

PROPERTY CONDITION ASSESSMENT

ANNEX/ANIMAL SHELTER

238 Danbury Road
Wilton, Connecticut



Prepared for:

Town of Wilton
238 Danbury Road
Wilton, Connecticut 06897
Attention: Mr. Jeff Pardo
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Marx|Okubo Job No. 23-2104

January 23, 2024

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1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

Immediate Work Items: Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

Capital Work Items: Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

IMMEDIATE REPAIR COST

Prepared By:

Building(s) Gross Area (S.F.):

Property Age (Years):

Marx|Okubo Associates, Inc.

5,345

Unknown

Date Prepared:

January 23, 2024

Renovated in 1985 and 1990


#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
MECHANICAL/ELECTRICAL/PLUMBING							
1	Building Code Compliance: The State of Connecticut has passed an act that effective October 1, 2023 has made it so all kennels/dog pounds are required to provide mechanical systems in order to maintain an indoor ambient temperature between 55 and 80 degrees Fahrenheit. In order to conform with this new law, it is recommended to install a new heat pump system to provide heating and cooling to the kennel area of the building. The budget includes a new heat pump system which includes an outdoor condensing unit, indoor fan coil unit, and new refrigerant lines.	1	EA				Priority 1 - Current Critical.
CODE REVIEW							
2	Life Safety Code Compliance: Exit signage and devices throughout the egress path are not provided at the animal shelter building. Engage a qualified fire life safety professional to perform a review of the egress paths, inventory of existing devices, and provide recommendations on new quantity and layouts.	1	LS				Priority 1 – Current Critical.
3	Life Safety Code Compliance: Based on the results of the review by the fire life safety professional, provide exit signage and devices where required. Scope may include providing new exit signage, including wiring, pull station, and compliant hardware at egress doors. Quantity and final budget will be based on the results of the fire life safety review. A preliminary budget is provided for reference.	1	LS				Priority 1 – Current Critical.
4	Life Safety Code Compliance: Battery powered emergency lighting is provided throughout the annex building. Each light observed was tested to confirm it was functional. Two of the emergency lights in the hallway did not turn on when tested. Replace the non-functioning lights with new. It is recommended to regularly test all emergency lights.	2	EA				Priority 1 – Current Critical.
ACCESSIBILITY							
5	ADA: The drop box entrance is provided with a power assisted door with an actuator. The power assisted door was not operating during out visit. Additionally, door hardware was observed to be orbital at select spaces. Replace with lever type hardware to meet compliance and repair power assisted door hardware.	1	EA				Priority 1 - Current Critical.
6	ADA: Missing signage was observed throughout the facility. Install new signage where missing including wayfinding signage to accessible routes and entrances. Signage is required to have raised contrast lettering and braille and be mounted within the ADA tolerance range.	1	EA				Priority 1 - Current Critical.
7	ADA: The door threshold leading to the animal shelter exceeds the allowable threshold height. Replace threshold or modify finish surfaces to reduce effective threshold and meet compliance.	1	EA				Priority 1 - Current Critical.
Total Repair Cost							

CAPITAL RESERVE SCHEDULE

Prepared By:	Marx Okubo Associates, Inc.	Date Prepared:	January 23, 2024
Building(s) Gross Area (S.F.):	5,345	Term:	10
Property Age (Years):	UnknownRenovated in 1985 and 1990	Inflation Rate:	4%

