

FACILITY CONDITION ASSESSMENT

VETERANS MEMORIAL STADIUM
CONCESSION & RESTROOM BUILDING

180 School Road
Wilton, Connecticut



Prepared for:

Town of Wilton
238 Danbury Road
Wilton, Connecticut 06897
Attention: Mr. Jeff Pardo
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Marx|Okubo Job No. 23-2104

January 23, 2024

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1.0 DEFICIENCIES AND RECOMMENDATIONS

Recommendations for remedial work addressing significant building deficiencies are included in this section. Recommendations are divided into *Immediate Work Items* and *Capital Work Items*.

The cost threshold for this project is \$3,000. Items that do not meet this threshold are excluded from our recommendations.

Immediate Work Items: Include items that correct safety and life-threatening building and/or fire code violations; items that, if left unrepaired over the next year, would result in serious damage to the building or its contents; and elements not compliant with federal accessibility regulations. These items should be undertaken on a priority basis taking precedence over routine preventive maintenance work.

Capital Work Items: Include items that are customarily repaired or replaced over several years due to economic considerations (e.g. paving, roofs, appliances), items which are currently in acceptable condition but will reach or exceed their useful economic service life during the term, and items that are periodic in nature but not considered normal maintenance (e.g. pavement seal coating, painting). Also included are significant energy-saving or operational improvements. These opinions of cost are generally based on industry-accepted life spans for these systems unless there are mitigating circumstances.

In addition, based on the Request for Qualifications/Proposals requirements, Marx|Okubo Associates, Inc. has assigned Facility Deficiency Priorities and Categories as follows:

Facility Deficiency Priorities:

- Priority 1 - Current Critical (Assigned to the Immediate Work items described above)
- Priority 2 - Potentially Critical
- Priority 3 - Necessary – Not Yet Critical
- Priority 4 - Recommended
- Priority 5 - Does not meet current codes/standards

Facility Deficiency Categories:

- Life Safety Code Compliance
- Building Code Compliance
- Building Integrity
- Appearance
- Energy
- Environmental

IMMEDIATE REPAIR COST

Prepared By: Marx|Okubo Associates, Inc.
 Building(s) Gross Area (S.F.): 908
 Property Age (Years): 16

Date Prepared: January 23, 2024

#	Item	QTY	Unit	Unit Cost	Replacement Percent	Immediate Total	Comments
ACCESSIBILITY							
1	ADA: At the men and women's multi-user restrooms, the center of the toilet is mounted below the range tolerance from the side wall and the door threshold exceeds the allowable height. Remount the toilets to the acceptable range and replace thresholds or modify finish surfaces to reduce effective threshold and meet compliance. Door thresholds to be addressed with site repairs and displacement.	2	EA				Priority 1 - Current Critical.
2	ADA: A lowered counter area is not provided at the concession stand. Provide a lowered counter area not exceeding 36" maximum from the finish floor.	1	EA				Priority 1 - Current Critical.
Total Repair Cost							

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CAPITAL RESERVE SCHEDULE

Prepared By: Marx|Okubo Associates, Inc.
 Building(s) Gross Area (S.F.): 908
 Property Age (Years): 16

