARD A. PINTO AND LYNN R. PINTO

200' SQUARE (TYP.)

(24) PR. CULTEC RECHARGER
280HD UNITS BOT. STONE EL. 102.4
BOT. UNITS EL. 102.9
TOP UNITS EL. 105.4
WITH (4) INSPECTION PORTS (TYP.)

STEPHEN B. CASE AND KELLY M. CASE



No.	DATE	DESCRIPTION	DWG
REVISIONS			
PROJECT			
PROPOSED SITE PLAN FOR BRIAN & JENNIFER ANGERAME			
30 STURGES RIDGE ROAD WILTON CONNECTICUT			
DRAWING NAME			
OVERALL SITE PLAN			
SCALE	1" = 20'	MUNICIPALITY	WILTON
DATE	AUGUST 23, 2021	SHEET	1 OF 4
DRAWN	R.M.F.	ASSESSOR'S MAP	3
FILE NAME:		LOT 3	
S1			
FRANGIONE ENGINEERING, LLC CIVIL ENGINEERING STRUCTURAL ENGINEERING LAND DEVELOPMENT 15 SNOWBERRY LANE NEW CANAAN, CT 06840 (203) 554-9551 (PHONE) (203) 966-6957 (FAX)			

LEGEND: -

APPROX. APPROXIMATE
B.C. BOTTOM OF CURB
BOT. BOTTOM
B.W. BOTTOM OF WALL
CB CATCH BASIN
EL. ELEVATION
F.L. FLOW LINE
PR. PROPOSED
LOC. LOCATION
T.B.R. TO BE REMOVED
T.C. TOP OF CURB
T.W. TOP OF WALL
TYP. TYPICAL

90 EXISTING CONTOUR LINE
x 90.5 EXISTING SPOT ELEVATION
90 PROPOSED CONTOUR LINE
x 90.5 PROPOSED SPOT ELEVATION

○ TREE
⊗ TREE T.B.R.
— XX — SEDIMENT BARRIER
— CF — CONSTRUCTION FENCE
— RL — ROOF LEADER
— FD — FOOTING DRAIN
○ INFILTRATION TEST HOLE
DTH-Y DEEP TEST HOLE

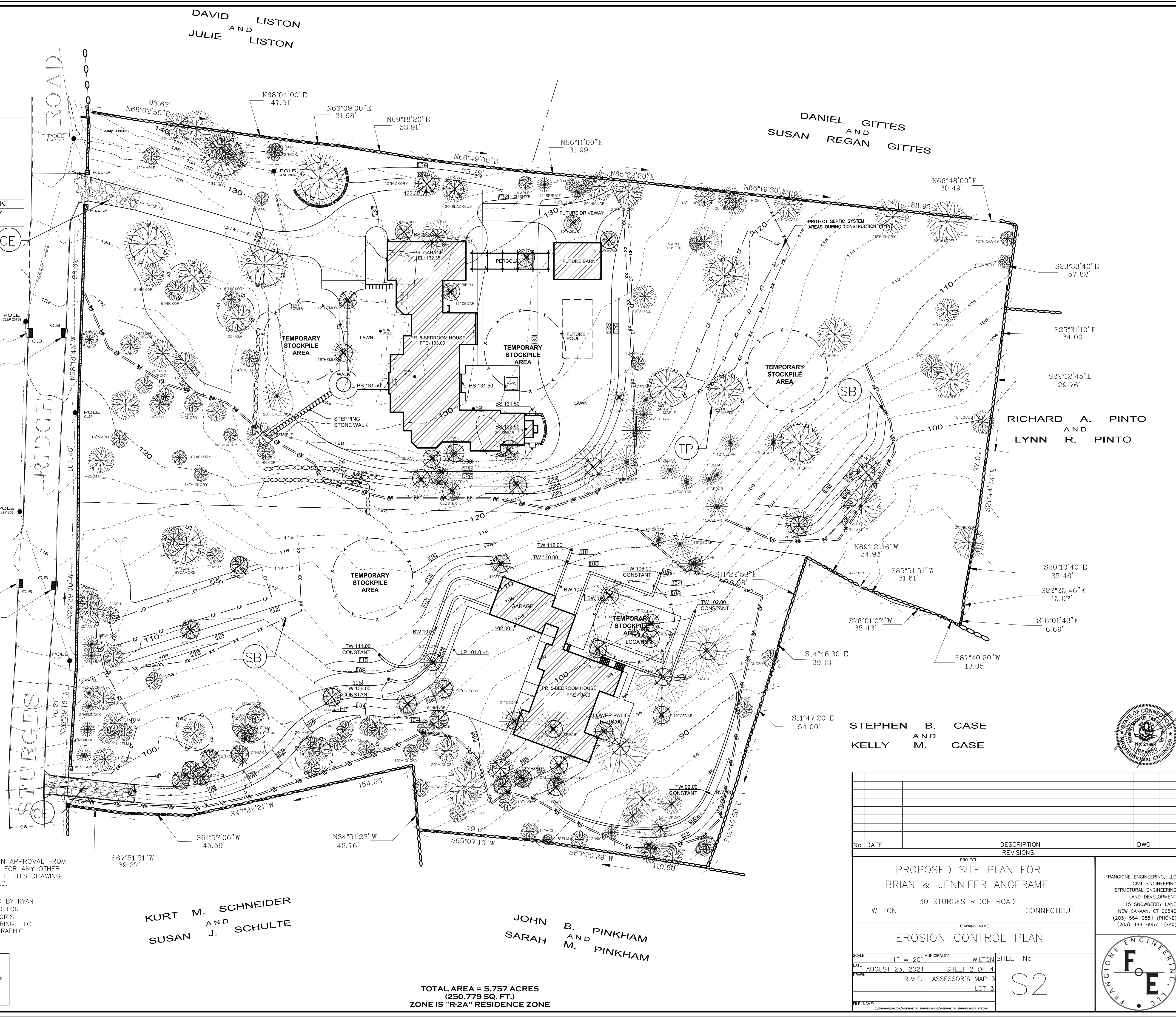
SURVEYOR'S NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a General Location & Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2, Vertical Accuracy Class V-2 and Topographic Accuracy Class T-2 and it is intended for use in municipal planning and review purposes.
- Area of parcel = 250,779 s.f. = 5.757 acres
- Reference is made to Maps 515, 4510 and 5597 of the Wilton Land Records.
- Reference is made to Warranty Deed recorded in V. 2528, Pg. 1076 of the Wilton Land Records.
- Reference is made to Tax Assessor's Parcel 3, Map 3.
- Property Located in R-2A Residence Zone.
- Property located in Flood Zone X as depicted on Flood Insurance Rate Maps prepared by the Federal Emergency Management Agency. Reference is made to Community Panel No. 090020 384 F, dated June 18, 2010.
- Elevation Datum - assumed system.
- All monumentation, found or set, depicted hereon.