Footnotes: ¹ ² ³ ⁴

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
SITE																		
1	Appearance - See the Town Hall cost table for recommendations on asphalt paved drive lanes and parking areas.	0	EA															Priority 4 - Recommended.
2	Building Integrity: Instances of cracked bricks were observed at isolated areas throughout brick paved paths and the front patio. Additionally, brick garden walls exhibit mortar deterioration. Remove and replace cracked bricks and cut and repoint gardens walls where needed. The budget includes approximately 5% of the brick paved surfaces and garden walls.	1	LS															Priority 3 - Necessary - Not Yet Critical.
ENVELOPE AND EXTERIOR																		
3	 Building Integrity: The Annex building is provided with sloped roofs covered with asphalt shingles. It was noted and reported that localized areas below the roofs occasionally have water leaks along the valley near the drop box entrance, as well as below the steel trusses in the public entrance area. Based on information provided, the annex building west wing roof was replaced around 1990, and the remaining sloped roof areas in the annex building were replaced in 1984. Perform a phased asphalt shingle roof replacement when the roofs reach the end of their useful life. Budget includes inspecting and repairing any underlying damages that have lead to the water intrusion.	5,000	SF															Priority 2 - Potentially Critical.
4	Building Integrity: The roofing system atop the animal shelter is a low sloped roof. The roof was not accessible during our visit, and the information provided suggest that it was installed prior to the 1985 conversion of the previous garage to the animal shelter. Portions of the annex building also include areas of low slope roof, with mixed installation dates reported. Remove and replace low slope roofing systems. Scope includes providing new edge metal flashing and insulation.	2,750	SF															Priority 2 - Potentially Critical.
5	Energy: Sloped and flat roof areas could be considered for the addition of photovoltaic (PV) solar panels. Engage the services of a registered Structural Engineer to perform an analysis to determine if the structure can support the added loads of a PV system as well as a qualified party to perform a feasibility study, including a solar analysis. Based on the results of a preliminary structural and solar analysis, consideration could be given to the addition of PV panels on the roof. The results of the analysis will determine the system's limitations and requirements. PV solar panels can provide the building with a renewable, clean source of energy.	1	LS															Priority 4 - Recommended.
6	Energy: Advisory - Based on the results of the feasibility study, install PV system. The cost could be in the order of \$15 to \$25 per square foot. Potential savings could be anticipated if rebate programs and/or incentives are available and if the project is considered at a portfolio level. The scope of work may include the installation of solar panels, wiring, inverters, electrical panels, and monitoring systems.	2,500	SF															Priority 4 - Recommended.

1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.

2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.

3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.