Date Prepared: January 23, 2024
 Term: 10
 Inflation Rate: 4%⁴

Footnotes: ^{1 2 3 4}

Advisory Items are not included in the 10-year capital reserve schedule.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments
SITE																		
1	Building Integrity: Cracking and vertical displacement were observed throughout the cast-in-place concrete paths around the building. It was reported heaving around the site may be due to drainage related issues and than an engineer has been engaged for site remediation. A scope of work or budget has been not been provided for our review. It is recommended that the scope includes an investigation to review surface drainage from the sloped area directly west of the building, subsurface conditions and drainage capacity of the stormwater system around the site.	1	LS															Priority 2 - Potentially Critical.
2	Building Integrity : Based on the results and recommendations from the engineer investigation, perform the site repairs. Repair scope could include removing all sidewalks surrounding the building, excavating the area to verify subsurface, repairing subsurface conditions, providing new drainage system around the building site, and repouring all the sidewalks.	2,000	SF															Priority 2 - Potentially Critical.
3	A budget is provided for general contractor overhead, profit, and general conditions for the work associated with the sidewalk and subsurface repairs.	1	LS															
4	A budget is provided for architectural/engineering fees associated to the sidewalk and subsurface repairs.	1	LS															
5	A budget is provided for design and construction contingencies associated to the sidewalk and subsurface repairs.	1	LS															
ENVELOPE AND EXTERIOR																		
6	P Building Integrity: It was noted and reported that the original design of the pavilion excluded roof gutters and leaders. The lack of roof gutters and leaders may have contributed to the concrete paving heaving that has occurred around the building. Engage the services of a qualified professional engineer to design a roof gutter and leader system that connects to the site's stormwater system.	1	LS															Priority 2 - Potentially Critical.
7	Building Integrity: Based on the design by the qualified professional engineer, provide new gutters, leaders, and connect to the site's stormwater management system. Scope of work may include excavating and installing pipes around the perimeter of the building, and should be coordinated with the site repair work.	1	LS															Priority 2 - Potentially Critical.
8	P Building Integrity: localized areas of the trim work and soffits along the perimeter of the building have deteriorated, due to the paving heaving and missing gutters. Perform localized repairs, including replacing corroded soffit vents and replacing or reattaching displaced base and window trim work. Work to the building to be completed immediately after the site work has been finalized.	250	LS															Priority 3 - Necessary - Not Yet Critical.
9	A budget is provided for general contractor overhead, profit, and general conditions for the work associated with the envelope and exterior.	1	LS															
10	A budget is provided for architectural/engineering fees associated to the envelope and exterior work.	1	LS															
11	A budget is provided for design and construction contingencies associated to the envelope and exterior work.	1	LS															

1. Opinions of cost are based on limited observations of readily observable conditions and available documentation. Determination of actual costs require competitive bidding by qualified contractors on a scope of work that may require development of repair documents by a qualified engineer or architect.
 2. Marx|Okubo is not an environmental consultant or evaluator of pest infestation. Opinions of cost exclude abatement of hazardous materials or remediation of pest infestations unless otherwise noted.
 3. This cost table is a supplementary document to the report and should be reviewed in conjunction with the full report and exhibits.
 4. Marx|Okubo's standard inflation rate for the purposes of the Capital Reserve Schedule is 3%. At the request of the Town of Wilton, the rate has been adjusted to 4%.

#	Item	QTY	Unit	Unit Cost	EUL	EFF Age	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Total Cost	Comments															
INTERIOR IMPROVEMENTS																																	
12	Appearance: Interior finishes were observed to generally be in good condition. A phased replacement of interior improvements is recommended as conditions warrant due to wear and tear with age. The budget assumes approximately 20% of the total square feet. Interior finishes consist of painted gypsum wall and ceiling boards and painted concrete slabs.	180	EA																Priority 3 - Potentially Critical.														
MECHANICAL/ELECTRICAL/PLUMBING																																	
13	Building Integrity: The building has two 20-gallon electric water heaters. Each structure is equipped with one water heater. Replace the water heaters when they reach the end of their service life or as maintenance costs dictate. The budget includes a replacement in kind with the reuse of all associated piping and electrical wiring. The water heaters were manufactured by AO Smith.	2	EA																Priority 3 - Necessary - Not Yet Critical														
14	Building Integrity: Eversource provides electrical service to the building. The building does not have any history of infrared scans being performed. It is recommended to engage a qualified contractor to perform a preliminary infrared scan of the primary electrical distribution equipment to identify potential electrical system issues. Infrared scans are recommended to become part of the building's annual preventative maintenance in order to detect electrical issues.	1	EA																Priority 4 - Recommended														
Total (Uninflated)																																	
Inflation Factor (4.0%)																																	
Total (inflated)																																	

Evaluation Period:	
# of Square Feet:	
Reserve per Square Feet per year (Uninflated)	
Reserve per Square Feet per year (Inflated)	

2.0 EXHIBITS

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FLOOD PLAIN DETERMINATION REPORT

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MARX/OKUBO & ASSOCIATES - NORTHEAST : Insurance Report

DataVerify Flood Services

Determination Report

DATE: 11/16/23

Account Number: INS 97900589

**MARX/OKUBO &
ASSOCIATES - NORTHEAST**

Owner Name: 23-2104

Certified Street Address: 395 DANBURY ROAD, WILTON, CT 06897

Requester: Sarah Helmrich Phone#: 914-269-5700 Fax#: 914-269-5720

Policy Number: 231116155300075

Community Name: WILTON, TOWN OF

Community Status: Regular Program Type: Participating

Det ID: 300420116 Map Panel #: 09001C0383 F Community #: 090020 Panel Date: 06/18/10 Entry Date: 11/17/82

Det Date: 11/16/23 Flood Zone: X500 BFE: (Vertical Datum:) LOMA/LOMR DATE: 09/12/14

Areas between the limits of the base flood and the 0.2-percent-annual-chance (or 500-year) flood.