THE PURPOSE OF THIS PLAN IS TO ASSIST THE HOMEOWNERS OBTAIN APPROVAL FROM THE TOWN OF WILTON. IT IS NOT A SURVEY, NOR IS IT TO BE USED FOR ANY OTHER PURPOSE. FRANGIONE ENGINEERING, LLC TAKES NO RESPONSIBILITY IF THIS DRAWING IS USED FOR ANY PURPOSE OTHER THAN THAT WHICH WAS INTENDED.

ORIGINAL TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY RYAN & FAULDS LAND SURVEYORS ENTITLED "TOPOGRAPHIC SURVEY PREPARED FOR BRIAN M. & JENNIFER A. ANGERAME", DATED APRIL 26, 2021. SURVEYOR'S NOTES SHOWN HEREON TAKEN FROM SAID SURVEY. FRANGIONE ENGINEERING, LLC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE ORIGINAL TOPOGRAPHIC INFORMATION.

UTILITY NOTE:
Underground utilities, facilities and structures have been plotted from surface indications and record sources. The locations of all underground utilities are approximate only. Additionally, there may be other underground utilities the existence of which is presently unknown. Any party utilizing the utility information and data depicted on this survey shall call "CALL BEFORE YOU DIG" at 800-922-4455 a minimum of forty eight (48) hours prior to any construction activities to verify the location of underground utilities.



STEPHEN B. CASE
AND
KELLY M. CASE



No.	DATE	DESCRIPTION	DWG.
REVISIONS			
PROJECT			
PROPOSED SITE PLAN FOR			
BRIAN & JENNIFER ANGERAME			
30 STURGES RIDGE ROAD			
WILTON CONNECTICUT			
DRAWING NAME			
EROSION CONTROL PLAN			
SCALE 1" = 20'			
DATE AUGUST 23, 2021			
DRAWN R.M.F.			
SHEET 2 OF 4			
ASSESSOR'S MAP 3			
LOT 3			
FILE NAME:			
S2			
FRANGIONE ENGINEERING, LLC CIVIL ENGINEERING STRUCTURAL ENGINEERING LAND DEVELOPMENT 15 SNOWBERRY LANE NEW CANAAN, CT 06840 (203) 554-9551 (PHONE) (203) 966-6957 (FAX)			

TOTAL AREA = 5.757 ACRES
(250,779 SQ. FT.)
ZONE IS "R-2A" RESIDENCE ZONE

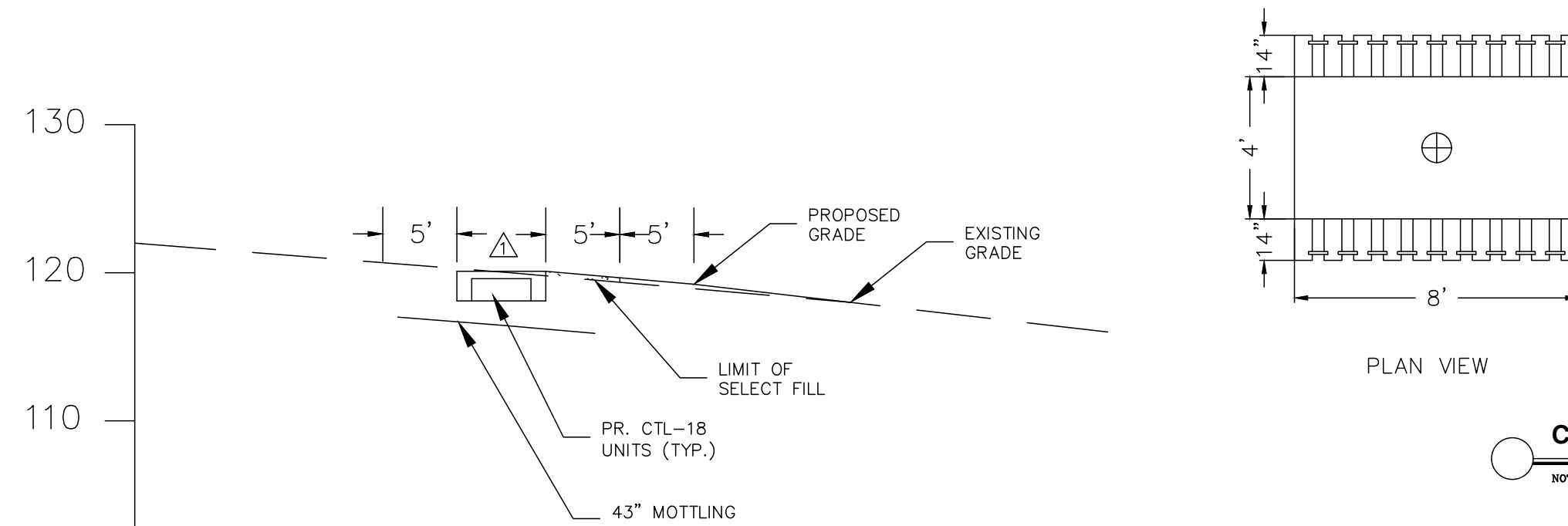
SCALE: 1" = 20'

PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE & SEAL.