4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
7	🔴 Building Integrity: Annex building and animal shelter facades consist of brick masonry walls, concrete masonry unit (CMU) walls and stucco. CMU and stucco walls along the north side of the building are in fair condition. Damages at the CMU walls include stepped cracking, eroded CMU surfaces and eroding mortar joints. Stucco surface damages include cracking and erode areas. Perform a CMU mortar joint and stucco repair program. Budget represents approximately 20% of the surfaces.	2,000	SF															Priority 3 - Necessary – Not Yet Critical.
8	🔴 Appearance: Exterior facades throughout the Annex and Animal Shelter have peeling paint finishes, debris, and organic growth stains. Power wash all exterior wall surfaces after repairs have been completed. Surfaces include soffits, trim, gutters, downspouts, signage, doors, aluminum frames, masonry, and stucco.	6,000	EA															Priority 4 – Recommended.
9	🔴 Appearance: Following the façade repair program, prepare surfaces for painting and paint throughout. Scope to include soffits, trim, gutters, downspouts, signage, doors, aluminum frames, masonry, and stucco.	4,500	SF															Priority 4 – Recommended.
10	🔴 Building Integrity: Windows replacements along the façades were reportedly installed during the 1984,1985 and 1990 renovations. The two quarter round windows along the south façade of the Annex building have interior condensation. Replace insulating glass units and frames. Remaining windows throughout the Annex and Animal Shelter are in fair to poor condition, and are in need of replacement. Perform a phased comprehensive window replacement program of all windows throughout the building, when units reach the end of their useful life. It was reported that the quarter round windows were originally designed for a meeting space that is no longer there, therefore, consideration could be given to eliminating the quarter round windows to reduce costs.	50	EA															Priority 2 - Potentially Critical.
11	🔴 Building Integrity: Selected hollow metal doors at the Annex building and Animal shelter are in poor condition. Damages include deteriorating exterior and interior finishes, localized surface corrosion. Replace or refurbish doors as needed.	2	EA															Priority 3 - Necessary – Not Yet Critical.
12	🔴 Building Integrity: Trim and roof soffit along the roof perimeter consist of painted wood. Paint finish is peeling and the wood surfaces appear to be in poor condition. Remove damaged trim pieces and replace with new. Refinishing trim and other surfaces.	300	LF															Priority 3 - Necessary – Not Yet Critical.
13	A budget is provided for general contractor overhead, profit and general conditions.	1	LS															
14	A budget is provided for general architectural/engineering fees.	1	LS															
15	A budget is provided for design and construction contingencies related to the envelope and exterior work.	1	LS															
INTERIOR IMPROVEMENTS																		
16	Appearance: Interior finishes were observed to generally be in fair to good condition. The age of the finishes is unknown; however, deteriorated paint due to previous leaks that have been addressed and damaged vinyl composite tiles was observed at localized areas throughout the building. Perform localized repairs early in the term and continue with phased replacement of interior improvements as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes consist of painted gypsum wall and ceiling boards; suspended ceilings with acoustic tiles; vinyl, carpet, or tile floors.	1,100	SF															Priority 3 - Potentially Critical
17	Appearance: Currently, a public entrance is provided through the main vestibule on the southeast side of the building. It was reported configuration of a new public entrance is in progress. Revised drawings provided include a new public entrance along the east façade, counters, office, and a sidewalk leading to the entrance. It is our understanding the drawings have been submitted for permit approval and are in review. According to town staff, the budget could be in the order of approximately, \$32,000; however, no proposal was provided for review. Marx Okubo recommends that the budget include a contingency for unforeseen field conditions.	1	LS															Priority 4 - Recommended.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
18	Appearance: Currently, a multi-user men and women's restrooms are provided. The age of the interior finishes and fixtures are unknown, however appear to be in serviceable condition. Additionally, several non- ADA complaint items were noted and include thresholds exceeds the allowable height, non-compliant signage, inadequate door maneuvering, and a women's accessible stall is not provided. Per town staff, consideration has been given to renovating the existing restrooms to meet ADA compliance. This appears to be feasible, the scope of work may include new finishes and fixtures and modifying the restrooms to meet ADA compliance. A preliminary budget has been included in the term for consideration. Final budget based on owner selected level of finishes.	1	LS															Priority 3 - Potentially Critical
19	A budget is provided for design and construction contingencies related to the interior work.	1	LS															
MECHANICAL/ELECTRICAL/PLUMBING																		
20	Air-cooled, ducted split systems provide cooling to the building. There are five units located on the exterior of the building. Each system consists of a condensing unit and a fan coil unit. The systems have capacities ranging between two and five tons and distributes air through overhead ductwork. Replace each system when it reaches the end of its service life or as maintenance costs dictate. The systems currently utilize refrigerant R-22. It is recommended to replace the systems with new systems using R-410A. The budget includes a replacement in kind of the units with the reuse of ductwork. The units were installed between 1990 and 2005 and were manufactured by Rheem, Carrier, and Lennox.	20	TON															Priority 2 - Potentially Critical.
21	Building Integrity: Pipe insulation was not observed in the boiler room. A lack of piping insulation can be a considerable source of heat loss. It is recommended to add insulation to the piping in the boiler room to improve performance of the system.	1	EA															Priority 4 - Recommended.
22	Building Integrity: The building has a 40-gallon electric water heater located in a closet of the building. Replace the water heater when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping and electrical wiring. The water heater was manufactured by State Industries.	1	EA															Priority 3 - Necessary - Not Yet Critical
23	Building Integrity: Eversource provides electrical service to the building. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA															Priority 4 - Recommended.
24	Life Safety Code Compliance: The Miniscan 424 was reportedly installed over 20 years ago and is obsolete. Replace the fire alarm panel. No fire alarm issues were reported by the client. The scope of work includes installation of a new fire alarm panel and fire alarm devices. Rewiring to system devices is not anticipated, nor is it included in the budget.	1	EA															Priority 2 - Potentially Critical.

Total (Uninflated)	
Inflation Factor (4.0%)	
Total (inflated)	

Evaluation Period:	
# of Square Feet:	
Reserve per Square Feet per year (Uninflated)	
Reserve per Square Feet per year (Inflated)	

2.0 EXHIBITS

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FLOOD PLAIN DETERMINATION REPORT

MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

DataVerify Flood Services

<i>Determination Report</i>	DATE: 11/16/23
Account Number: INS 97900589	MARX/OKUBO & ASSOCIATES - NORTHEAST
<p>Owner Name: 23-2104 Certified Street Address: 238 DANBURY RD, WILTON, CT 06897-4008 Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720 Policy Number: 231116154345073 Community Name: WILTON, TOWN OF Community Status: Regular Program Type: Participating Det ID: 345453337 Map Panel #: 09001C0383 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82 Det Date: 11/16/23 Flood Zone: X BFE: 263 (Vertical Datum:NAVD88) LOMA/LOMR <input type="checkbox"/> DATE:</p> <p>Areas of minimal flooding. Areas determined to be outside 500 year flood plain.</p> <p>This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.</p>	



