

REQUEST FOR QUALIFICATIONS / PROPOSALS (RFQ/RFP)

FOR

ARCHITECTURAL / ENGINEERING SERVICES SCHOOL FACILITIES NEEDS ASSESSMENT

RFP/RFQ NUMBER #W-2023-11



August 4, 2023

ADDENDUM NO. 2

Addendum No.2 is being issued to all potential bidders to provide the items and attachments set forth herein which shall act to qualify, clarify, or otherwise modify the Documents previously issued regarding the above referenced project. These items, whether of omission, addition, substitution, or clarification, shall be incorporated into the proposals submitted by all proposers, and receipt of this document and its attachments must be acknowledged, either in the space provided on the Proposer's Form of Proposal. Failure to do so may subject the Proposer to disqualification.

1. Sign-In Sheet for Non-Mandatory Walk-Through conducted on Friday July 28, 2023.
2. Response to RFI No.1 submitted on 8/3/23.
3. Fee sheet included in the RFP is hereby Deleted, attached Fee sheet is to be utilized.
4. The Team Rooms and the Press Box at Veteran's Stadium will be added to

the Scope of Work.

- Press Box, 2007, 336sf
 - Team Rooms, 2007, 3,108sf
5. Drawings for the Press Box and Teams Rooms at Veterans Stadium.

All other terms and conditions of RFQ/RFP W-2023-11 remain the same.



Project: Architectural/Engineering Services
Facility Needs Assessment

Date: Friday, July 28, 2023

RFQ/RFP: W-2023-11

Walk Through Sign-In Sheet

Name	Firm/Company	Email	Phone
Tom Hiseard	HISEARD & POSE ARCHITECTS LLC	tom@hira.bz	860-961-2107
Bob Delagrangue	HOFFMANN ARCHITECTS + ENGINEERS	c.delagrangue@hoffmannarch.com	203-859-9730
RICHARD BOGGS	FUSS O'NEILL	RBOGGS@FUSSO.COM	203-347-3478
BARBARA GARDUS	GEDDIS ARCHITECTS	barbara@geddisarchitect.com	203 256 8700
STEVE HENNESSY	ANTINOZZI ASSOC	shennib@antinozzi.com	203 551 2445
EVAN PENNINGTON	STV INC	EVAN.PENNINGTON@STVINC.COM	203-515-0921
Emie Lawar	Sustainable Engineering Solutions	elawar@sustainable-eng.com	(860) 270-0413
Arthur Jeschke	Lethrop Associates Architects, Ofc PC	jeschke@lethrop-associates.com	914 741-1115
Sam Kemp	MARX OKUBO	samuel_kemp@marxokubo.com	914 924 8095

RFI No. 1

Written Questions

for Wilton Facilities Needs Assessment-Town Buildings RFP/RFQ #W-2023-11

To be sent via email to: jeff.pardo@wiltonct.org

Jeff Pardo no later than Friday, August 4, 2023 at 4PM.

1. Volunteer Ambulance Corps is not listed in the RFP, but there are questions and scope described to examine new locations for this function. Should this be added to the fee breakdown?

Response: See revised fee sheet

2. Priority 1 includes "cited safety hazards" Does this mean there are hazards that were previously documented by code officials? If so, by whom? Can a full list be provided?

Response: Safety inspections have been performed by the Towns Safety Inspection Team on all Town buildings. Some of the items cited in the reports have been completed. These reports will be made available to the firm selected by the Town.

3. Are there existing hazardous materials test reports for any of the buildings? Our team could include environmental/hazmat personnel to walk through each building and identify risks and potential costs that warrant further testing and investigation. Or we could identify that as an optional additional service. Is that an appropriate approach given your current information and needs?

Response: There are reports on some of the buildings, all available reports will be made available to the firm selected by the Town. The RFP indicates the age of the buildings and renovations that have occurred. Based on the age of the buildings, hazardous materials will be present in many of the buildings. The scope does not include hazardous material inspection, but the cost to perform inspections and potential abatement needs to be included in the assessments.

4. The RFP is identified as a Facility Needs Assessment, but the scope reads more as a Property Condition Assessment in that it focuses more on building conditions than program needs. Does the town already have a listing of program needs that the nine buildings are expected to accommodate, or do we need to assemble one as part of the scope of this effort? It was mentioned that you will expect the A/E to talk with each of the Department Heads during this effort. This can be at any number of different levels of discussion that range from high level brief overviews to details. Please clarify the level of program information you can provide and how much you wish the A/E to derive from discussions.

Response: The intent of the RFP is to focus on facilities assessment more than program needs. However, the consultant will interview Directors and Department Heads in understanding their needs since many of the buildings are at capacity or have exceeded capacity. The scope of the RFP is not for the consultant to prepare designs, but to make recommendations toward the maintenance and renovations of the buildings with cost estimates over the next 10 years. Each year, if funding is approved to address the needs described in the facilities assessment, an RFP will be prepared to hire a consultant to prepare designs and contract documents so that specific need can be addressed through a competitive Bid.

7. The fee breakdown in Appendix D does not align perfectly with the scope (including as described in Question #1 above). Additionally, there is an economy of scale that can be realized if we review multiple buildings rather than one, but the breakdown asks for a cost for each building separately. What is the town's preference for presentation of potential fee discounts for multiple properties on the town hall site as the key example, then Comstock and the others separate?

Response: The Town will be entering into an agreement with just one consultant, the Needs Assessment will not be broken up into multiple different consultants. The Fee Proposal is for the Town to understand the costs for each building and to manage payments while the work is being performed by the consultant.

8. Will a single consultant be hired for the entirety of the project, or is there a chance the buildings will be divided up among multiple firms?

Response: Only one consultant will be hired.

9. We routinely provide opinions of probable cost and remaining useful life estimates for our Property Condition Assessments, but the language in the RFP suggests something more precise and detailed. We anticipate utilizing a professional estimator as part of our team for this effort. Please confirm this is appropriate for your current needs.

Response: An independent estimator would be appropriate, however, if a consultant is proficient at preparing estimates, then that service could be performed in house.

10. You have provided a copy of the drawings the Town has on these sites. You write that "the consultant will verify all dimension and conditions and prepare the necessary CAD fields..." That is not typical or practical in this kind of Assessment with a five week schedule of investigation and documentation.

Response: The Town does not have every drawing of every building or the latest renovations. The consultant will need to verify that the information provided is correct.

11. If it becomes obvious that measured as built drawings would be helpful. We can offer that as an additional subcontractor.

As one example, if Town Hall does indeed require field measurements of the building, inside and outside to assess feasibility of adding a second floor,, elevators and stairs etc. we can provide a separate cost for such a measuring service. Do you want such an option as an additional line item now? That may also be true for the ANNEX/Dog Pound structure. That may also be true for Comstock. Please advise if Wilton would find receiving digitized, fully measured, as built drawings useful. It would be a subcontractor. The Town could engage directly or the AE can as a pass through. Our clients have found it most helpful. It does take 4-6 weeks by itself to produce documents. It may also be better later as the capital projects are identified since not every building will need this level of detail.

Response: If it is necessary for the consultant to prepare as-builts, then that work needs to be included in the fee. As-builts may not be required depending on the accuracy of the information the Town currently has. The firm(s) hired to prepare the designs and construction documents will be expected to prepare all required drawings on CADD.

APPENDIX D: Fee Proposal Form

The following Fee is proposed to perform the duties, responsibilities and obligations as described in this RFQ/RFP. The project shall be completed under a lump sum fee arrangement as follows.

Fee breakdown:

Town Hall

Investigation, Survey and Documentation \$ _____

Preliminary Needs Assessment \$ _____

Final Report \$ _____

Sub-total cost \$ _____

Annex Building/Animal Shelter

Investigation, Survey and Documentation \$ _____

Preliminary Needs Assessment \$ _____

Final Report \$ _____

Sub-total Cost \$ _____

Fire Headquarters

Investigation, Survey and Documentation \$ _____

Preliminary Needs Assessment \$ _____

Final Report \$ _____

Sub-Total Cost \$ _____

Highway Garage

Investigation, Survey and Documentation \$ _____

Preliminary Needs Assessment \$ _____

Final Report \$ _____

Sub-total Cost \$ _____

Fire Station No. 2

Investigation, Survey and Documentation \$ _____

Preliminary Needs Assessment \$ _____

Final Report \$ _____

Sub-total Cost \$ _____

Merwin Meadows Restroom Facility

Investigation, Survey and Documentation	\$ _____
Preliminary Needs Assessment	\$ _____
Final Report	\$ _____
Sub-total Cost	\$ _____

Merwin Meadows Barn

Investigation, Survey and Documentation	\$ _____
Preliminary Needs Assessment	\$ _____
Final Report	\$ _____
Sub-total Cost	\$ _____

Comstock Community Center

Investigation, Survey and Documentation	\$ _____
Preliminary Needs Assessment	\$ _____
Final Report	\$ _____
Sub-total Cost	\$ _____

Veteran’s Memorial Stadium Restroom and Concession Stand

Investigation, Survey and Documentation	\$ _____
Preliminary Needs Assessment	\$ _____
Final Report	\$ _____
Sub-total Cost	\$ _____

Veteran’s Memorial Stadium Team Rooms and Press Box

Investigation, Survey and Documentation	\$ _____
Preliminary Needs Assessment	\$ _____
Final Report	\$ _____
Sub-total Cost	\$ _____

Town Hall Complex Master Plan

(Including evaluation of building expansions and possible relocation of the Ambulance Corp)

Sub-Total Cost	\$ _____
Total Cost	\$ _____
Reimbursables (Not To Exceed)	\$ _____

Facilities Needs Assessment – Town Buildings
Wilton Connecticut
RFQ/RFP W-2023-11 Architectural/Engineering Services
Addendum No. 2

Acknowledgment of Addenda:

Addendum No. 1 _____

Addendum No. 2 _____

Addendum No. 3 _____

Addendum No. 4 _____

Company Name: _____ Date: _____

Address: _____

Name of Submitter: _____ Title: _____

Phone: _____ Email: _____

Authorized Signature: _____

SOUTH FIELDS - VETERANS MEMORIAL STADIUM

WILTON ATHLETIC FIELD COMPLEX AT WILTON HIGH SCHOOL

WILTON, CONNECTICUT

5 JUNE 2006 (BID DOCUMENTS)

GENERAL NOTES

- LOCATIONS OF ALL UTILITIES AND SUBSURFACE STRUCTURES WERE DETERMINED FROM VARIOUS SOURCES AND BY LIMITED OBSERVATIONS MADE IN THE FIELD AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION AND ARE INDICATED ON THESE DRAWINGS TO GIVE THE CONTRACTOR A GENERAL IDEA OF EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL CALL 1-800-922-4455 "CALL BEFORE YOU DIG" TWO DAYS BEFORE BEGINNING ANY EXCAVATION AT THE SITE.
- PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE. ACTIVE UTILITY LINES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE OWNER AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL SUBSURFACE UTILITIES PRIOR TO THE START OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION OPERATIONS WITHIN AND OUTSIDE OF THE LIMITS OF WORK AS SHOWN ON THE PLANS.
- SILTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY PRIOR TO THE START OF GRADING AND MAINTAINED UNTIL ALL GROUND SURFACES ARE STABILIZED I.E. WITH TURF, PAVEMENTS, ETC.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN BARRICADES, WARNING LIGHTS, SIGNS, ETC., AS REQUIRED FOR THE SAFETY OF PERSONNEL, THE PUBLIC AND OCCUPANTS OF THE FACILITIES AFFECTED BY THE CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AND EGRESS PATTERNS AS DIRECTED BY OWNER.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE STATE OF CONNECTICUT D.O.T. STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 816, LATEST EDITION, UNLESS OTHERWISE SPECIFIED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, AND SUPERVISION TO CONSTRUCT THE PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- THE CONTRACTOR SHALL CAREFULLY SAWCUT EXISTING PAVEMENTS PRIOR TO REMOVAL. ALL EXISTING PAVEMENTS AND OTHER AMENITIES THAT MAY INTERFERE WITH THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/OWNER'S REPRESENTATIVE.
- NEW WORK SHALL BLEND SMOOTHLY WITH EXISTING GRADES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ALL DEBRIS AND EXCAVATED MATERIAL FROM THE SITE AREA.

1. IN ACCORDANCE WITH SECTION 8-3(4) OF THE CONNECTICUT GENERAL STATUTES, ALL WORK IN CONNECTION WITH THIS SITE DEVELOPMENT PLAN SHALL BE COMPLETED WITHIN FIVE (5) YEARS AFTER THE APPROVAL OF THE PLAN. SAID FIVE-YEAR PERIOD SHALL EXPIRE ON MARCH 30, 2011.

2. *FOR CONDITIONS OF APPROVAL FOR SPECIAL PERMIT, SEE WILTON PLANNING AND ZONING RESOLUTION #0306-2P.*

ISSUED FOR BIDDING



Site Location Map
(Not to Scale)

DRAWING LIST:

- | | |
|-------|--|
| C.01 | Existing Conditions |
| L.01 | Construction Phasing Plan |
| L.02 | Construction Access and Staging Plan |
| L.03 | Existing Conditions, Removals, Sediment & Erosion Control Plan - 1 |
| L.04 | Existing Conditions, Removals, Sediment & Erosion Control Plan - 2 |
| L.05 | South Fields Layout Plan - 1 |
| L.06 | South Fields Layout Plan - 2 |
| L.07 | Veterans Memorial Stadium Layout Plan |
| L.07A | Home-Side Grandstand Enlargement Plan |
| L.07B | Visitor-Side Grandstand Enlargement Plans |
| L.08 | Grading, Drainage and Utility Plan - 1 |
| L.09 | Grading, Drainage and Utility Plan - 2 |
| L.09A | Grading, Drainage and Utility Plan - 3 |
| L.10 | Irrigation Plans - 1 |
| L.11 | Irrigation Plans - 2 |
| L.12 | Irrigation Details |
| L.13 | Sediment and Erosion Control Details |
| L.14 | Varsity & Jr. Varsity Baseball Layout |
| L.15 | Varsity & Jr. Varsity Softball Layout |
| L.16 | Baseball & Softball Field Details |
| L.17 | Backstops and Fencing Details |
| L.18 | Veterans Memorial Stadium Details-1 |
| L.18A | Veterans Memorial Stadium Details-2 |
| L.18B | Veterans Memorial Stadium Details-3 |
| L.19 | Site Details - 1 |
| L.20 | Site Details - 2 |
| L.21 | Site Details - 3 |
| L.22 | Home-Side Grandstand Seating Plan (*) |
| L.23 | Home-Side Grandstand Foundation Plan |
| L.24 | Home-Side Grandstand Section (*) |
| L.25 | Home-Side Grandstand and Press Box Section (*) |
| L.25A | Home-Side Grandstand Press Box Plan, Details & Notes (*) |
| L.26 | Visitor-Side Grandstand Seating Plan (*) |
| L.27 | Visitor-Side Grandstand Foundation Plan |
| L.28 | Visitor-Side Grandstand Section (*) |
| L.29 | Visitor-Side Grandstand End Elevation (*) |
| L.30 | Musco Sports Lighting Details - 1 (**) |
| L.31 | Musco Sports Lighting Details - 2 (**) |
| L.32 | Musco Sports Lighting Details - 3 (**) |
-
- | | |
|------|---|
| S.00 | Structure General Notes |
| S.01 | Team Room Foundation Plan |
| S.02 | Team Room Foundation Details |
| S.03 | Team Room Framing Plan (Not Included In Contract) |
| S.04 | Team Room Framing Details (Not Included In Contract) |
-
- | | |
|------|---|
| A.01 | Team Room Building Plan (Not Included In Contract) |
| A.02 | Team Room Building/Grandstand Elevation (Team Room Not Included In Contract) |
| A.03 | Blue Storage Building Renovations |
| A.04 | Softball Press Box and Storage Room Details |
| A.05 | Softball Press Box Stair Details |
| A.06 | Softball Press Box Plan, Details & Notes |
| A.07 | Dugout Plans & Elevations |

- (*) Indicates drawings that are included for installation coordination purposes with grandstand installation by separate Town Contractor.
- (**) Indicates drawings that are included for installation coordination purposes with electrical and sports lighting installation by separate Town Contractor.

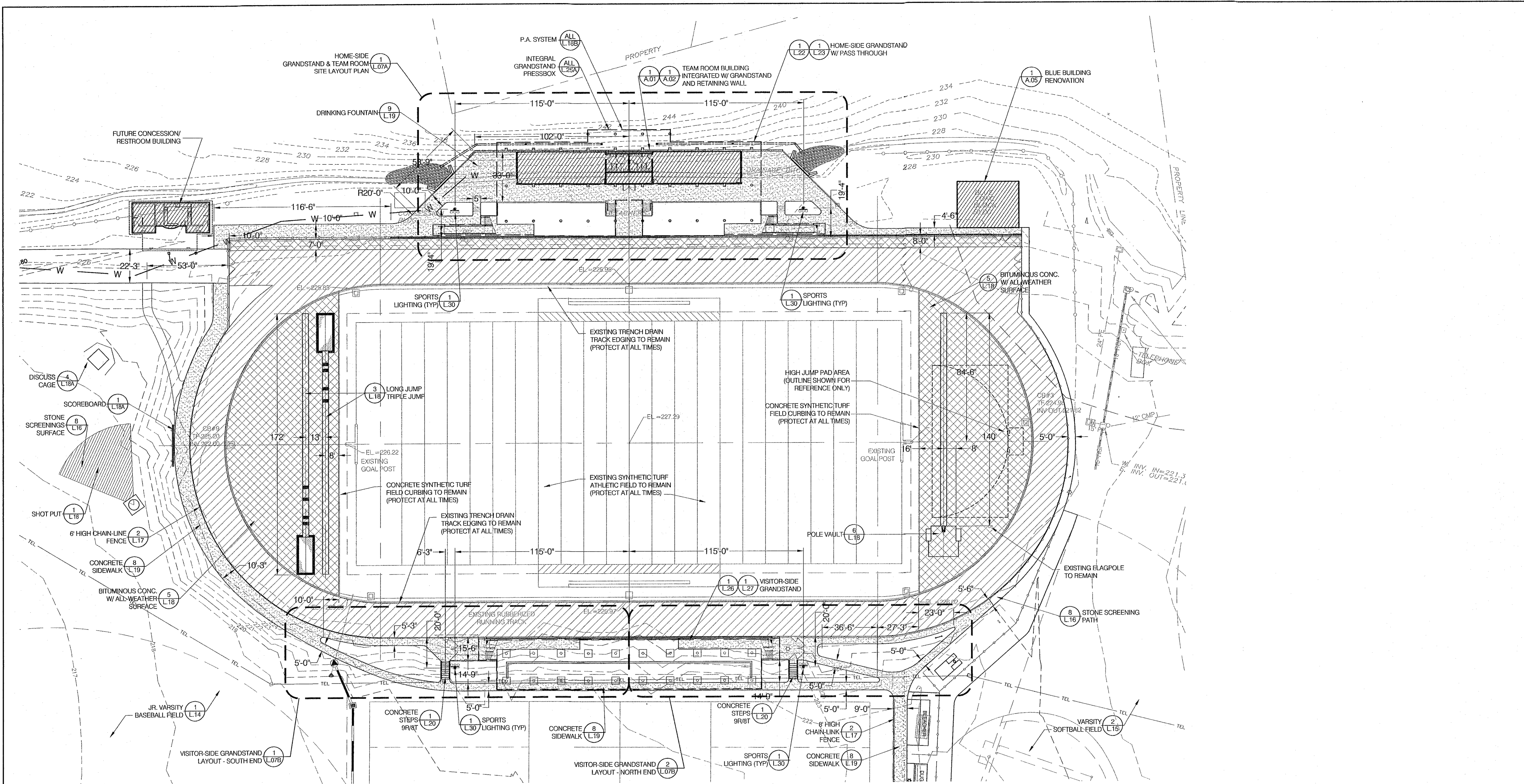
LAND USE APPROVALS
HEALTH
WETLANDS
EROSION
ZONING