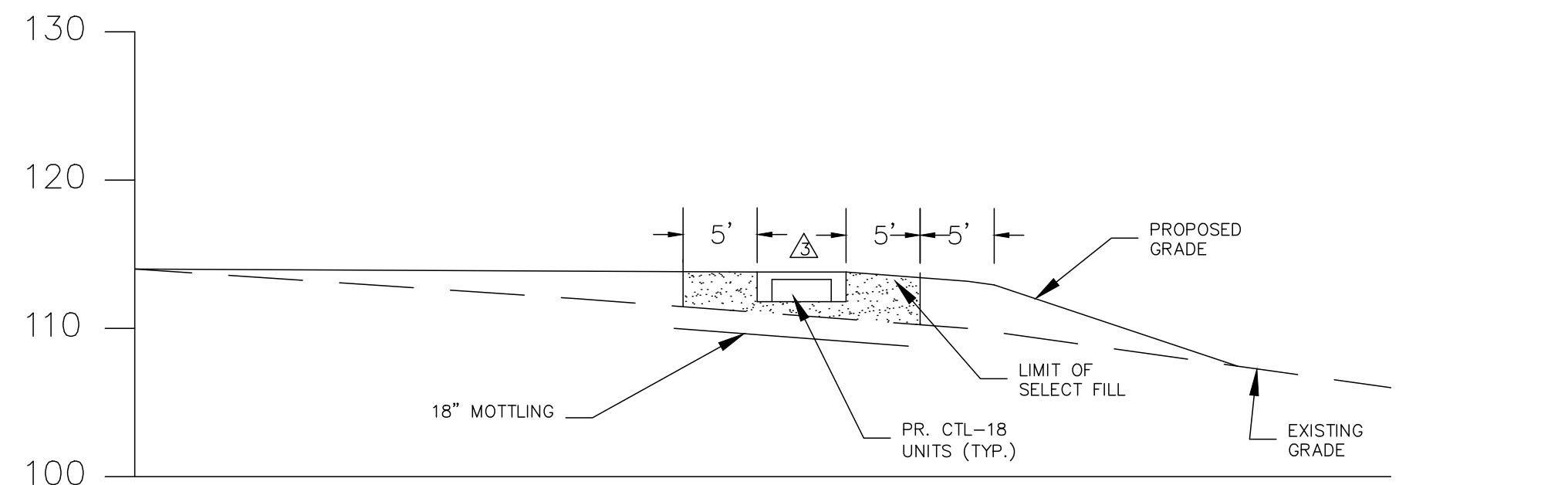
Soil Data	DEEP TEST PERCOLATION TEST	Hole #	Sanitarian, Jennifer Zbell															2/10/2009
			1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	
Soil Type																		
TOPSOIL																		
BROWN SILTY LOAM																		
RED BROWN SILTY LOAM																		
LIGHT BROWN SILTY LOAM																		
GRAY BROWN FINE SAND W/ INTERLOCKING STONES																		
TAN MED. SAND W. STONES																		
MOD. COMP. OLIVE BROWN MED. SAND & STONES																		
LOOSE SAND W. FRACTURED ROCK																		
MOD. COMP. OLIVE BROWN SAND & GRAVEL																		
BROWN SILTY LOAM																		
RED BROWN SILTY LOAM																		
MOD. COMP. TAN GRAY COARSE SAND W. GRAVEL																		
GRAY HARDPAN																		
TAN GRAY FINE SANDY LOAM																		
GRAY MOTTLED HARDPAN																		
COMPACT GRAY SAND & GRAVEL																		
GRAY BROWN FINE SANDY HARDPAN																		
GRAY BROWN MOD. COMP. STONY FINE SAND																		
GRAY BROWN MOTTLED SILTY LOAM																		
GRAY COMPACT FINE SAND & STONES																		
RESTRICTIVE LAYER																		
MOTTLES																		
LAGG																		
LEDGE																		
ROOTS																		
PERCOLATION RATE																		
18 STURGES RIDGE RD.																		

NOTE: SOIL DATA AND TEST HOLE LOCATIONS OBTAINED FROM PLANS ON FILE WITH WILTON HEALTH DEPARTMENT.

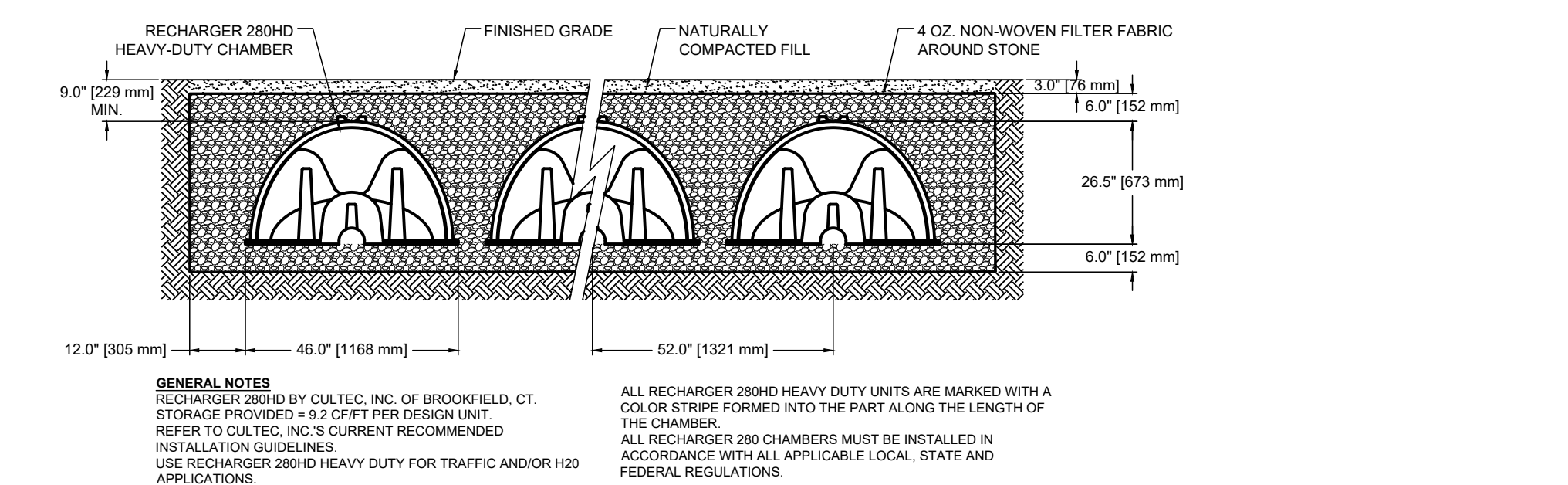
Soil Data	DEEP TEST PERCOLATION TEST	Hole #	Sanitarian, Jennifer Zbell															3/10/2008
			1A	2A	3A	4A	5A	6A	7A	8A	9A	10A	11A	12A	13A	14A	15A	
Soil Type																		
TOPSOIL																		
BROWN SILTY SANDY LOAM																		
TAN MED. SAND W. STONES																		
MOD. COMP. OLIVE BROWN MED. SAND & STONES																		
LOOSE SAND W. FRACTURED ROCK																		
MOD. COMP. OLIVE BROWN SAND & GRAVEL																		
BROWN SILTY LOAM																		
RED BROWN SILTY LOAM																		
MOD. COMP. TAN GRAY COARSE SAND W. GRAVEL																		
GRAY HARDPAN																		
TAN GRAY FINE SANDY LOAM																		
GRAY MOTTLED HARDPAN																		
COMPACT GRAY SAND & GRAVEL																		
GRAY BROWN FINE SANDY HARDPAN																		
GRAY BROWN MOD. COMP. STONY FINE SAND																		
GRAY BROWN MOTTLED SILTY LOAM																		
GRAY COMPACT FINE SAND & STONES																		
RESTRICTIVE LAYER																		
MOTTLES																		
LAGG																		
LEDGE																		
ROOTS																		
PERCOLATION RATE																		
18 STURGES RIDGE RD. (FORMER VACANT LOT)																		



SECTION A-A
SCALE: 1" = 10'



SECTION B-B
SCALE: 1" = 10'



