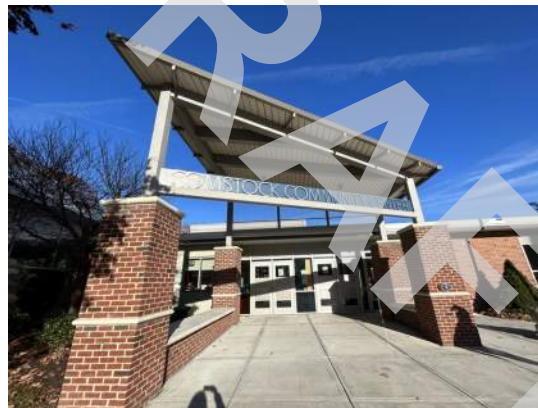


FACILITY CONDITION ASSESSMENT

COMSTOCK COMMUNITY CENTER

180 School Road
Wilton, Connecticut



Prepared for:

Town of Wilton
238 Danbury Road
Wilton, Connecticut 06897
Attention: Mr. Jeff Pardo
jeff.pardo@wiltonct.org

Marx|Okubo Job No. 23-2104

January 23, 2024

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1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

Immediate Work Items: Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

Capital Work Items: Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

IMMEDIATE REPAIR COST

Prepare4d By: Marx|Okubo Associates, Inc.
 Building(s) Gross Area (S.F.): 39,437
 Property Age (Years): 69

Date Prepared: January 23, 2024

Renovated in 1995 and 2014

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
MECHANICAL/ELECTRICAL/PLUMBING							
1	Life Safety Code Compliance: Battery powered emergency lighting is provided throughout the building. Each light observed was tested to confirm it was functional. Two of the emergency lights in the greenhouse did not turn on when tested. Replace the non-functioning lights with new. It is recommended to regularly test all emergency lights.	2	EA				Priority 1 - Current Critical
CODE REVIEW							
2	Life Safety Code Compliance: Based on the Wilton Fire Marshal report provided to Marx Okubo, the egress door from the Greenhouse does not comply with the greater than 15 lbs, per CT IFC 2021, section 1010.1.3. Repair door to meet the 15 lbs maximum opening force. Repair scope may include adjusting or replacing the door closer, panic bar, or any other door component that may be contributing to the issue.	1	LS				Priority 1 - Current Critical.
ACCESSIBILITY							
3	ADA: Currently a firm walking surface from the parking area to the baseball field, soccer field, and playground located in between these two fields are not provided. Provide access paths to facilitate an accessible route to all activities provided.	3	EA				Priority 1 - Current Critical.
4	ADA: An accessible route to the basketball courts and playground from the adjacent parking lot is non compliant as the ramp exceeds the allowable slope. Provide an access path to facilitate an accessible route to the courts. Work could include regrading the ramp and installing handrails on both sides.	1	LS				Priority 1 - Current Critical.
5	ADA: Accessible parking spaces were not observed at the parking lot adjacent to the the basketball courts. Marx Okubo could not confirm the total number of parking spaces due to faded to striping. If a range of 26-50 parking spaces are provided, per ADA standards, a minimum of two accessible parking spaces are required, including one van-accessible parking spaces. Parking spaces should be provided with complaint signage.	2	EA				Priority 1 - Current Critical.
6	ADA: The Senior Center Café was noted to have various non-compliant items. Items include insufficient accessible seating, inadequate clear floor space at the sink and to the patio, and the door threshold to the patio exceeds the allowable maximum. Alter to meet compliance.	1	LS				Priority 1- Current Critical.
7	ADA: At the Senior Center Game Room, the pool table and seating tables do not provide knee and toe clearance. Provide a compliant pool table and seating tables. At least 5% of seating spaces are required to comply with an accessible route to the tables.	1	LS				Priority 1- Current Critical.