ZONING ENFORCEMENT OFFICE
JUL 31 2006

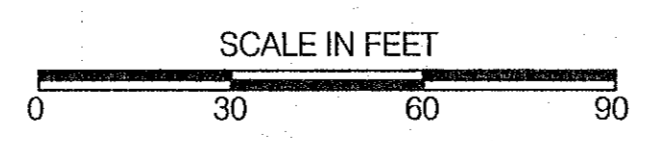
DOCUMENT
REVIEWED BY: *MC*
INLAND WETLANDS OFFICE
DATE: 7/31/06
WET1441

PREPARED BY:

VOLLMER ASSOCIATES LLP
2321 Whitney Avenue
Hamden, CT 06518-3510
Tel: 203.281.1350
Fax: 203.281.1470



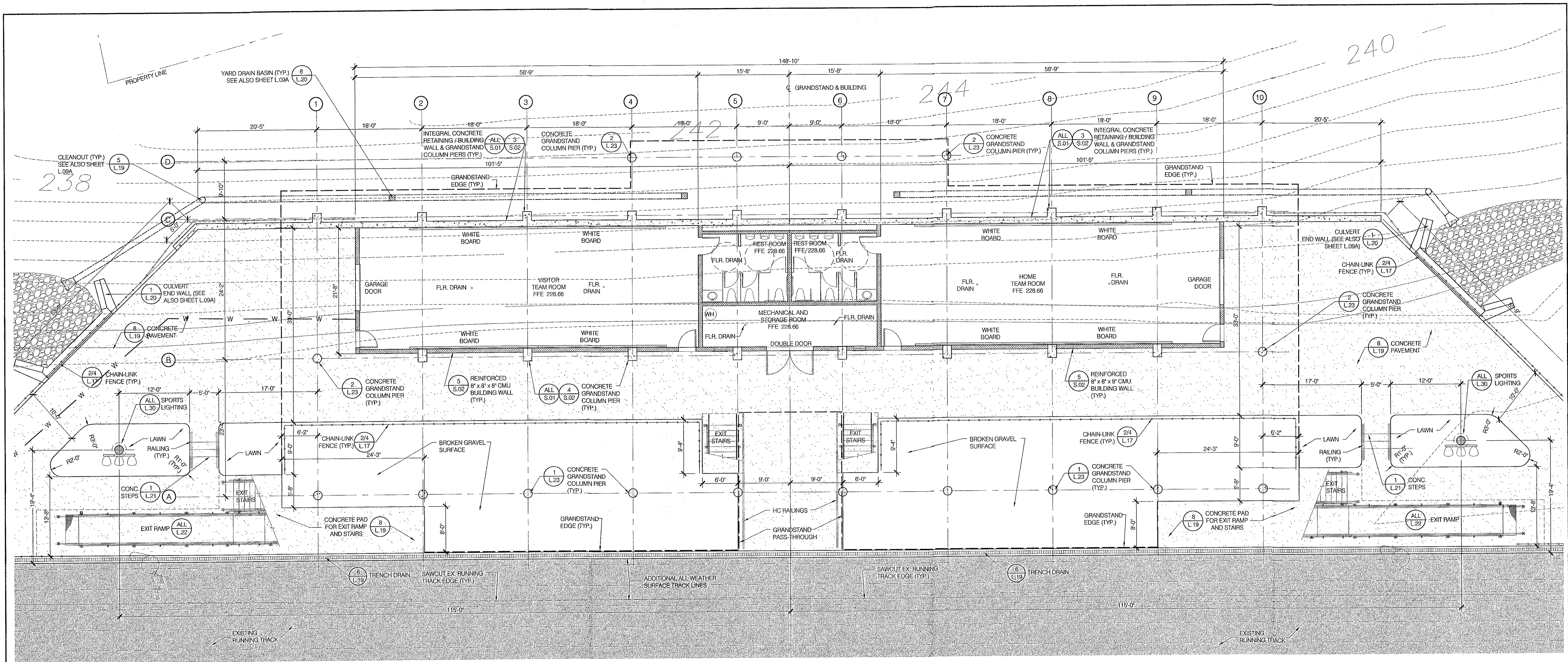
1 MEMORIAL STADIUM LAYOUT
 L.07 SCALE: 1" = 30'-0"



VOLLMER ASSOCIATES LLP
 2321 Whitney Avenue
 Hamden, CT 06518-3510
 Tel: 203.281.1350
 Fax: 203.281.1470

NO.	REVISIONS / DESCRIPTION	DATE

SOUTH FIELDS - VETERANS MEMORIAL STADIUM RENOVATIONS WILTON ATHLETIC FIELDS COMPLEX, WILTON, CT			
VETERANS MEMORIAL STADIUM LAYOUT PLAN			
DESIGNED BY	TAH	SCALE	AS NOTED
DATE	5 JUNE 2006		
DRAWN BY	ADC, SH, EC	CADD FILE	200472900\DRAWINGS\07 MEMORIAL STAD LAYOUT.DWG
CHECKED BY		JOB NO.	2004-729-00
		SHEET	L.07 OF 45 SHEETS



1 HOME-SIDE GRANDSTAND AND TEAM ROOM SITE LAYOUT PLAN
 L.07A SCALE: 1/8" = 1'-0"

2004729000DRAWINGSDETAILS131050-TEAMROOMS-REV.DWG

NOTES

- SEE SHEETS S.01 & S.02 FOR TEAM ROOM BUILDING & GRANDSTAND FOUNDATION PLAN AND DETAILS.
- SEE SHEETS S.03 & S.04 FOR TEAM ROOM BUILDING FRAMING PLAN AND DETAILS.
- SEE SHEETS L.22 & L.23 FOR GRANDSTAND LAYOUT & FRAMING PLANS SEE SHEETS L.24 & L.25 FOR GRANDSTAND FRAMING DETAILS. (GRANDSTAND FOUNDATION WORK IS INCLUDED IN THIS CONTRACT. OTHER GRANDSTAND INSTALLATION WORK IS NOT INCLUDED IN THIS CONTRACT, EXCEPT TO COORDINATE THE INSTALLATION OF THE GRANDSTANDS WITH THE CONTRACTOR'S OWN WORK)

ZONING ENFORCEMENT OFFICE
 JUL 31 2006

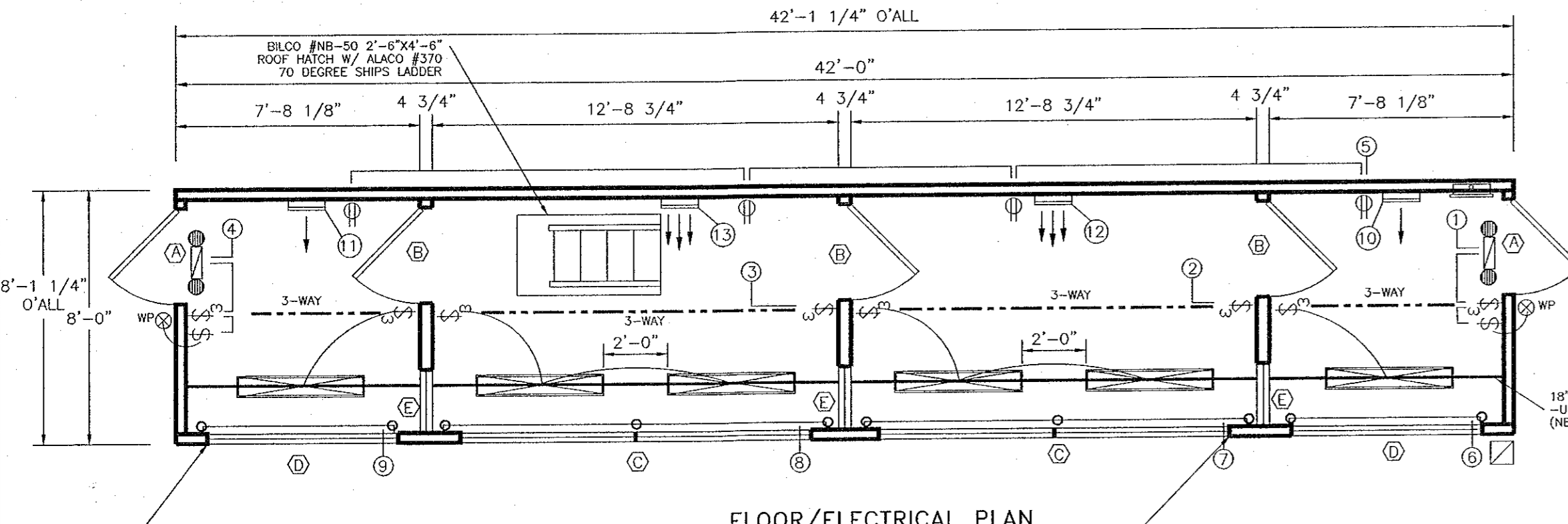
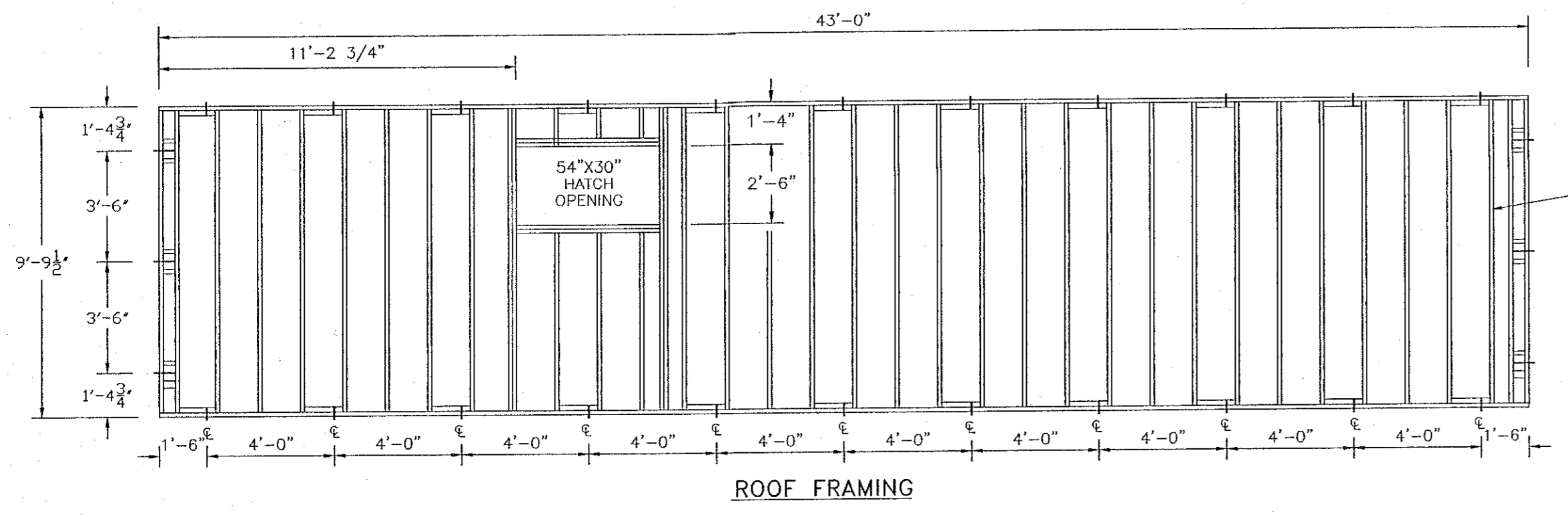
VOLLMER ASSOCIATES LLP
 2321 Whitney Avenue
 Hamden, CT 06518-3510
 Tel: 203.281.1350
 Fax: 203.281.1470