CULTEC RECHARGER 280 - H-10 LOADING

Soil Data	DEEP TEST PERCOLATION TEST		Sanitarian: Jennifer Zbell										8/17/2022
		Hole #	100	101	102	103	104	105	106				
Soil Type			-	-	-	-	-	-	-	-	-		
TOPSOIL			0 - 10"	0 - 10"	0 - 8"	0 - 8"	0 - 12"	0 - 12"	9" - 16"				
ORANGE BROWN V. FINE SILTY LOAM			10" - 30"	10" - 30"	-	-	-	-	-				
MOD. COMP. TAN SILTY SAND & GRAVEL			30" - 72"	28" - 72"	-	-	-	-	-				
ORANGE BROWN V. FINE SANDY LOAM			-	8" - 20"	8" - 18"	12" - 25"	12" - 26"	16" - 27"	27" - 42"				
GRAY BROWN MOTTLED SANDY SILT			-	20" - 60"	18" - 64"	25" - 56"	26" - 64"	-	-				
FILL			-	-	-	-	-	-	0 - 9"				
RESTRICTIVE LAYER			-	-	20"	18"	25"	26"	27 - 9" 18"				
MOTTLES			-	-	20"	18"	25"	26"	28"				
LAGG			-	-	-	-	-	-	-				
LEDGE			-	-	-	-	-	-	-				
ROOTS			-	48"	20"	32"	30"	30"	27"				
PERCOLATION RATE			100										
18 & 30 STURGES RIDGE RD.			1" n 20 min										

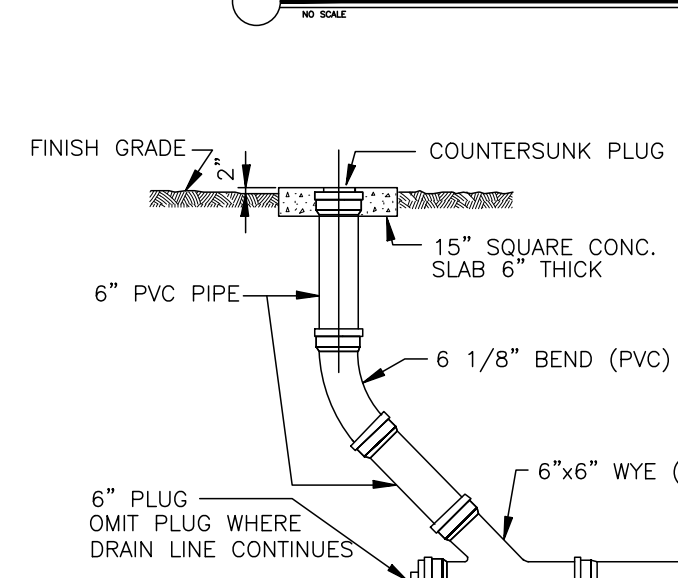
Frangione Engineering LLC
15 Snowberry Lane
New Canaan, Connecticut 06840

DESIGN DATA SHEET - SEPARATE SEWAGE DISPOSAL

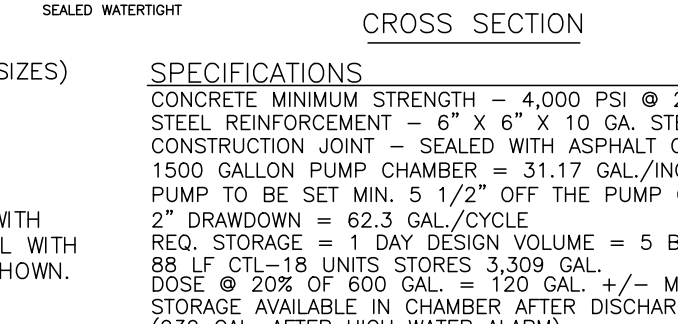
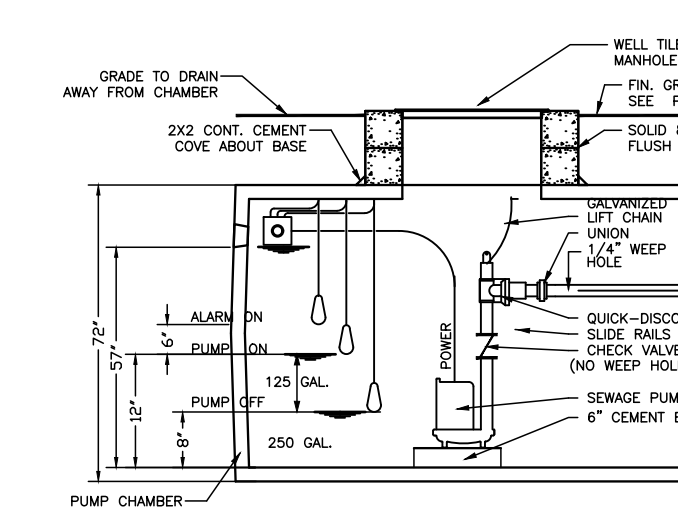
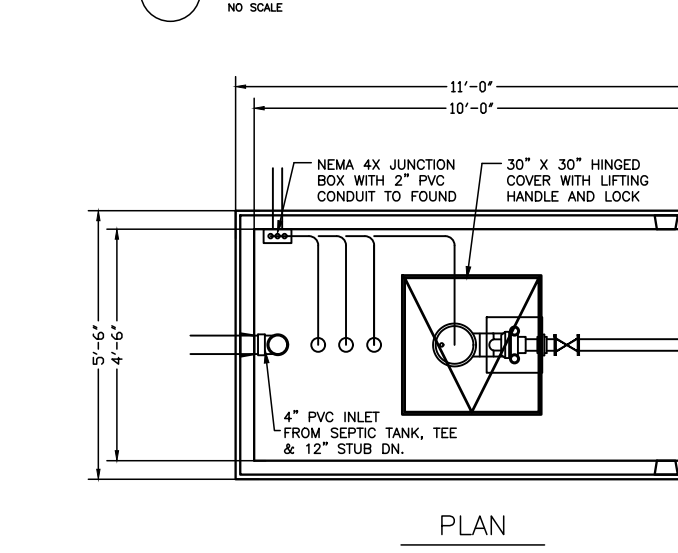
Property Location: 30 Sturges Ridge	
Municipality: Town of Wilton	Pre-Soak Time: 1 hour
Sanitarian: Jennifer Zbell	Date: 8/17/21

Hole Number	Clock Time		Elapsed Time	Percolation Depth to Water from Ground Surface		Percolation Water Level	
	Start	Stop		Start (Inches)	Stop (Inches)	Drop (Inches)	Soil Rate
Hole 100	11:01	11:11	10	18	19	1	
	11:11	11:21	10	19	19 7/8	7/8	
	11:21	11:31	10	19 7/8	20 5/8	3/4	
	11:31	11:41	10	20 5/8	21 3/8	3/4	
	11:41	11:51	10	21 3/8	21 7/8	1/2	
	11:51	12:01	10	21 7/8	22 3/8	1/2	1" in 20 min