Flood Zones Legend		A Values		X500 /SHX / B		X / C
		D / NMA		V Values		Street

Determination Id : 345453337

Certified Address : 238 DANBURY RD, WILTON,
CT 06897-4008

Flood Zone : X

Base Flood Elevat : N/A

FEMA Map Panel Number : 09001C0383 F

FEMA Map Panel Eff. Date : 06/18/10

Coast CBRA Date :

LOMA LOMR Date :

Distance To 100/500 :
Flood Zone

DISCLAIMER: THIS MAP IMAGE IS PROVIDED AS A VISUAL AID WITHOUT ANY WARRANTIES OR GUARANTEES; IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS OR INSURED PROPERTY OWNERS AGAINST THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 YEAR FLOOD AREA IS AN APPROXIMATION CALCULATED FROM GEOCODING TECHNOLOGY AND IS NON-GUARANTEED.

PHOTOGRAPHS



1 - Overview of the Annex Building.



2 - Signage is provided at the front of the facility to identify the building name.



3 - Deteriorated mortar was observed at the brick garden wall, adjacent to the patio.



4 - A brick paved patio is provided at the front of the facility.



5 - Staining and deteriorated mortar was observed at the brick garden wall along the east façade.



6 - Annex building roof consists of asphalt shingles. Interior areas below the roof valley had instances of water intrusion.



7 - Localized areas of the CMU (concrete masonry unit) facade have stepped cracking, cracked mortar joint and cracked units along the window lintel. Parging coat is peeling along the base CMU courses. Windows are in poor condition.



8 - Exterior surfaces along the façade have peeling paint finishes, debris accumulation, and organic growth stains.



9 - CMU finishes and mortar joints along the facade are deteriorating.



10 - Exterior wall finishes at the animal shelter stucco facade are in poor condition.



11 - Quarter circle window units along the south facade have failed.



12 - Insulating glass units within the quarter round windows have failed and have internal condensation.



13 - Window units along the south facade are in fair condition.



14 - Hollow metal egress door along the north facade is in poor condition.



15 - Exterior surfaces along the north facade egress door are in poor condition.



16 - Wooden trim and soffits along the roof perimeter are in poor condition. Wood has rotted and paint finish is peeling.



17 - Wood trim paint finishes are cracking.



18 - Wood trim around the animal shelter kennel roof has rotted.



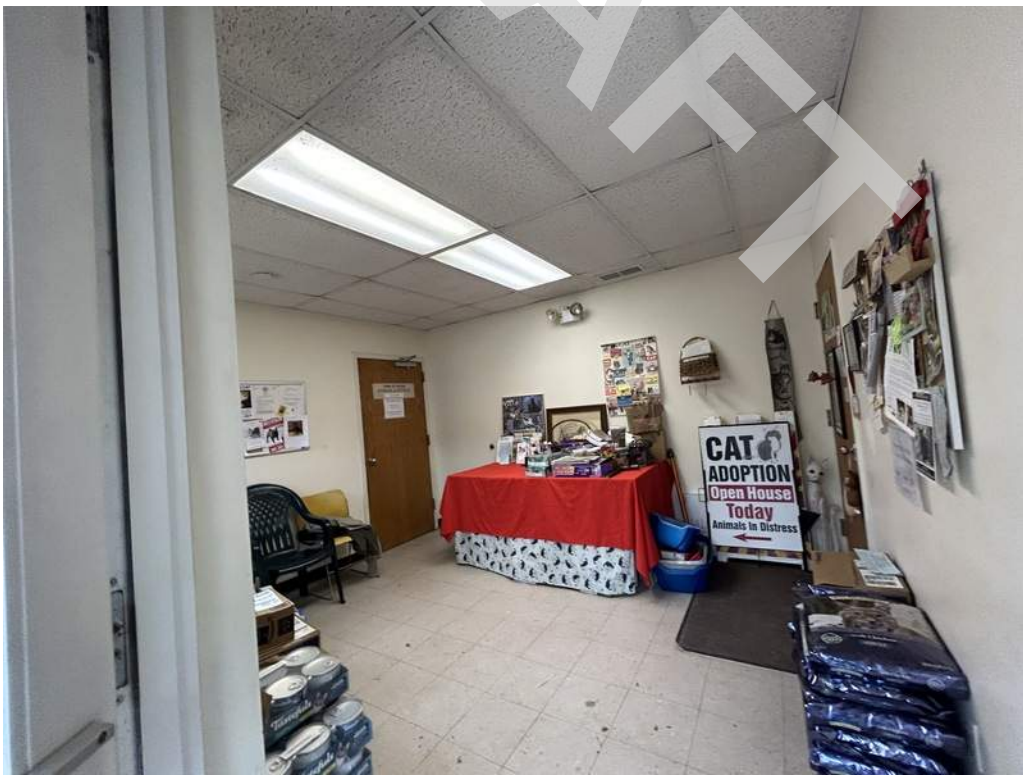
19 - Interior corridor finishes consists of painted gypsum wall boards, suspended ceilings with acoustic tiles, and carpet floors.