NO.	REVISIONS / DESCRIPTION	DATE

SOUTH FIELDS - VETERANS MEMORIAL STADIUM RENOVATIONS
 WILTON ATHLETIC FIELDS COMPLEX, WILTON, CT

HOME-SIDE GRANDSTAND ENLARGEMENT PLAN

DESIGNED BY	DB, TAH	SCALE	AS NOTED	DATE	5 JUNE 2006
DRAWN BY	DB	CADD FILE	2004729000DRAWINGS\LO7A-HOME-SIDE LAYOUT.DWG		
CHECKED BY	ME	JOB NO.	2004-729-00	SHEET	L.07A OF 45 SHEETS



ELECTRICAL LEGEND

LITHONIA #M-232-PC1S-120-GE2 (2) 4" TUBE FLUORESCENT LIGHT WITH PARABOLIC DIFFUSERS

LITHONIA #LHOM SW3R120 EMERGENCY COMBINATION EXIT/FLOOD LIGHT W/ MINIMUM 90 MIN. BATTERY BACK-UP (WALL MOUNT)

COOPER #LFE13PCW 13 WATT FLUORESCENT EXTERIOR LIGHT FIXTURE W/ PHOTO CELL (WATERPROOF)

PASS & SEYMOUR #870 SPEC. GRADE, GROUNDING TYPE, SWITCH (ALMOND)

PASS & SEYMOUR #873 SPEC. GRADE, GROUNDING TYPE, 3-WAY SWITCH (ALMOND)

PASS & SEYMOUR #3232-LA SPEC. GRADE, GROUNDING TYPE, RECEPT (ALMOND)

-OFF WHERE NOTED
-UP 18" UNLESS NOTED

ELECTRICAL DISTRIBUTION LOAD CENTER W/ MAIN DISCONNECT-120/240V, 2-POLE, 3-WIRE, SINGLE PHASE, 100 AMP CAPACITY, SQ. D. #Q0112M100 W/ (1) 1-1/2" CONDUIT THRU FLOOR W/ (1) 3/4" CONDUIT THRU FLOOR

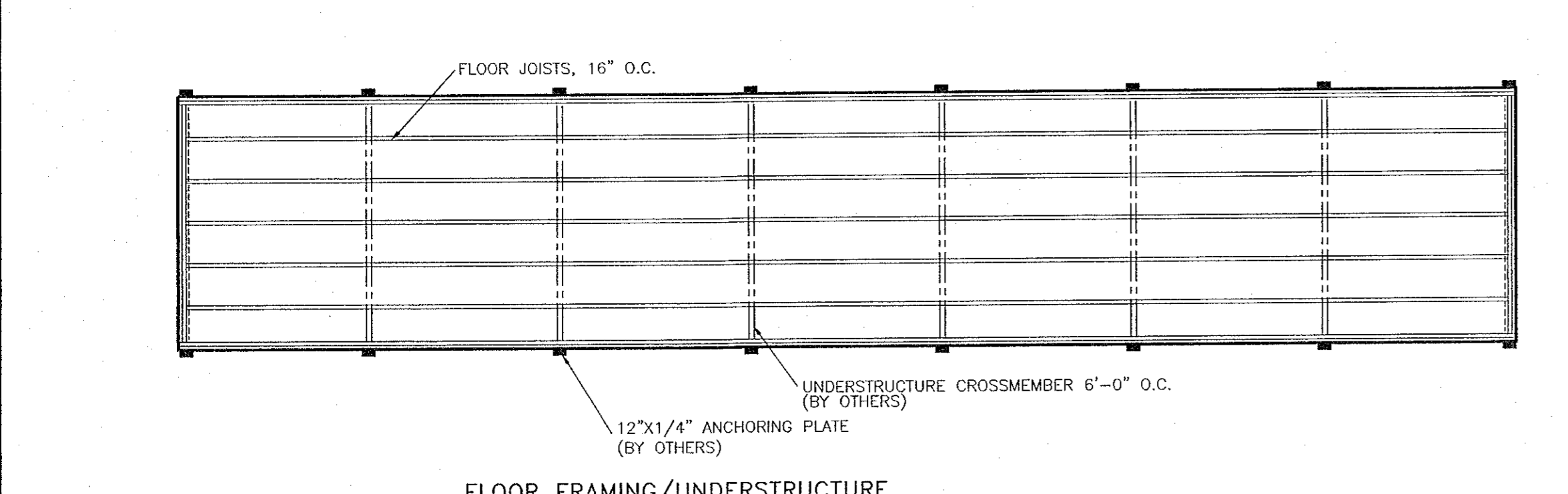
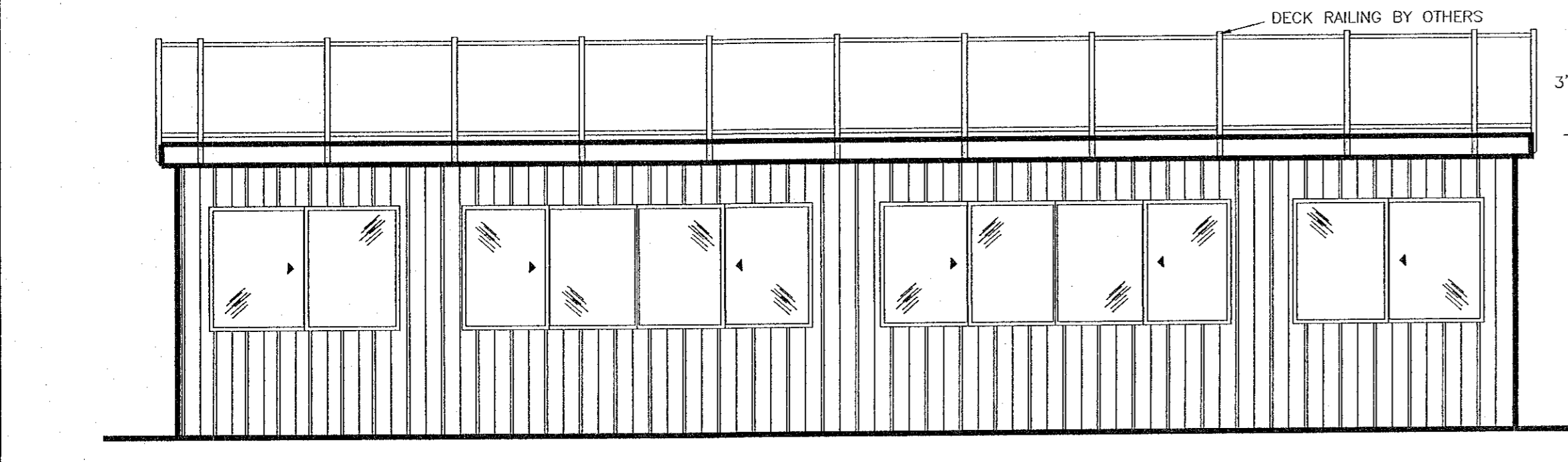
SINGLE GANG BELL BOX FASCIA MOUNTED W / 3/4" CONDUIT TO ENTRANCE PANEL FOR FUTURE USE

BROAN #194 ELECTRIC FORCED AIR HEATER, 3,000 WATT CAPACITY

BROAN #192 ELECTRIC FORCED AIR HEATER, 2,000 WATT CAPACITY

WIEMOLD #5400 SERIES ELECTRIC PLUG STRIPS W/ RECEPTS AND COMMUNICATION JACKS 48" O.C. AND 3/4" CONDUIT THRU FLOOR AT END-UP 14"