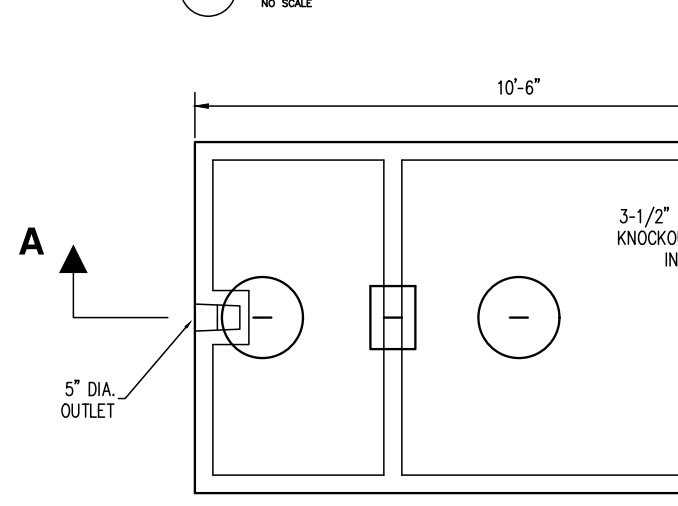
BAFFLED DISTRIBUTION BOX



CLEANOUT



1500 GALLON PUMP CHAMBER



1500 GALLON SEPTIC TANK

GENERAL CONSTRUCTION NOTES - LOT 1

1. DESIGN DATA:
POPULATION: 5-BEDROOM RESIDENCE
DESIGN PERC RATE: 1" IN 10-20 MIN
REQUIRED EFFECTIVE LEACHING AREA: 675 ± 2112.51 ± 900 S.F.
PROPOSED CUR-TECH CTL-18 UNITS: 2 ROWS @ 44 LONG EACH
PROPOSED EFFECTIVE LEACHING AREA = 444 ± 88 L.F. (88) (107) = 941 S.F.
MLSS CALCULATIONS:
DEPTH TO RESTRICTIVE LAYER: RL = (R1 + R2) / 2 (BASED ON TEST HOLES 102, 101, 101)
R1 = (R2 + 103) / 2 = 107.5
R2 = (R2 + 103) / 2 = 107.5
RL = (107.5 + 103) / 2 = 105.25
MLSS = 105.25 / 2 = 52.625
MLSS = 52.625
FLOW FACTOR (FF) = 1.75 (0.25) = 2.0
PERCOLATION FACTOR (PF) = 1.25
REQUIRED MLSS = FF x FF x PF = 18 X 2.0 X 1.25 = 45 LF
PROPOSED LEACHING SYSTEM SPREAD = 44 ± 44 ± 88 LF
PROPOSED 1,500 GALLON SEPTIC TANK
REQUIRED TANK CAPACITY FOR 5-BEDROOM HOUSE = 1,000 ± 2125 ± 1,250 GALLONS.

2. PRIOR TO CONSTRUCTION OF THE SEPTIC SYSTEM, THE CONTRACTOR SHALL ENLIST THE SERVICES OF A CALL BEFORE YOU DIG® (800) 822-4489 IN ORDER TO LOCATE ANY UNDERGROUND UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL CONTACT THE CERTIFYING ENGINEER AND THE WILTON HEALTH DEPARTMENT AT LEAST 24 HOURS PRIOR TO CONSTRUCTION. IF NOT, THE SYSTEM WILL NOT BE CERTIFIED.

3. STRIP AND REMOVE THE TOPSOIL PRIOR TO PLACEMENT OF THE SELECT FILL.

4. ALL SELECT FILL MATERIAL MUST MEET THE REQUIREMENTS SPECIFIED IN SECTION VIA OF THE STATE OF CONNECTICUT PUBLIC HEALTH CODE. TECHNICAL STANDARDS A SEIVE ANALYSIS MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO THE INSTALLATION. SELECT FILL SHALL MEET THE FOLLOWING MINIMUM GRADATION CRITERIA.

SIEVE SIZE	PERCENT PASSING	WET SIEVE	DRY SIEVE
#4	100	100	100
#10	100	100	100
#20	100	100	100
#40	100	100	100
#60	100	100	100
#100	100	100	100
#200	100	100	100

5. FILL SHALL BE PLACED ON THE PERIMETER OF THE TRENCH AREA AND SPREAD WITH A SMALL CRAWLER, TRACTOR OR OTHER APPROVED MACHINERY. PLACEMENT OF SELECT FILL AND OTHER RELATED WORK NECESSARY FOR THE CONSTRUCTION OF THE SEPTIC SYSTEM SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT ADVERSELY COMPACT THE ORIGINAL SUBGRADE.

6. CONTRACTOR SHALL CONTACT THE CERTIFYING ENGINEER AND THE HEALTH DEPARTMENT AT LEAST 24 HOURS PRIOR TO CONSTRUCTION. IF NOT, THE SYSTEM WILL NOT BE CERTIFIED.

7. ALL SURFACE WATER SHALL BE CHANNLED AWAY FROM THE SEPTIC SYSTEM AREA.

8. A CONNECTICUT LICENSED PROFESSIONAL ENGINEER, ACCEPTABLE TO THE DIRECTOR OF HEALTH, SHALL INSPECT CONSTRUCTION TO INSURE COMPLIANCE WITH THE PROPOSED PLAN.

9. AN "AS BUILT" RECORD PLAN, CERTIFIED BY A PROFESSIONAL ENGINEER, SHALL BE SUBMITTED TO THE DEPARTMENT OF HEALTH BEFORE A PERMIT TO USE IS ISSUED.

10. THE AREA SURROUNDING THE SUBJECT SITE IS COMPOSED OF SINGLE FAMILY RESIDENTIAL CONSTRUCTION, SERVED BY PRIVATE WELLS AND INDIVIDUAL SEPTIC SYSTEMS. NO WELL OR ANY LOT ADJACENT TO THE SUBJECT PROPERTY IS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.

11. NO IRRIGATION SYSTEM SHALL BE INSTALLED WITHIN TEN (10) FEET OF THE SEPTIC SYSTEM.

12. NO FOOTING DRAINS OR OTHER GROUNDWATER INTERCEPTING DRAINS SHALL BE INSTALLED WITHIN 25' OF PROPOSED SEPTIC SYSTEM OR WITHIN 50 FEET OF THE SEPTIC SYSTEM IF DRAIN IS DOWN GRADIENT.

13. THIS SYSTEM IS NOT DESIGNED FOR BACKWASH FROM A WATER SOFTENING SYSTEM OR THE OUTFLOW FROM A GARAGE DISPOSAL OR TUB (BATHTUB, WHIRLPOOL, JACUZZI, ETC.) IN EXCESS OF 100 GALLONS.