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
8	At the Senior Center Crafts & Arts Studio Game Room, the seating tables do not provide knee and toe clearance. Provide a compliant seating tables. At least 5% of seating spaces are required to comply with an accessible route to the tables.	1	EA	[REDACTED]			Priority 1- Current Critical.
9	At the single user restrooms labeled as restroom 11, 36, and 38, the center of the toilet is not mounted within the acceptable range from the side wall. Remount the toilets to the acceptable range to meet compliance.	3	EA				Priority 1- Current Critical.
10	ADA: The snack vending machine provided is not complaint as the operable parts are above the reach range. Replace with a compliant vending machine.	1	EA				Priority 1 - Current Critical.
11	ADA: A lowered section of the counter is not provided at the Parks & Recreation Department 2 office. Provide a lowered counter area not exceeding 36" maximum from the finish floor.	1	EA				Priority 1 - Current Critical.
12	ADA: The women's multi user restroom was noted to have various non-compliant items. Items include the minimum required clearance measured from the transfer shower control wall and scald guard protection under the sinks are not provided. Alter the restroom to meet compliance. Budget includes the men's multi-user restroom.	2	EA				Priority 1 - Current Critical.
Total Repair Cost							

CAPITAL RESERVE SCHEDULE

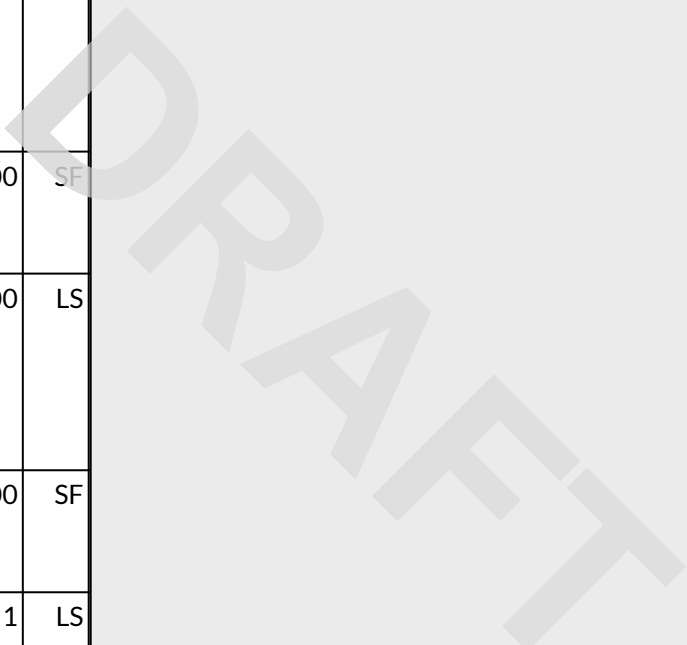
Prepared By: Marx|Okubo Associates, Inc.
 Building(s) Gross Area (S.F.): 39,437
 Property Age (Years): 69 Renovated in 1995 and 2014

Date Prepared: January 23, 2024
 Term: 10
 Inflation Rate: 4%

Footnotes: ^{1 2 3 4}

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
SITE																		
1	Appearance: A continuous asphalt paved parking area is provided at the front and side of the facility. It was reported the front was redone in 2016 and was observed to generally be in good condition. The age of the side paving is unknown and was noted to exhibit varying levels of deterioration. A budget is recommended to mill, resurface, and restripe the side asphalt paved area early in the term. Levels of deterioration include alligator and longitudinal cracking and faded striping throughout.	24,000	LS															Priority 4 - Recommended
2	Appearance: Repair local subgrade deterioration at asphalt pavement as identified during milling and repaving work at the side parking, as noted in the line item above. The budget includes 10% of the paved asphalt areas.	2,400	SF															Priority 4 - Recommended
3	Appearance: Two additional asphalt paved parking areas are provided on the west side of the property. The age of the paving areas is unknown and was noted to exhibit varying levels of deterioration. Phased milling, resurfacing, and restriping of the paved parking areas is recommended early in the term. Budget includes removing damaged concrete curbs and repouring. Levels of deterioration include alligator and longitudinal cracking and faded striping throughout.	22,000	LS															Priority 4 - Recommended.
4	Appearance: Repair local subgrade deterioration at asphalt pavement as identified during milling and repaving work at the additional parking areas, as noted in the line item above. The budget includes 10% of the paved asphalt areas.	14,000	SF															Priority 4 - Recommended
5	Appearance: A budget is recommended to reseal and restripe all the asphalt paved parking areas later in the term.	1	LS															Priority 4 - Recommended
6	Appearance: The cast-in-place concrete sidewalks were observed to generally be in good condition. Periodic maintenance is anticipated throughout the term. The budget includes approximately 5% of the sidewalks for each occurrence.	250	SF															Priority 4 - Recommended.
7	Appearance: Two asphalt paved surface basketball courts are provided at the rear of the building. It was reported the two courts were redone in 2016. The paved area exhibits instances of cracking and a backboard and hoop were noted to be missing. Resurface the basketball court early in the term and then at the end of term. Budget includes a new backboard and hoop.	1	LS															Priority 4 - Recommended.
STRUCTURE																		
8	F Building Integrity: The building's foundation consist of cast-in-place reinforced concrete walls and piers. One of the piers in the boiler room adjacent to the sump pump has spalling concrete and exposed reinforcement. Remove all loose concrete and surface corrosion and patch.	10	SF															Priority 3 - Necessary - Not Yet Critical