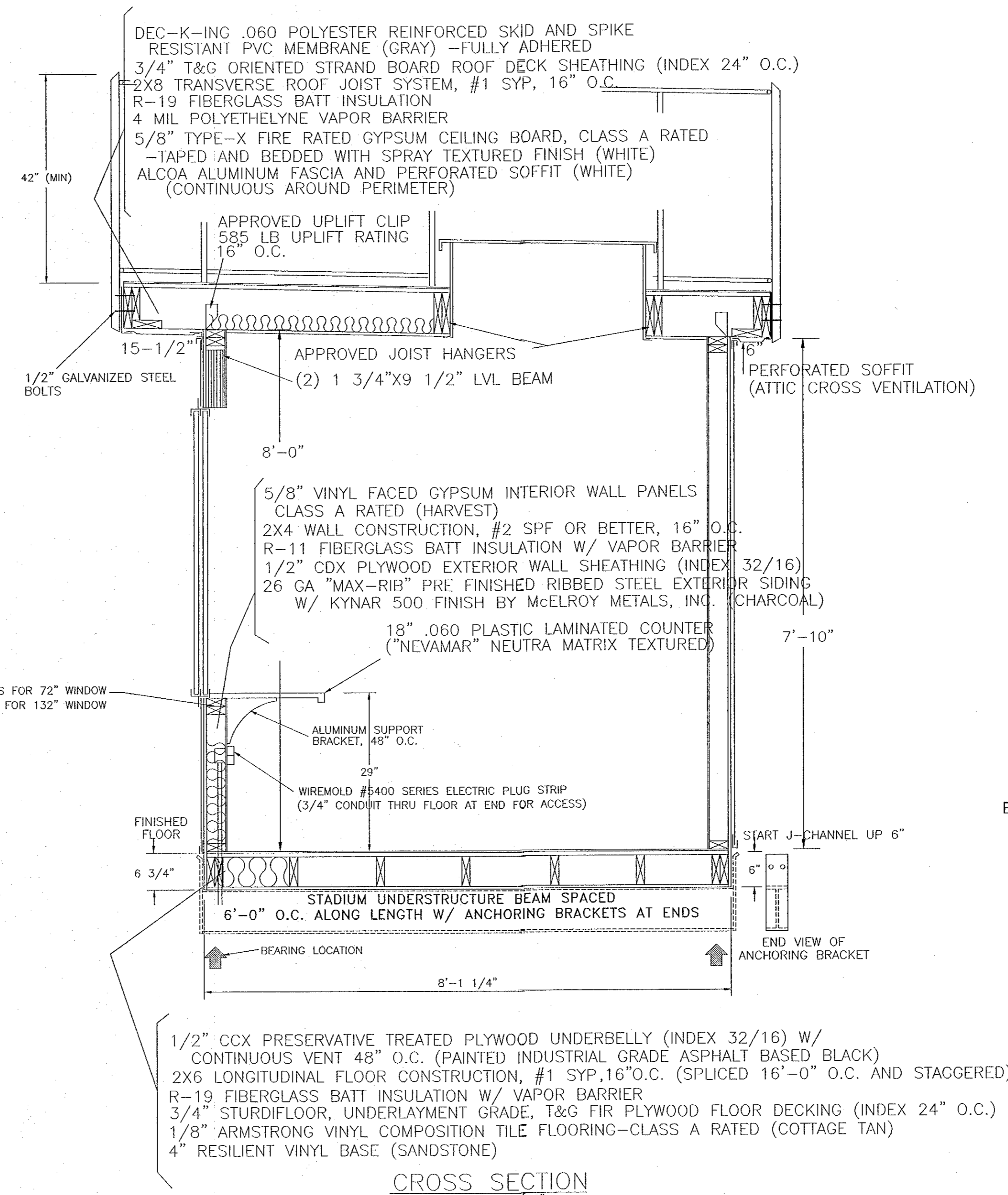
2 1/2" GROMMETED HOLE THRU COUNTER-72" O.C.



APPROVED FOR PRODUCTION DATE

Return approved drawing as soon as possible, so that production can be scheduled.

NOTE: Manufacturer not responsible for local permits and occupancy requirements.



NOTE: ALL NUMBERS ON ELECTRICAL CIRCUITS DESIGNATE FEED SIDE OF CIRCUIT
ALL BRANCH CIRCUIT WIRING TO BE ENCASED IN THIN WALL EMT CONDUIT-MIN 12 GA THIN WIRE
ELECTRICAL DISTRIBUTION LOAD CENTER W/ MAIN DISCONNECT-120/240V, 2-POLE, 3-WIRE, SINGLE PHASE, 100 AMP CAPACITY, SQ. D. #Q0112M100 W/ (1) 1-1/2" CONDUIT THRU FLOOR W/ (1) 3/4" CONDUIT THRU FLOOR

64 AMPS @ 240 VOLTS

No	AMP	VOLT	WIRE	DESCRIPTION	WATTS
1-4	20	120	12 THHN	GENERAL AND EMERGENCY LIGHTING	1470
5	20	120	12 THHN	GENERAL RECEPTS	720
6-9	20	120	12 THHN	PLUG STRIPS	3240
10-11	20	240	12 THHN	#192 BROAN HEATER	4000
12-13	20	240	12 THHN	#194 BROAN HEATER	6000
					15430

DOOR/WINDOW SCHEDULE

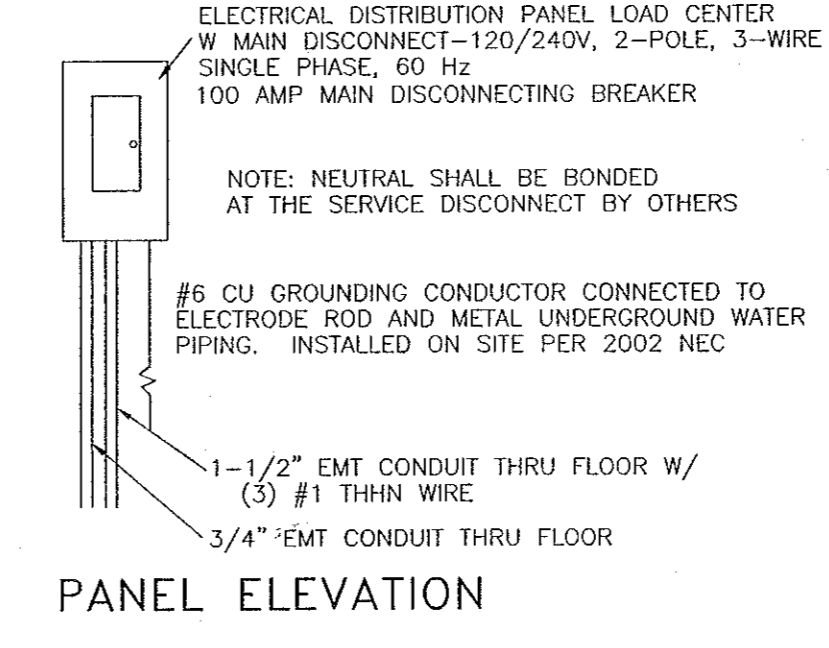
(A) 36"x80" "CHALLENGE" INSULATED STEEL CLAD DOOR W/ WOOD JAMBS, WEATHERSTRIPPING, H.D. RETENTION CHAIN, ALUMINUM THRESHOLD, 16" WINDOW - PAINT TO MATCH SIDING AND KEYS LEVER HANDLED LOCKSET (WINDOW TO BE SAFETY GLASS) (ADA THRESHOLD)

(B) 36"x80"x1 3/8" SOLID-CORE STAINED BIRCH PRE-HUNG INTERIOR DOOR W/ MATCHING WOOD JAMB AND CASING, 1 1/2" PAIR MORTISED BUTT HINGES, AND LEVER HANDLED PASSAGE LOCKSET.

(C) 132"x48" MILGARD #5120 "CLASSIC SERIES" VINYL HORIZONTAL SLIDER WINDOW W/ 1" INSULATED TEMPERED SAFETY GLASS AND SCREENS-WHITE

(D) 72"x48" MILGARD #5120 "CLASSIC SERIES" VINYL HORIZONTAL SLIDER WINDOW W/ 1" INSULATED TEMPERED SAFETY GLASS AND SCREENS-WHITE

(E) 24"x44"x1/4" LAMINATED SAFETY GLASS PICTURE WINDOW --MOUNT AT FRONT WINDOW HEADER HEIGHT



PRELIMINARY
NOT FOR CONSTRUCTION

DESIGN CODES

1996 BOCA NATIONAL BUILDING CODE W / 1999 CONNECTICUT SUPPLEMENT W / 2000 & 2004 AMENDMENTS

1998 CABO/ANSI A117.1

2002 NATIONAL ELECTRICAL CODE W / 1999 CONNECTICUT SUPPLEMENT W / 2000 & 2004 AMENDMENTS

1997 NFPA 101 LIFE SAFETY CODE W/ 1997 SUPPLEMENTS

1999 STATE FIRE SAFETY CODE SUPPLEMENT

2003 INTERNATIONAL ENERGY CONSERVATION CODE W / 1999 CONNECTICUT SUPPLEMENT W / 2000 & 2004 AMENDMENTS

DESIGN SPECIFICATIONS

ROOF LIVE LOAD: 50 PSF

FLOOR LIVE LOAD: 100 PSF

OCCUPANCY GROUP: B

CONSTRUCTION TYPE: V-B

OCCUPANCY LOAD: 28 PERSONS

HORIZONTAL WIND: 25.6 PSF (EXPOSURE C), 100 MPH

SEISMIC LOAD: Av = 0.15, CATEGORY "C"

GENERAL/STRUCTURAL

MAX. ALLOWABLE BUILDING HEIGHT SHALL BE 30 FT. PER TABLE 503 OF 1996 BOCA NATIONAL BUILDING CODE

RAILINGS & GUARDS ARE SUPPLIED AND INSTALLED BY OTHERS ON SITE AND ARE SUBJECT TO INSPECTION BY LOCAL OFFICIALS HAVING JURISDICTION

INTERIOR PARTITIONS TO BE CONSTRUCTED TO WITHSTAND A 5 PSF HORIZONTAL FORCE (TESTED W/ MATERIALS SUSPENDED FROM NON-COMBUSTIBLE BACKING)

EXTERIOR BRACING PROVIDED BY 1/2" CDX AND GLUED W/ APPROVED PVA GLUE AT ALL STUD TO ENDWALL CONNECTIONS

APPROVED DATA PLATE AND THIRD PARTY LABEL TO BE LOCATED ON MAIN ENTRANCE PANEL ON SITE STRUCTURE TO MEET THE FOLLOWING

UPLIFT RATING FROM I-BEAM TO SUPPORT AND RESIST 1600 LBS @ 6'-0" O.C.