14. AN ILLINOIS PERMIT MAY BE REQUIRED FOR THIS PROPERTY.

GENERAL CONSTRUCTION NOTES - LOT 2

1. DESIGN DATA:
POPULATION: 5-BEDROOM RESIDENCE
DESIGN PERC RATE: 1" IN 10-20 MIN
REQUIRED EFFECTIVE LEACHING AREA: 675 ± 2112.51 ± 900 S.F.
PROPOSED CUR-TECH CTL-18 UNITS: 2 ROWS @ 44 LONG EACH
PROPOSED EFFECTIVE LEACHING AREA = 444 ± 88 L.F. (88) (107) = 941 S.F.
MLSS CALCULATIONS:
DEPTH TO RESTRICTIVE LAYER: RL = (R1 + R2) / 2 (BASED ON TEST HOLES 102, 105)
R1 = (R2 + 103) / 2 = 107.5
R2 = (R2 + 103) / 2 = 107.5
RL = (107.5 + 103) / 2 = 105.25
MLSS = 105.25 / 2 = 52.625
MLSS = 52.625
FLOW FACTOR (FF) = 1.75 (0.25) = 2.0
PERCOLATION FACTOR (PF) = 1.25
REQUIRED MLSS = FF x FF x PF = 18 X 2.0 X 1.25 = 45 LF
PROPOSED LEACHING SYSTEM SPREAD = 44 ± 44 ± 88 LF
PROPOSED 1,500 GALLON SEPTIC TANK
REQUIRED TANK CAPACITY FOR 5-BEDROOM HOUSE = 1,000 ± 2125 ± 1,250 GALLONS.

2. PRIOR TO CONSTRUCTION OF THE SEPTIC SYSTEM, THE CONTRACTOR SHALL ENLIST THE SERVICES OF A CALL BEFORE YOU DIG® (800) 822-4489 IN ORDER TO LOCATE ANY UNDERGROUND UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL CONTACT THE CERTIFYING ENGINEER AND THE WILTON HEALTH DEPARTMENT AT LEAST 24 HOURS PRIOR TO CONSTRUCTION. IF NOT, THE SYSTEM WILL NOT BE CERTIFIED.