20 - Interior finishes at conference rooms consist of painted gypsum wall and ceiling boards and carpet floors.



21 - Instances of paint peeling at isolated areas was observed at the facility.



22 - Interior finishes at the waiting room in the animal shelter consist of painted gypsum wall boards, suspended ceilings with acoustic tiles, and vinyl composite tile floors.



23 - An oil fired boiler located in a mechanical closet provides heating hot water throughout the building.



24 - Split system air conditioning units are located on the exterior and provide cooling to the building.



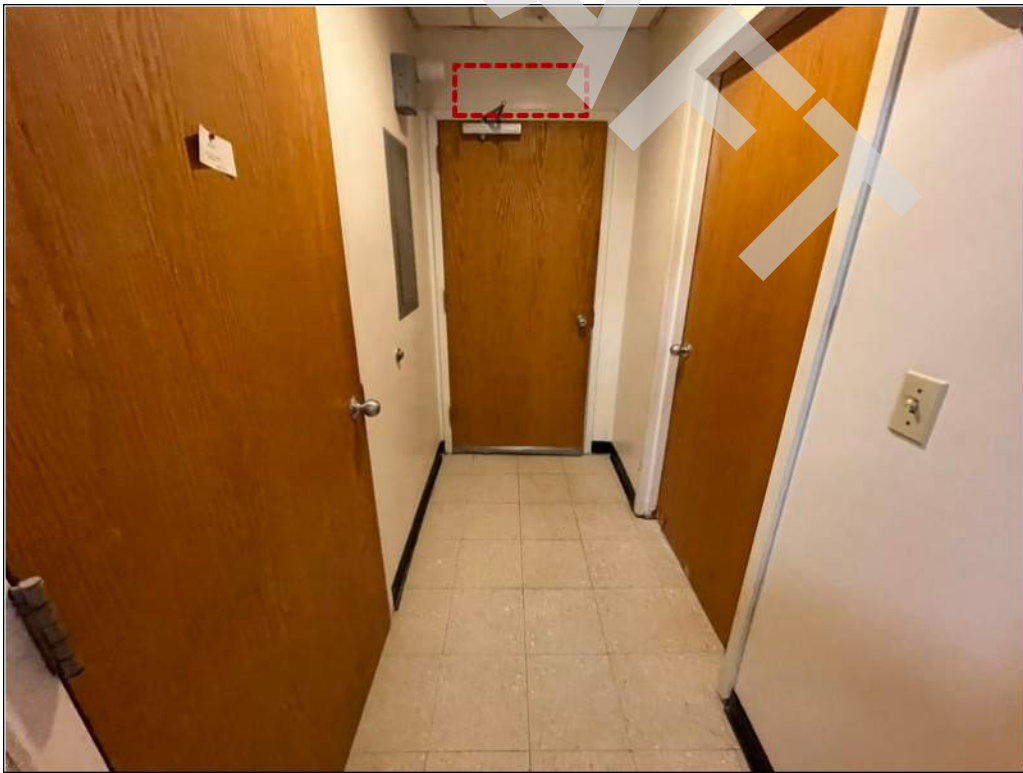
25 - An electric storage-type water heater is located in a closet and provides hot water throughout the building.



26 - The building is provided with a Miniscan 424 Fire Alarm Panel.



27 - Power assisted door at the drop box entrance is not operating.



28 - Illuminated exit signs are not provided along the path of egress.



29 - Illuminated exit sign is not provided at the door exiting from the animal shelter kennel.