RATING OF HORIZONTAL CONNECTION TO BE A MINIMUM OF 1750 LBS @ 6'-0" O.C.

BEARING SUPPORT OF THE PERIMETER I-BEAM TO HAVE MIN. CAPACITY OF 6000 LBS @ 6'-0" O.C.

PANELING AND SHEATHING ON END WALLS TO BE FULLY GLUED AND STAPLED W/ NO SEAMS AT WINDOW LOCATIONS

BUILDING CODE

ATTIC VENTILATION SHALL NOT BE LESS THAN 1/150 OF THE HORIZONTAL AREA TO BE VENTILATED.

THE BUILDING EXTERIOR AND ALL FACILITIES WITHIN THE BUILDING SHALL BE IDENTIFIED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.

BUILDER/DEALER SHALL BE RESPONSIBLE FOR ON SITE BARRIER FREE PROVISIONS: BUILDING APPROACH SHALL HAVE A MINIMUM WIDTH OF 5' AND A GRADIENT OF NOT MORE THAN A FOOT IN 20 FOOT.

ALL LOCKS TO BE UNLOCKABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.

CORROSION RESISTANT FLASHING AT TOP AND SIDES OF DOORS, WINDOWS, AND AT ROOF PENETRATIONS.

ALL GLAZING WITHIN A 24" ARC OF VERTICAL DOOR EDGES IN THE CLOSED POSITION TO BE SAFETY GLAZED AND MARKED SO.

INTERIOR FINISH SHALL BE CLASS III OR BETTER

RESTROOM AND HANDICAPPED RESTROOM FACILITIES ARE TO BE PROVIDED IN AN ADJACENT BUILDING LOCATED ON THE SAME PROPERTY HAVING ADEQUATE FACILITIES TO HANDLE THE ADDITIONAL OCCUPANT LOAD CREATED BY THE ADDITION OF THIS BUILDING TO THE SITE. THE LOCAL OFFICIAL HAVING JURISDICTION SHALL VERIFY THE EXISTENCE OF THESE FACILITIES.

THE MINIMUM SEPARATION OF THE UNIT FROM ANY PROPERTY LINE OR ASSUMED PROPERTY LINE IS 15 FT.

ELECTRICAL

ALL WIRING TO BE ENCASED IN THIN ALL EMT CONDUIT MIN. 12 THIN COPPER WIRE ALL RECEPTACLES TO BE GROUNDING TYPE.

MAIN PANEL TO BE MARKED SUITABLE FOR USE AS SERVICE EQUIPMENT, AND BE EQUIPPED WITH BREAKER/FUSE TYPE OVER CURRENT PROTECTION.

PROPER THERMAL OVERLOAD PROTECTION TO BE PROVIDED FOR ALL MOTORS. DISCONNECTING MEANS WITHIN SITE REQUIRED FOR ALL MOTORS.

WEATHERPROOF PROTECTION REQUIRED FOR ALL OUTDOOR LIGHTS, RECEPTACLES AND DISCONNECTS.

PROPER WORKING CLEARANCES TO BE PROVIDED AND MAINTAINED AROUND ALL ELECTRICAL EQUIPMENT.

ALL FLUORESCENT FIXTURES REQUIRE THERMAL PROTECTION AND PROPER CLEARANCES FROM INSULATION, ALSO APPLICABLE FOR INCANDESCENT FIXTURES.

EXIT LIGHTS (IF ELECTRIC) MUST BE FED FROM AN APPROVED EMERGENCY SERVICE CONNECTED AHEAD OF, BUT NOT WITHIN MAIN SERVICE DISCONNECTING MEANS ENCLOSURE, AND INSTALLED AS PER SERVICE REQUIREMENTS, OR BE BATTERY BACK UP TYPE UNITS.

SERVICE CONDUCTORS LOCATED WITHIN THE PERIMETER OF THE BUILDING SHALL BE INSTALLED PER 2002 NEC

ELECTRICAL WIRING TO BE INSTALLED PER 2002 NEC

NOTE:

MOBILE FACILITY ENGINEERING, INC. IS NOT RESPONSIBLE FOR THE INSTALLATION OF THIS STRUCTURE OR ANY USE OF THIS STRUCTURE THAT IS DIFFERENT THAN ITS ORIGINAL INTENT. MFE IS ALSO NOT RESPONSIBLE FOR ANY ADDITIONS OR ALTERATIONS TO THE STRUCTURE THAT AFFECTS ITS USE, AND/OR DAMAGES ARISING THEREFROM.

MOBILE FACILITY ENGINEERING, INC. IS NOT RESPONSIBLE FOR STATE OR LOCAL PERMITS OR OCCUPANCY REQUIREMENTS

ALL RAILINGS ARE DESIGNED, SUPPLIED AND INSTALLED BY OTHERS

THIS BUILDING SHALL NOT BE USED FOR THE GENERAL PUBLIC OR SPECTATOR VIEWING

NOTES

1. THE WORK SHOWN ON THIS SHEET IS NOT INCLUDED IN THIS CONTRACT (N.I.C.). BIDDING CONTRACTOR IS RESPONSIBLE ONLY FOR COORDINATING THE WORK ON THIS SHEET WITH THEIR OWN CONTRACT WORK.

THIRD PARTY INSPECTION AGENCY:
NTA, INC.
305 NORTH OAKLAND AVE.
NAPPANEE, IN 46550

CUSTOMER APPROVAL

() APPROVED

() APPROVED EXCEPT AS NOTED

() REVISE AS NOTED AND RESUBMIT

APPROVED BY: _____

DATE: _____

NOTE: MANUFACTURER NOT RESPONSIBLE FOR LOCAL PERMITS AND OCCUPANCY REQUIREMENTS.

APPROVED FOR PRODUCTION _____ DATE _____	DWN. BY: GJK	REVISION	DATE	This drawing and all information contained herein is the property of MOBILE FACILITY ENGINEERING, INC. and is not to be reproduced without the express written permission of this manufacturer. We assume no responsibility for unauthorized use of this drawing. Mobile Facility Engineering is not responsible for local permits and occupancy requirements.	CUSTOMER: WILTON HIGH SCHOOL
Return approved drawing as soon as possible, so that production can be scheduled.	CHK. BY:				ADDRESS: WILTON, CT
NOTE: Manufacturer not responsible for local permits and occupancy requirements.	DATE: 12/8/05				ATTN:
	SCALE: 1/4"=1'				TITLE: FLOOR PLAN
	DWG. NO: MF280-05			PROJECT: 842 PRESSBOX	SHT #1

MOBILE FACILITY ENGINEERING, Inc.
306 W. STATE STREET - CASSOPOLIS, MICHIGAN 49031 • PHONE: 616/445-3838 - FAX: 616/445-2251
www.mobilefacility.com