1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.
 2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.
 3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.
 4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
ENVELOPE AND EXTERIOR																		
9	P Building Integrity: The roofing system consist of an EPDM (ethylene propylene diene terpolymer) membrane, reportedly installed during a 2013 renovation. It was reported that after the installation of the mechanical screen walls at the roof, sporadic roof leaks have occurred. In addition localized soft spot areas near the screen walls were noted, which is may be an indication of degraded insulation under the roofing membrane, due to trapped moisture in the system. Localized areas through the roof were noted to have ponding and debris. Perform an infrared thermographic inspection throughout the roof, to identify areas of possible entrapped moisture within the system,	1	LS															Priority 2 - Potentially Critical.
10	P Building Integrity: Based on the results of the Infrared Thermographic Inspection, repair the areas identified. Repairs may include removing damaged insulation, inspecting the condition of the roof deck, repairing damaged areas, providing new insulation and patching the roof membrane, and providing new roof leaders where damaged or missing roof leaders are noted.	500	SF															Priority 2 - Potentially Critical.
11	Energy: Portions of the the low slope roof could be considered for the addition of photovoltaic (PV) solar panels. Engage the services of a registered Structural Engineer to perform an analysis to determine if the structure can support the added loads of a PV system as well as a qualified party to perform a feasibility study, including a solar analysis. Based on the results of a preliminary structural and solar analysis, consideration could be given to the addition of PV panels on the roof.	1	LS															Priority 4 - Recommended
12	Energy: Advisory - Based on the results of the PV panel feasibility study, install the system and perform building upgrades as needed. The budget provided is for reference, final budget will vary depending on the system size, type and building system upgrades required to install the PV system. The scope of work may include the installation of solar panels, wiring, inverters, electrical panels, and monitoring systems. The results of the analysis will determine the system's limitations and requirements. PV solar panels can provide the building with a renewable, clean source of energy. The cost could be in the order of \$15 to \$25 per square foot. Potential savings could be anticipated if rebate programs and/or incentives are available and if the project is considered at a portfolio level.	25,000	SF															Priority 4 - Recommended
13	P Building Integrity: Portions of the building facades consist of brick masonry unit walls. Localized areas of the brick masonry walls have cracked and spalled units. Perform a phased brick masonry replacement program. Budget represents approximately 5% brick masonry unit wall replacement in each phase.	600	SF															Priority 3 - Necessary - Not Yet Critical.
14	P Building Integrity: Brick mortar joints in localized areas of the brick masonry unit walls has eroded and it's in poor condition. Perform a phased repointing program throughout areas of damaged or missing mortar joint. Budget represents approximately 2% brick mortar joint repointing in each phase.	1,200	SF															Priority 3 - Necessary - Not Yet Critical.
15	P Building Integrity: Perimeter joint sealant throughout the brick masonry facade has failed. Perform a comprehensive phased joint sealant replacement program throughout the building. Budget represents approximately 20% sealant replacement in each phase.	7,500	LF															Priority 3 - Necessary - Not Yet Critical.
16	A budget is provided for general contractor overhead and profit, general conditions, and architectural/engineering fees.	1	LS															