This flood determination is provided to the lender pursuant to the flood disaster protection act and for no other purpose. It does not create any private cause of action on behalf of the Policy Holder against DataVerify Flood Services.



Flood Zones Legend	 A Values	 X500 /SHX / B	 X / C
	 D / NMA	 V Values	 Street

Determination Id : 300420116
Certified Address : 395 DANBURY ROAD,
 WILTON, CT 06897
Flood Zone : X500
Base Flood Elevat : N/A
FEMA Map Panel Number : 09001C0383 F
FEMA Map Panel Eff. Date : 06/18/10
Coast CBRA Date :
LOMA LOMR Date : 09/12/14
Distance To 100/500 : 57.0 ft to AE
Flood Zone

DISCLAIMER: THIS MAP IMAGE IS PROVIDED AS A VISUAL AID WITHOUT ANY WARRANTIES OR GUARANTEES; IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS OR INSURED PROPERTY OWNERS AGAINST THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 YEAR FLOOD AREA IS AN APPROXIMATION CALCULATED FROM GEOCODING TECHNOLOGY AND IS NON-GUARANTEED.

PHOTOGRAPHS

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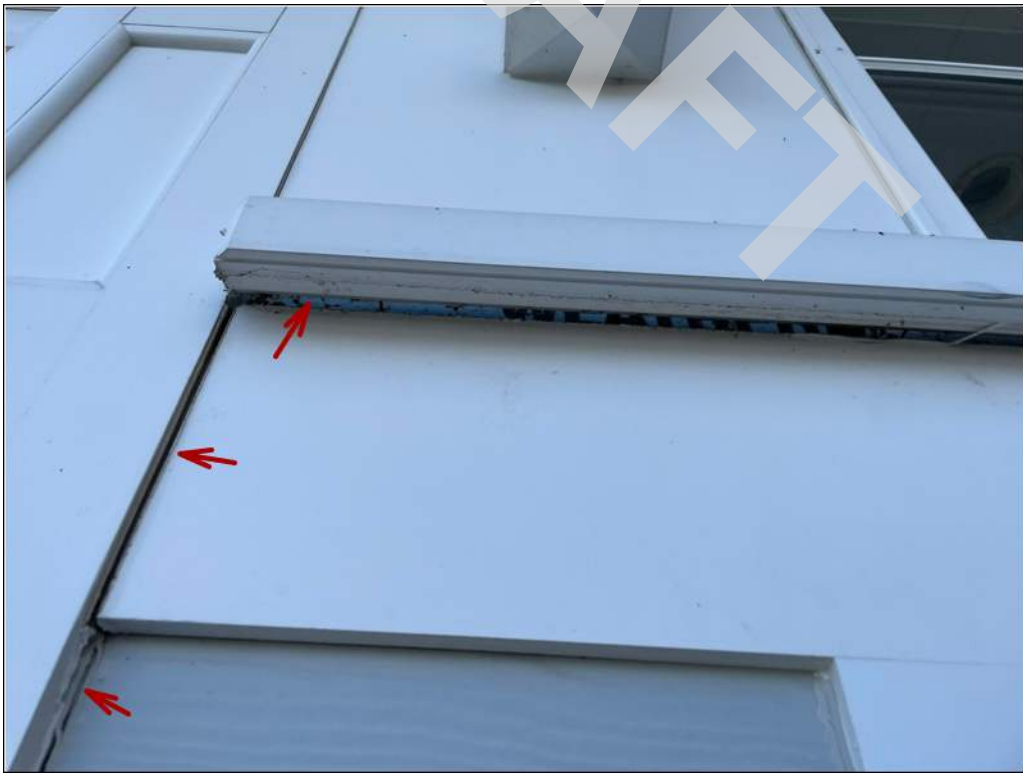
1 - Paving and landscape area along the north side of the building.



2 - Extensive cracking and vertical displacement was observed throughout the cast-in-place concrete paths.



3 - No gutters or leaders are provided throughout the building.



4 - Differential movement noted between fiber cement trim and panels throughout the building enclosure.



5 - Recessed lighting metal rings have corroded due to water and moisture exposure.



6 - Fiber cement base has displaced and detached from the facade.



7 - Interior kitchen finishes consist of painted gypsum board ceiling and boards and painted concrete slabs.



8 - Interior restroom finishes consist of painted gypsum board ceiling and boards and painted concrete slabs.



9 - Two electric storage-type water heaters provide hot water to the building.



10 - The restroom door threshold exceeds the allowable height.



11 - A lowered counter area is not provided at the concession stand.