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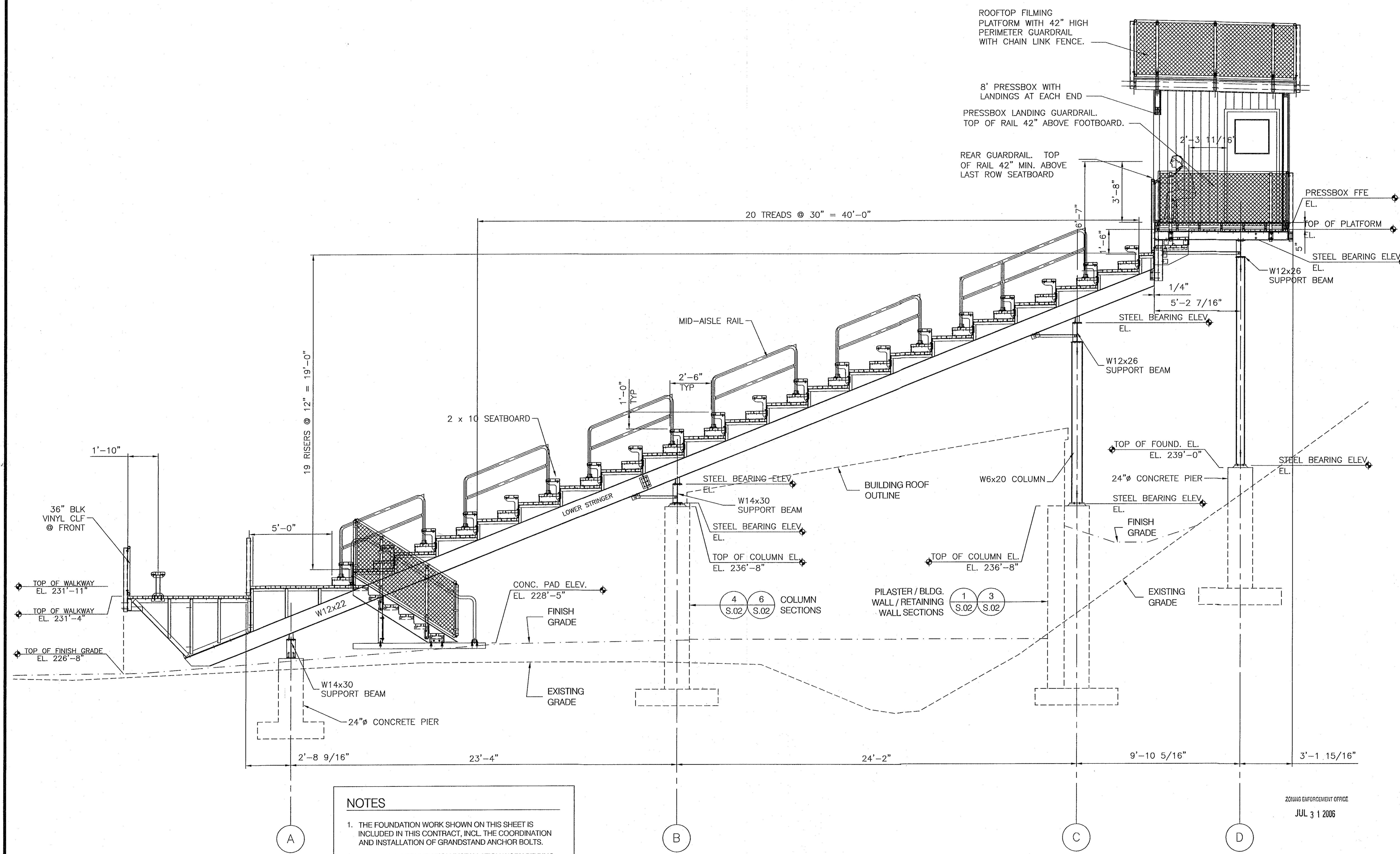
DATE: 26 APRIL 2006
SHEET L.25A OF 45 SHEETS

PROJECT NAME:
 Wilton High School
 Wilton, CT
 20349.1

DANT CLAYTON CORPORATION
 P.O. Box 740008
 Louisville, KY 40201-7408
 Telephone (502) 694-3626
 WWW.DANTCLAYTON.COM

NO.	DATE	DESCRIPTION	INITIALS	ECO NUMBER

HOME-SIDE GRANDSTAND & PRESS BOX SECTION
 DATE: 22 MAY 2006
 PART NUMBER
 0107461
 SHEET L.25 OF 45 SHEETS



NOTES

1. THE FOUNDATION WORK SHOWN ON THIS SHEET IS INCLUDED IN THIS CONTRACT, INCL. THE COORDINATION AND INSTALLATION OF GRANDSTAND ANCHOR BOLTS.
2. OTHER THAN FOUNDATION INSTALLATION WORK BIDDING CONTRACTOR IS RESPONSIBLE ONLY FOR COORDINATING THE REMAINDER OF THE WORK SHOWN ON THIS SHEET WITH THE GRANDSTAND INSTALLATION CONTRACTOR.

1 SECTION THRU AISLE AT PRESSBOX

ZONING ENFORCEMENT OFFICE
 JUL 31 2006

PRELIMINARY
 NOT FOR CONSTRUCTION

STRUCTURAL GENERAL NOTES

GENERAL

1. GOVERNING CODE: STATE OF CONNECTICUT BUILDING CODE (2005)

BUILDING DESIGN LOADS

1. DESIGN LIVE LOADS

FLOOR: 100 PSF

2. SNOW LOADS

GROUND SNOW LOAD: 30 PSF
SNOW EXPOSURE CATEGORY: C
SNOW EXPOSURE FACTOR: 1.0

3. WIND LOADS

BASIC WIND SPEED = 100 MPH
WIND LOAD IMPORTANCE FACTOR = 1.00
WIND EXPOSURE CATEGORY: C
SIMPLIFIED DESIGN WIND PRESSURE (Ps) = 23.11 PSF

4. SEISMIC LOADS

SITE CLASS "D"
SPECTRAL RESPONSE ACCELERATION (Ss) = 0.367
SPECTRAL RESPONSE 1-SECOND PERIOD (S1) = 0.090
SITE COEFFICIENT (Fa) = 1.51
SITE COEFFICIENT (Fv) = 2.4
MAX SHORT PERIOD RESPONSE (Sms) = 0.554
MAX 1-SECOND RESPONSE (Sm1) = 0.216
SEISMIC USE GROUP II
SEISMIC DESIGN CATEGORY C

CONSTRUCTION

1. REPRODUCTION OF THE CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS WILL NOT BE PERMITTED, AND WILL BE REJECTED AND RETURNED.

2. SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THE CONTRACTOR HAS VERIFIED ALL FIELD MEASUREMENTS, CONSTRUCTION CRITERIA, MATERIALS, AND SIMILAR DATA, AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION AND COMPLIANCE WITH THE CONTRACT.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPERLY DESIGNED FORMWORK, STAGINGS, BRACING, SHEETING, SHORING, ETC.

4. IMPLEMENTING JOB SAFETY, CONSTRUCTION PROCEDURES, AND TEMPORARY SHORING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

5. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF OPENINGS, SLEEVES, AND OTHER INTERDISCIPLINARY COORDINATION ITEMS.

6. IN THE EVENT OF A CONFLICT BETWEEN GENERAL NOTES, DETAILS, AND SPECIFICATIONS, THE MOST RIGID REQUIREMENT SHALL APPLY.

7. THE OWNER WILL ENGAGE A TESTING AGENCY AND A SPECIAL INSPECTOR TO PROVIDE SERVICES AS INDICATED ON THE STATEMENT OF SPECIAL INSPECTIONS.

FOUNDATIONS AND GEOTECHNICAL

1. THE FOUNDATIONS ARE DESIGNED IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE "GEOTECHNICAL ENGINEERING REPORT, PROPOSED STADIUM SEATING, WILTON HIGH SCHOOL, 395 DANBURY ROAD, WILTON, CONNECTICUT" DATED AUGUST 8, 2005, PREPARED BY SOILTESTING, INC., OXFORD, CT.

2. ALL REQUIREMENTS SPECIFIED IN THE AUGUST 8, 2005 REPORT, INCLUDING SUPPLEMENT NO. 1, BY SOILTESTING, INC, APPLY AND ARE CONSIDERED PART OF THIS WORK.

3. REMOVE TOPSOIL, SAND FILL AND ORGANIC SILT FROM THE ENTIRE STRUCTURE FOUNDATION FOOTPRINT.

4. COMPACTED SELECT FILL SHALL BE USED TO BACKFILL TO FOOTING SUBGRADE LEVELS WHERE THE REMOVAL EXCAVATION IS DEEPER THAN THE SUBGRADE.

5. ASSUMED SOIL BEARING CAPACITY OF FOUR THOUSAND (4,000) POUNDS PER SQUARE FOOT (PSF) TO BE VERIFIED IN THE FIELD BY A GEOTECHNICAL ENGINEER.

6. FILL REQUIRED TO ESTABLISH SLAB SUBGRADES SHALL BE COMPACTED SELECT FILL.

7. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOILS, OR COMPACTED SELECT FILL PLACED AFTER THE REMOVAL OF ANY EXISTING FILLS AND ORGANIC SOILS.

8. BACKFILL RETAINING WALL WITH COMPACTED SELECT FILL WITH A WEDGE THAT IS AT LEAST THREE (3) AND TEN (10) FEET OUTBOARD OF THE BOTTOM AND TOP OF THE WALL RESPECTIVELY.

9. SELECT FILL SHALL BE WELL GRADED SAND AND GRAVEL, FREE OF DEBRIS AND ORGANIC MATERIAL, WITH A MAXIMUM PARTICLE SIZE OF THREE (3) INCHES, BETWEEN TEN (10) AND SEVENTY (70) PERCENT BY WEIGHT PASSING THE STANDARD NO. 40. SIEVE SIZE AND LESS THAN TWELVE (12) PERCENT PASSING THE NO. 200 SIEVE.

10. SELECT FILL BACKFILL IS TO BE COMPACTED TO A DENSITY OF AT LEAST NINETY(90) PERCENT OF THE MAXIMUM DETERMINED IN THE LABORATORY WHEN TESTED IN ACCORDANCE WITH THE ASTM D1557 STANDARD.

11. DETERMINATION OF UNDISTURBED SOIL LEVELS, REMOVAL REQUIREMENTS OF TOPSOIL, EXISTING FILL SOIL AND ORGANIC SILT, AND SUPPLY AND COMPACTION OF SELECT FILL SHALL BE VERIFIED IN THE FIELD BY A GEOTECHNICAL ENGINEER.

12. DEWATERING OF THE EXCAVATIONS MAY BE REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL DEWATERING EQUIPMENT AND PROCEDURES. ALL CONCRETE WORK SHALL BE COMPLETED "IN THE DRY".

METAL ROOF DECKING

1. ALL METAL DECK SHALL BE MANUFACTURED AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE "DESIGN MANUAL FOR COMPOSITE DECKS, FORM DECKS AND ROOF DECKS" BY THE STEEL DECK INSTITUTE (SDI).

2. ALL ROOF DECKING SHALL BE 1.5820 DECK BY VULCRAFT OR EQUAL, (MIN $k = 0.212 \text{ IN}^4 / \text{FT}$ AND $S_p = 0.234 \text{ IN}^3 / \text{FT}$) SPANNING PERPENDICULAR TO SUPPORTS. CONNECT WITH $\frac{1}{8}$ " DIA. PUDDLE WELDS AND MECHANICALLY FASTENED SIDELAPS.