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
INTERIOR IMPROVEMENTS																		
17	Appearance: Interior finishes were observed to generally be in good condition. Isolated areas of stained vinyl ceramic tiles were observed at the south wing of the building. Perform localized repairs early in the term and continue with phased replacement of interior improvements as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes consist of painted gypsum wall and ceiling boards; suspended ceilings with acoustic tiles; vinyl, carpet, or tile floors.	7,600	EA															Priority 3 - Potentially Critical.
18	Appearance: There are currently three unfinished rooms on the south wing of the building. It was reported upon determination of the use of these spaces, the rooms will be finished. We have included a preliminary budget for work of this type in the term for consideration. Final budget will be based on Owner selected level of finishes and materials.	2,300	SF															Priority 4 - Recommended.
MECHANICAL/ELECTRICAL/PLUMBING																		
19	Building Integrity: Air-cooled, ducted split systems provide cooling to the building. There are two units located on the roof and one on the exterior of the building. Each system consists of a condensing unit and a fan coil unit. The systems each have a capacity of one ton and distribute air through overhead ductwork. Replace each system when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind of the units with the reuse of ductwork. The units were installed in 2016 and were manufactured by Mitsubishi.	3	TON															Priority 3: Necessary - Not Yet Critical
20	Building Integrity: Two air-cooled rooftop packaged unit (RTU) provide heating and cooling to portions of the building. One RTU is natural gas fired and the other is provided with a hot water coil that is fed from the boilers. The units have capacities of 10 and 28 tons and distribute air through overhead ductwork. Replace the units as they reach the end of their service life or as maintenance costs dictate. The budget includes a replacement in kind of the units with the reuse of ductwork, and an allowance for rigging. The units were manufactured by Trane.	38	TON															Priority 3: Necessary - Not Yet Critical
21	Approximately 18 unit ventilators provide cooling and heating to classrooms throughout the building. The units vary in capacity and directly distribute air. All PTAC units observed were installed in 2016. Replace the units as they reach the end of their service life or as maintenance costs dictate. The budget includes a replacement in kind of the units with the reuse of piping. The units were manufactured by Trane.	18	EA															Priority 3: Necessary - Not Yet Critical
22	Building Integrity: The building has a 100-gallon natural gas fired water heater located in the mechanical room in the basement of the building. Replace the water heater when it reaches the end of its service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping. The water heater was manufactured by State Industries.	1	EA															Priority 3 - Necessary - Not Yet Critical
23	Building Integrity: Eversource provides electrical service to the building, which enters the building through the basement. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA															Priority 4 - Recommended

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
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BUILDING EQUIPMENT

24	The building was renovated in 1995 with one Kone Hydraulic Passenger Elevator located in the east wing of the building. The elevator was observed to be in operable condition with signs of use and wear. It is recommended to modernize the elevator as it reaches the end of its service life or as maintenance costs dictate.	1	EA															Priority 3 - Necessary - Not Yet Critical
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Total (Uninflated)														
Inflation Factor (4.0%)														
Total (inflated)														

Evaluation Period:	
# of Square Feet:	
Reserve per Square Feet per year (Uninflated)	
Reserve per Square Feet per year (Inflated)	

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2.0 EXHIBITS

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FLOOD PLAIN DETERMINATION REPORT

DRAFT

MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

DataVerify Flood Services

Determination Report

DATE: 11/16/23

Account Number: INS 97900589

**MARX/OKUBO &
ASSOCIATES - NORTHEAST**

Owner Name: 23-2104

Certified Street Address: 180 SCHOOL RD, WILTON, CT 06897-2527

Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 231116155130384

Community Name: WILTON, TOWN OF

Community Status: Regular Program Type: Participating

Det ID: 130953104 Map Panel #: 09001C0383 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 11/16/23 Flood Zone: X BFE: (Vertical Datum:) LOMA/LOMR DATE:

Areas of minimal flooding. Areas determined to be outside 500 year flood plain.

This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.



Flood Zones Legend	A Values	X500 /SHX / B	X / C
	D / NMA	V Values	Street

Determination Id : 130953104
Certified Address : 180 SCHOOL RD, WILTON, CT 06897-2527
Flood Zone : X
Base Flood Elevat : N/A
FEMA Map Panel Number : 09001C0383 F
FEMA Map Panel Eff. Date : 06/18/10
Coast CBRA Date :
LOMA LOMR Date :
Distance To 100/500 :
Flood Zone

DISCLAIMER: THIS MAP IMAGE IS PROVIDED AS A VISUAL AID WITHOUT ANY WARRANTIES OR GUARANTEES; IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS OR INSURED PROPERTY OWNERS AGAINST THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 YEAR FLOOD AREA IS AN APPROXIMATION CALCULATED FROM GEOCODING TECHNOLOGY AND IS NON-GUARANTEED.

PHOTOGRAPHS

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1 - Comstock building and surface parking along the south side of the property.



2 - Asphalt paved parking is provided at the front of the building.



3 - The asphalt paved parking provided at the side of the building exhibits alligator and longitudinal cracking.