3. STRIP AND REMOVE THE TOPSOIL PRIOR TO PLACEMENT OF THE SELECT FILL.

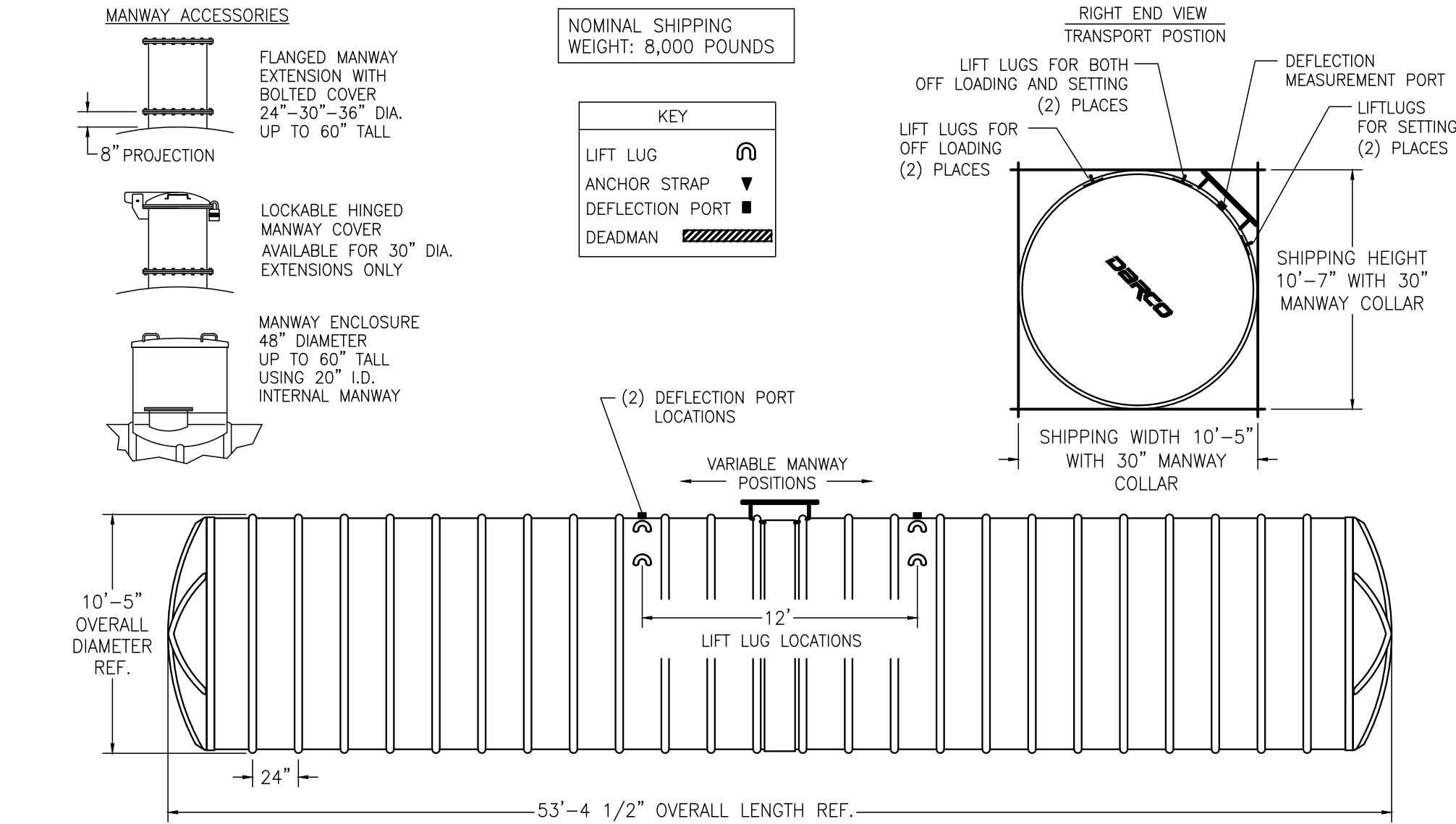
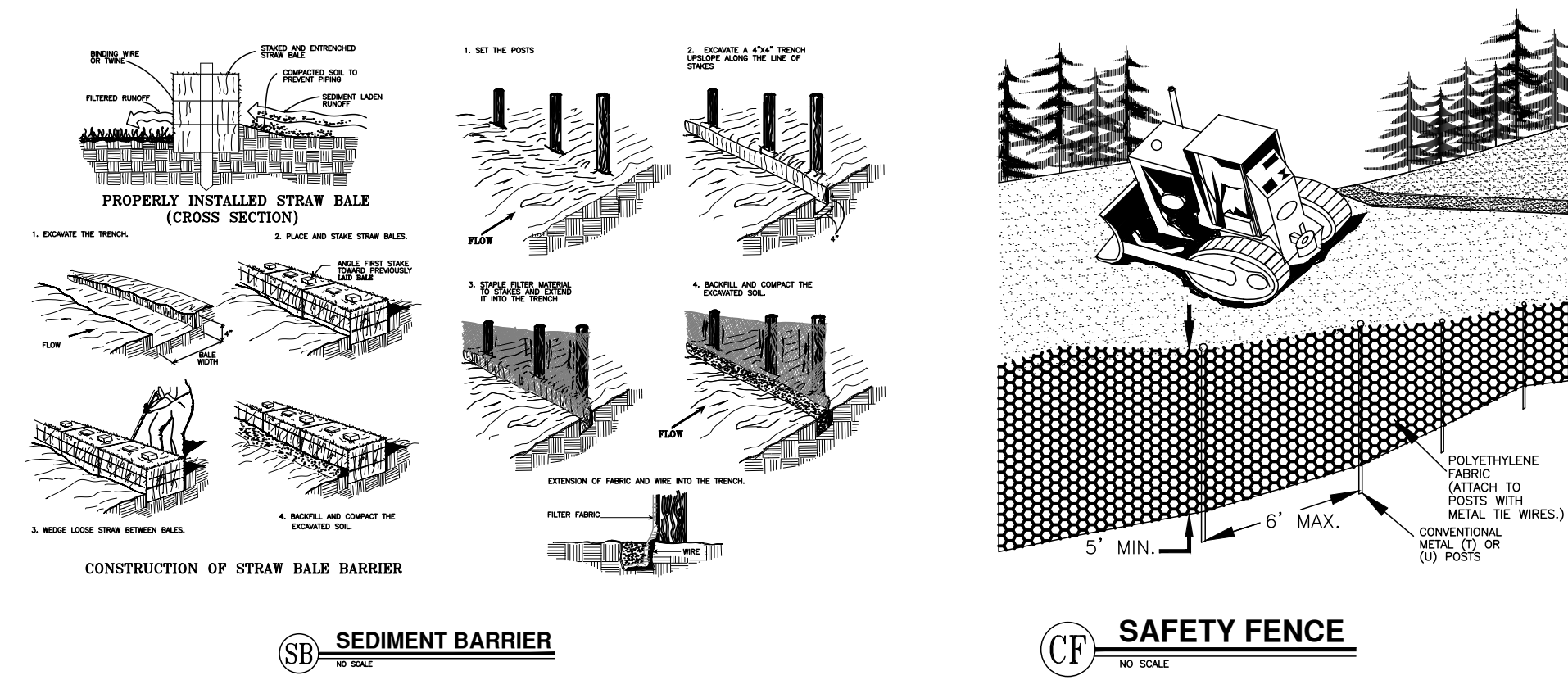
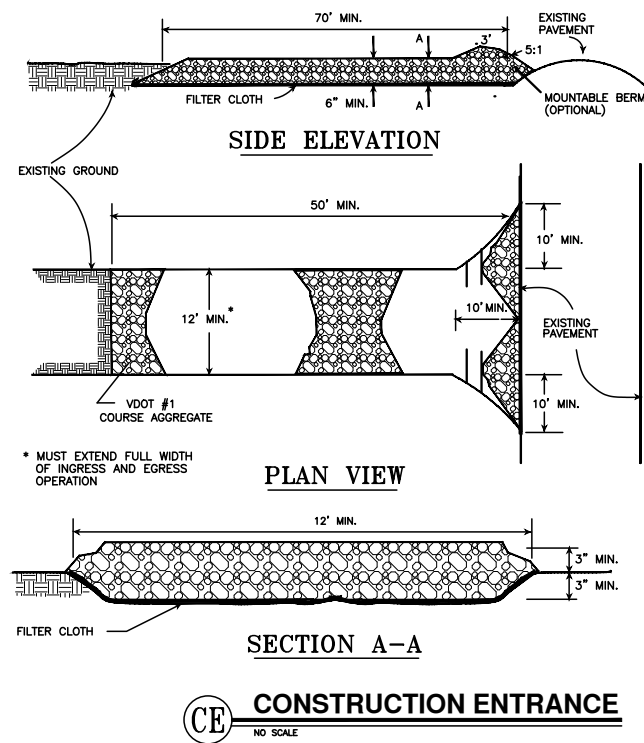
4. ALL SELECT FILL MATERIAL MUST MEET THE REQUIREMENTS SPECIFIED IN SECTION VIA OF THE STATE OF CONNECTICUT PUBLIC HEALTH CODE. TECHNICAL STANDARDS A SEIVE ANALYSIS MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO THE INSTALLATION. SELECT FILL SHALL MEET THE FOLLOWING MINIMUM GRADATION CRITERIA.

8. A "CONNECTED" LOT DENSED PROFESSIONAL ENGINEER ACCEPTABLE TO THE DIRECTOR OF HEALTH SHALL INSPECT CONSTRUCTION TO INSURE COMPLIANCE WITH THE PROPOSED PLAN.

9. AN "AS BUILT" RECORD PLAN, CERTIFIED BY A PROFESSIONAL ENGINEER, SHALL BE SUBMITTED TO THE DEPARTMENT OF HEALTH BEFORE A "PERMIT TO USE" IS ISSUED.

10. THE AREA SURROUNDING THE SUBJECT SITE IS COMPOSED OF SINGLE FAMILY RESIDENTIAL CONSTRUCTION, SERVED BY PRIVATE WELLS AND INDIVIDUAL SEPTIC SYSTEMS. NO WELL ON ANY LOT ADJACENT TO THE SUBJECT PROPERTY IS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.

11 NO IRRIGATION SYSTEM SHALL BE INSTALLED WITHIN TEN (10) FEET OF THE SEPTIC



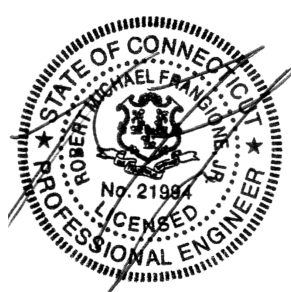
WARNING
MINIMUM SOIL DEPTH ABOVE TANK WHEN USING DEADMAN ANCHORS IS 2 FEET.
NOTE:
THE DECISION TO USE AN ANCHORING SYSTEM IS THE RESPONSIBILITY OF THE OWNER OR HIS REPRESENTATIVE. NOT EVERY TANK WILL REQUIRE ANCHORING.