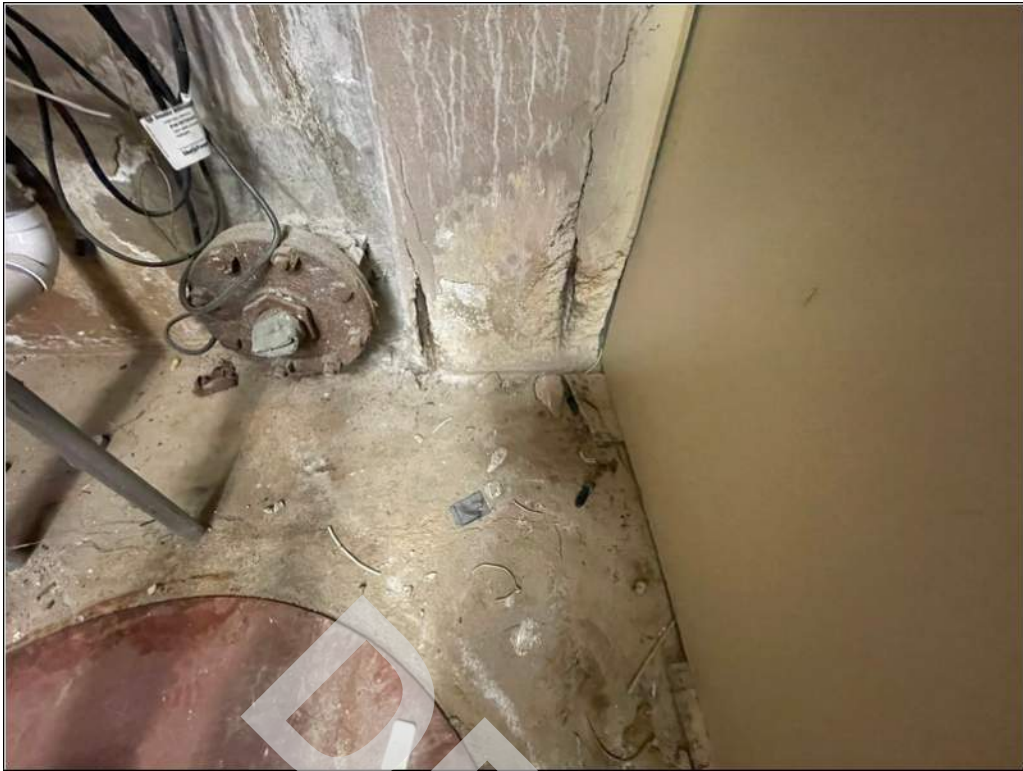
4 - One of the two additional parking lots exhibit cracking and damaged curbing.



5 - Longitudinal and alligator cracking was observed at the second additional parking lot provided.



6 - Two basketball courts are provided at the rear of the building.



7 - Areas of the reinforced concrete foundation have cracked and spalled at the boiler room.



8 - The roofing system consists of an EPDM (ethylene propylene diene terpolymer) membrane.



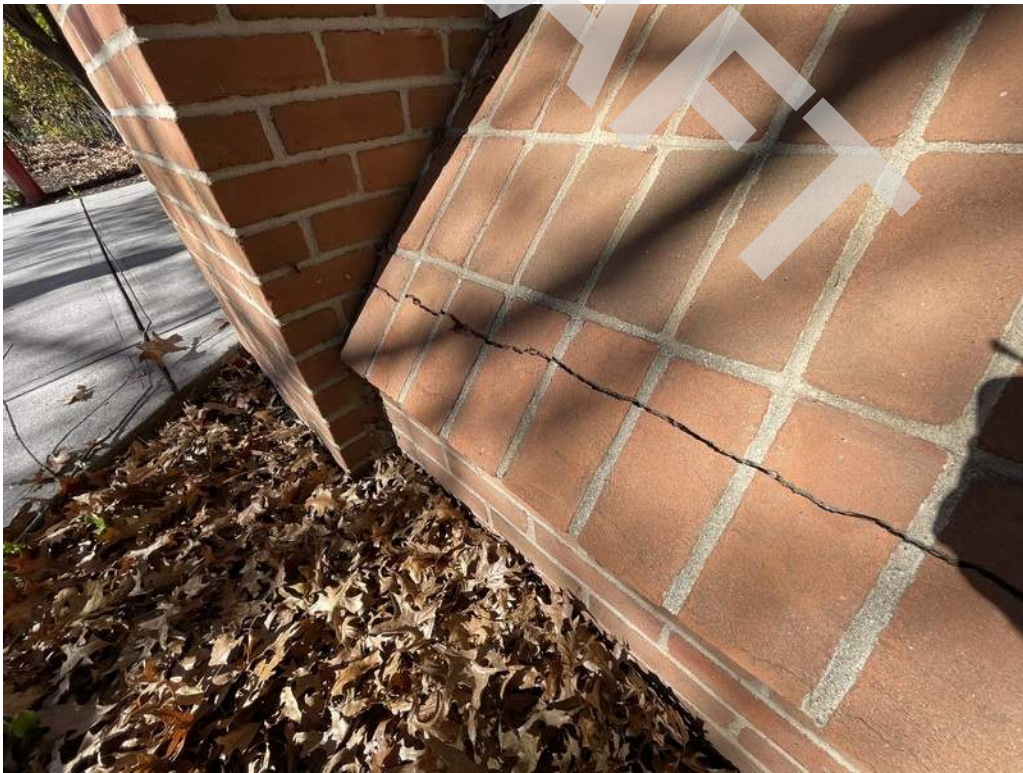
9 - Mechanical screen and supporting structure over the roofing system.



10 - Debris accumulation in a soft spot area of the roof.



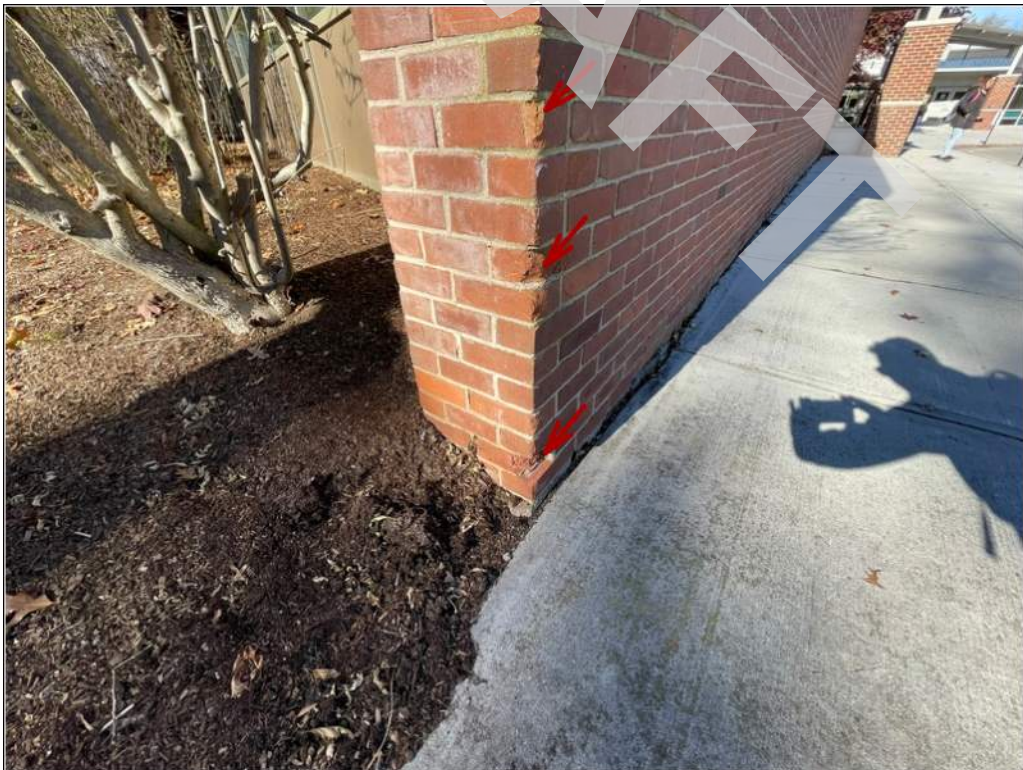
11 - The roof leader is missing.



12 - Brick masonry units have cracked along the brick facade.



13 - Areas of the brick masonry unit wall have organic growth and deterioration at the mortar joints.



14 - Localized instances of brick masonry units are spalling.



15 - Brick masonry unit mortar joints have cracked.