CISTERN DETAIL PROVIDED BY DARCO, INCORPORATED (1-800-232-8660)
FINAL CISTERN & DRY HYDRANT DESIGN TO BE PERFORMED BY OTHERS

- GENERAL SEDIMENTATION AND EROSION CONTROL NOTES
1. A SEDIMENT BARRIER WILL BE ERECTED AROUND THE DOWNSLOPE PERIMETER OF ALL CONSTRUCTION ACTIVITIES. IN ADDITION TO THOSE SHOWN ON THE PLAN, ADDITIONAL CONTROLS WILL BE INSTALLED AS DEEMED NECESSARY BY THE GENERAL CONTRACTOR IN RESPONSE TO SITE CONDITIONS.
 2. CUT AND/OR FILL SLOPES OF GREATER THAN 2 ON 1 REMAINING IN ROUGH GRADE WILL BE MULCHED AND SEEDED.
 3. THE AMOUNT OF NATURAL VEGETATION REMOVED WILL BE MINIMIZED. ALL DISTURBED AREAS NOT SCHEDULED FOR CONSTRUCTION WITHIN 60 DAYS WILL BE MULCHED WITH UNROTTED STRAW OR HAY AND SEEDED. MULCH WILL BE APPLIED AT 90 LBS. PER 1000 SQ. FT.
 4. ALL STOCKPILES LEFT FOR MORE THAN 1 MONTH WILL BE RINGED WITH SEDIMENT BARRIERS.
 5. AT LEAST 50 FEET OF SILT FENCE AND/OR 50 FT. OF HAYBALES WILL BE STOCKPILED ON SITE FOR EMERGENCY USE.
 6. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE PLACED IN AN APPROVED UPLAND SITE, A SUFFICIENT DISTANCE FROM ALL CONTROLLED ENVIRONMENTS.
 7. UPON FINAL GRADING THE OPEN SOIL HORIZONS ARE TO BE IMMEDIATELY PLACED IN SEED. OPTIMUM SUCCESS IN ESTABLISHING PLANTS ON SLOPES IS ACHIEVED WHERE SLOPE ANGLES DO NOT EXCEED 1 HORIZONTAL TO ONE VERTICAL. THESE SOILS SHOULD NOT CONTAIN GREATER THAN 8% CLAY.
 8. CONSTRUCTION ENVELOPES ARE TO BE DELINEATED WITH HIGH VISIBILITY BARRICADE TAPE, SNOW FENCE OR PLASTIC NETTING.
 9. TREES IN A CLOSE PROXIMITY TO CONSTRUCTION ACTIVITIES ARE TO BE PROTECTED WITH SNOW FENCE OR A COMPARABLE BARRIER PLACED AT THE DRIPLINE.
 10. METHODS FOR PROPER DESIGN AND INSTALLATION OF CONTROL MEASURES MAY BE FOUND IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
 11. UTILITY TRENCHES ARE TO BE COMPLETED, SEEDED AND MULCHED WITHIN 15 DAYS AFTER BACKFILL.
 12. ANY DISTURBED AREA NOT PAVED, SODDED OR BUILT UPON BY NOVEMBER 1ST IS TO BE SEEDED ON THAT DATE WITH OATS, ABRUZZI RYE, OR EQUIVALENT AND MULCHED WITH HAY OR STRAW.
 13. DRAINAGE OUTLETS ARE TO BE PROTECTED WITH SPLASH GUARDS OR STONE AND/OR LEVEL SPREADERS.
 14. ALL EROSION CONTROL DEVICES SHALL BE INSPECTED (AND REPAIRED IF NECESSARY) EVERY TWO WEEKS AND/OR AFTER EVERY RAIN STORM OF 0.5" OR GREATER.

- PROJECT NOTES
1. ALL SEDIMENTATION AND EROSION CONTROLS ARE TO BE INSTALLED PRIOR TO START OF DEMOLITION AND CONSTRUCTION.
 2. MACHINERY ACCESS WILL BE VIA THE EXISTING DRIVEWAY.
 3. ALL FILL & EXCAVATION WILL BE LIMITED TO PROPOSED ACTIVITIES.
 4. PROPOSED ACTIVITIES ARE GENERALLY SITED WHERE CONCEPTUALLY APPROVED.

- GENERAL CONSTRUCTION SEQUENCE
- ALL ITEMS ARE FOR LOT 1 FIRST. HOUSE ON LOT 2 TO BE CONSTRUCTED AFTER HOUSE ON LOT 1 IS COMPLETE. CONSTRUCTION SEQUENCE FOR LOT 2 TO BE SAME AS LOT 1.
1. EMPLACEMENT OF THE SEDIMENTATION & EROSION CONTROLS - NOTE MULTIPLE ROWS OF SILT FENCE TO COORDINATE WITH SEPARATE AREAS OF SITE DISTURBANCE;
 2. DELINEATION OF THE CONSTRUCTION ENVELOPES WITH HIGH-VISIBILITY BARRICADE TAPE OR SNOW FENCE;
 3. CLEARING WITHIN THE AREA FOR THE PROPOSED ACTIVITY;
 4. TOPSOIL REMOVAL AND STOCKPILING IN STABILIZED AREA, STABILIZED WITH MULCH AND/OR RINGED WITH SEDIMENT BARRIER;
 5. INSTALL CULTEC UNITS AND ASSOCIATED MANHOLE AND PIPING TO & FROM MANHOLE;
 6. INSTALL SEPTIC SYSTEM LEACHING AREA AND SEPTIC TANK/PUMP CHAMBER;
 7. EXCAVATION FOR HOUSE FOUNDATION;
 8. HOUSE FOUNDATION CONSTRUCTION AND FRAMING;
 9. INSTALL CISTERN AND DRY HYDRANT CONNECTION;
 10. COMPLETE HOUSE CONSTRUCTION;
 11. INSTALL CATCH BASINS AND ASSOCIATED PIPING - COMPLETE CONNECTIONS TO CULTEC UNITS;
 12. FINAL GRADING & LANDSCAPING.
 13. CONSTRUCTION PHASES WILL OCCUR SIMULTANEOUSLY AS LONG AS THE SITE IS STABLE AND EROSION CONTROLS ARE FUNCTIONING.



No.	DATE	DESCRIPTION	DWG.
REVISIONS			
PROJECT			
PROPOSED SITE PLAN FOR			
BRIAN & JENNIFER ANGERAME			
30 STURGES RIDGE ROAD			
WILTON CONNECTICUT			
DRAWING NAME			
EROSION CONTROL DETAILS & NOTES			
SCALE	AS NOTED	MUNICIPALITY	WILTON
DATE	AUGUST 23, 2021	SHEET	4 OF 4
DRAWN	R.M.F.	ASSESSOR'S MAP	3
FILE NAME:		LOT 3	
S4			
FRANGIONE ENGINEERING, LLC CIVIL ENGINEERING STRUCTURAL ENGINEERING LAND DEVELOPMENT 15 SNOWBERRY LANE NEW CANAAN, CT 06840 (203) 554-9551 (PHONE) (203) 966-6957 (FAX)			
FRANGIONE ENGINEERING, LLC F E			