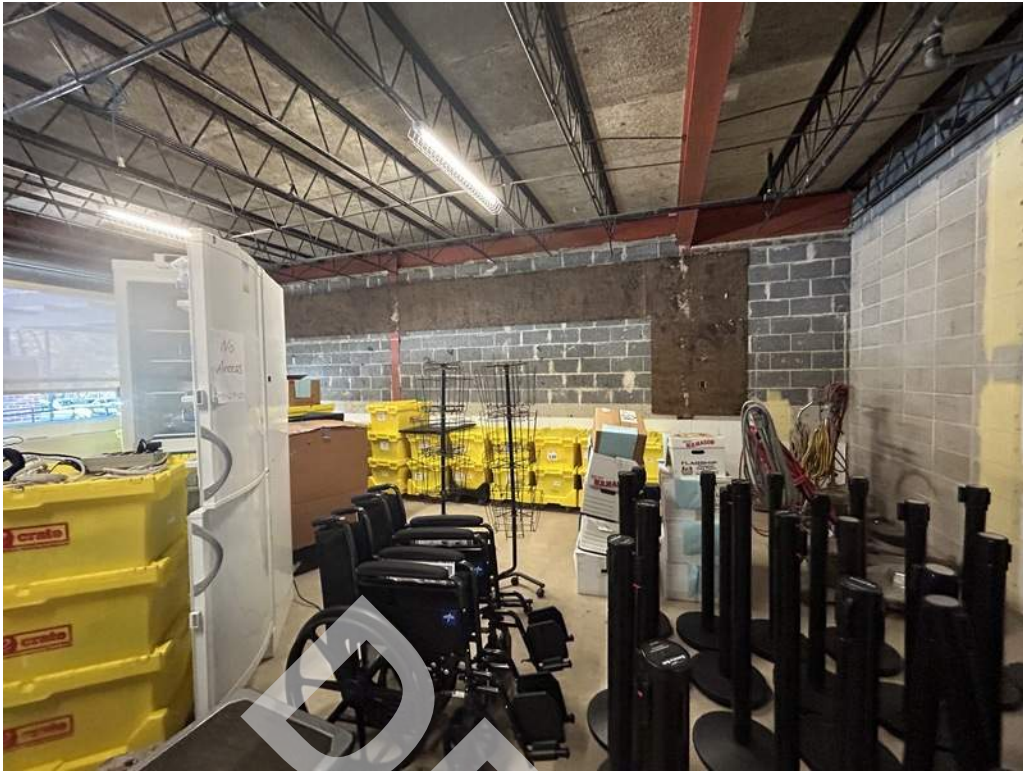
16 - Most perimeter joint sealant around windows has failed.



17 - Perimeter joint sealant along windows is in poor condition. Deficiencies include ruptured and crazed sealant.



18 - Interior lobby finishes consist of painted gypsum wall boards and instances of brick, suspended ceilings with acoustic tiles, and tile floors.



19 - One of the three unfinished rooms.



20 - Stained vinyl composite tiles were observed at the public corridor, on the south wing of the building.



21 - Two natural gas fired boilers located in the lower level provide heating hot water throughout the building.



22 - Unit ventilators provide heating and cooling to individual classrooms.



23 - An energy recovery ventilator provides conditioned ventilation air to portions of the building.



24 - Split system air conditioning units are located on the roof and provide cooling to portions of the building.



25 - Two rooftop packaged units (RTU) provide heating and cooling to portions of the building. One RTU is natural gas fired and the other is provided with a hot water coil that is fed from the boilers.



26 - A pad mounted air-cooled chiller located on the exterior of the building provides chilled water to the building.



27 - A natural gas fired storage-type water heater is located in the lower level and provides hot water throughout the building.



28 - A diesel-fired emergency generator located on the exterior of the building provides emergency power to the building.



29 - The building is provided with a fire alarm panel which is located in the vestibule of the main entrance.



30 - The building is provided with a Kone hydraulic passenger elevator located in the east wing of the building.



31 - Elevator equipment is located in the elevator equipment room on the lower level.



32 - Tables do not provided knee and toe clearance and inadequate clear floor space to the patio was observed at the Senior Center Café.



33 - Adequate clear floor space is not provided at the kitchen sink in the Senior Center Café.



34 - The door threshold at the Senior Center Café exceeds the allowable height.



35 - At the Senior Center Game Room, the pool table and seating tables do not provide knee and toe clearance.



36 - Typical accessible single-user restroom.



37 - The snack vending machine provided is not complaint as the operable parts are above the reach range.



38 - The minimum required clearance measured from the transfer shower control wall is not provided.



39 - Scald guard protection is not provided under the sinks.