3. ALL METAL DECK WELDING SHALL BE IN ACCORDANCE WITH AMERICAN WELDING SOCIETY SPECIFICATION D1.3.

4. ALL ROOF DECKING SHALL BE PAINTED. ALL DECK WELDS SHALL BE TOUCHED UP WITH PAINT (GALVANIZING REPAIR PAINT FOR GALVANIZED DECKS).

5. SUBMIT DETAILED SHOP DRAWINGS PRIOR TO FABRICATION SHOWING LAYOUT, TYPES OF METAL DECK UNITS, CONNECTION DETAILS, ACCESSORIES AND OTHER RELATED ITEMS.

6. ROOF DECK SIDELAPS SHALL BE ATTACHED AT ENDS OF CANTILEVERS AND AT A MAXIMUM SPACING OF 12" O.C. FROM CANTILEVERED ROOF DECK ENDS. THE ROOF DECK MUST BE COMPLETELY ATTACHED TO THE SUPPORTS AND AT THE SIDELAPS BEFORE ANY LOAD IS APPLIED TO THE CANTILEVER.

REINFORCED CONCRETE

1. ALL CONCRETE SHALL CONFORM TO ACI 301, LATEST EDITION "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".

2. ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH A 28-DAY COMPRESSIVE STRENGTH (fc) OF 3,000 PSI.

3. ALL CONCRETE SHALL BE AIR ENTRAINED 5%±1%.

4. ALL REINFORCING BARS SHALL BE DEFORMED STEEL BARS IN ACCORDANCE WITH ASTM A615, GRADE 60.

5. DETAIL BARS IN ACCORDANCE WITH "ACI DETAILING MANUAL", LATEST EDITION.

6. THE MINIMUM CONCRETE COVER FOR REINFORCEMENT WHEN NOT OTHERWISE NOTED SHALL BE:

-CONCRETE POURED AGAINST EARTH	3"
-CONCRETE POURED IN FORMS BUT EXPOSED TO EARTH OR WEATHER	
#5 BARS AND SMALLER	1 1/2"
#6 BARS AND LARGER	2"
-SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER	3/4"

7. NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR APPROVED BY THE ENGINEER. LAP SPLICES, WHERE PERMITTED, SHALL BE A MINIMUM OF 48 BAR DIAMETERS UNLESS OTHERWISE DETAILED. MAKE ALL BARS CONTINUOUS AROUND CORNERS.

8. WIRE MESH SHALL LAP ONE FULL MESH AT SIDE AND END LAPS, AND SHALL BE WIRED TOGETHER. PROVIDE ADEQUATE SUPPORTS FOR MESH TO ENSURE ITS LOCATION AS SHOWN ON THE DRAWINGS.

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL IS DESIGNED USING AISC ALLOWABLE STRESS DESIGN (ASD) OR LOAD AND RESISTANCE FACTOR DESIGN (LRFD) AND SHALL CONFORM TO ASTM A36 (Fy = 36 ksi).

2. STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, ASD OR LRFD, AND THE AISC CODE OF STANDARD PRACTICE.

3. GRAVITY CONNECTIONS: CONNECTIONS NOT OTHERWISE DETAILED SHALL BE DOUBLE ANGLE FRAMED CONNECTIONS. ALL CONNECTIONS ARE TO BE MADE WITH HIGH STRENGTH BOLTS. CONNECTION MATERIAL TO BE ASTM A36 (Fy = 36 ksi). ALL CONNECTION SHALL BE DESIGNED TO RESIST ONE HALF OF THE MAXIMUM ALLOWABLE UNIFORM LOAD CAPACITY UNLESS OTHERWISE NOTED ON THE DRAWINGS.

4. ALL HIGH STRENGTH BOLTS SHALL CONFORM TO THE CURRENT SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS. ALL CONNECTIONS SHALL BE SNUG TIGHT UNLESS NOTED OTHERWISE.

5. ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WELDING SOCIETY (AWS) STRUCTURAL WELDING CODE - STEEL D1.1, LATEST EDITION. USE E70xx ELECTRODES UNLESS NOTED OTHERWISE.

6. SHOP DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER AND SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF CONNECTICUT. CALCULATIONS FOR EACH TYPE OF CONNECTION SHALL BE INCLUDED.

7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY FABRICATION OR ERECTION ERRORS OR DEVIATIONS AND RECEIVE WRITTEN APPROVAL BEFORE ANY FIELD CORRECTIONS ARE MADE.

DIMENSIONS

1. THE CONTRACTOR SHALL COORDINATE THE DIMENSIONS OF THE ROOF, FLOOR AND WALL OPENINGS SO THE FRAMING PROPERLY FITS THE REQUIREMENTS OF ALL TRADES.

2. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD, PRIOR TO FABRICATION AND INSTALLATION OF ANY NEW MATERIALS.

MASONRY

1. ALL MASONRY SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH (fm) OF 1,500 PSI.

2. ALL MORTAR SHALL BE TYPE S.

3. FILL ALL VOIDS AND BLOCK CELL SOLIDLY WITH GROUT FOR A DISTANCE OF 24" BENEATH AND 12" EACH SIDE OF ALL BEAM AND OTHER CONCENTRATED LOADS.

4. ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.

5. ALL REINFORCING BARS SHALL BE FULLY GROUTED IN PLACE.

6. NO SPLICES IN REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR APPROVED BY THE ENGINEER. WHERE PERMITTED, SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS UNLESS OTHERWISE DETAILED.

7. PROVIDE STANDARD 9 GAUGE HORIZONTAL JOINT REINFORCEMENT EVERY OTHER COURSE IN ALL WALLS.

DESIGN LOADS FROM BLEACHER TO BUILDING FOUNDATION

BASED ON INFORMATION PROVIDED BY DANT CLAYTON CORPORATION, P.O. BOX 740008, 1500 BERNHEIM LANE, LOUISVILLE, KY 40201-7408, TELEPHONE (502) 634-3626.

GENERAL SUMMARY OF LOADS

1. DEAD LOAD

BLEACHERS: 12 PSF

2. DESIGN LIVE LOADS

FLOOR: 100 PSF

3. LATERAL LOADS

PER ROW (PARALLEL TO SEATS): 24 PLF
PER ROW (PERPENDICULAR TO SEATS): 10 PLF

LOADS FOR THIS SYSTEM (PER BLEACHER COLUMN AT BASE)

1. DEAD LOAD

BLEACHERS: 4-6 KIPS MAX. (ASSUMED 7.5 KIPS)

2. LIVE LOADS


BLEACHERS: 40 KIPS MAX. (ASSUMED 50 KIPS)

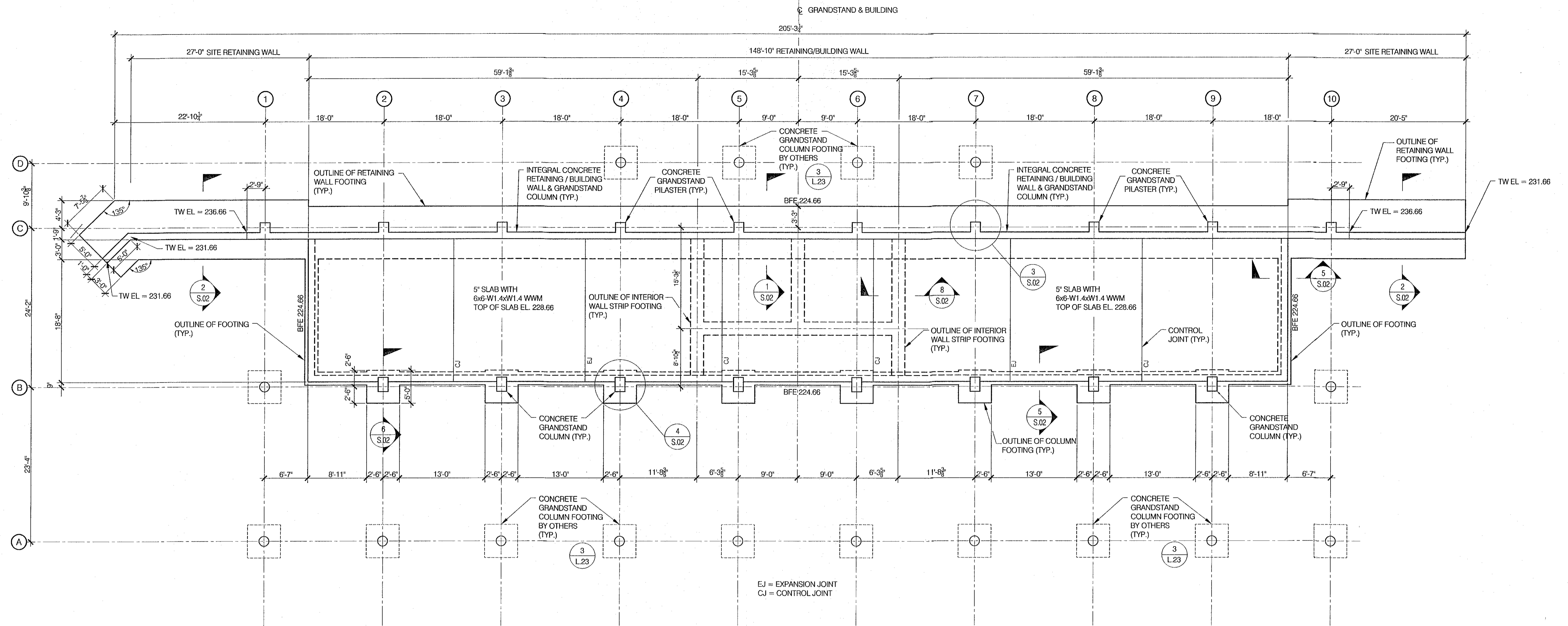
3. SWAY LOADS

PARALLEL WITH SEATS (APPLIED AT COLUMN ROWS "C" & "D" ONLY): 8-10 KIPS MAX.

4. WIND LOADS

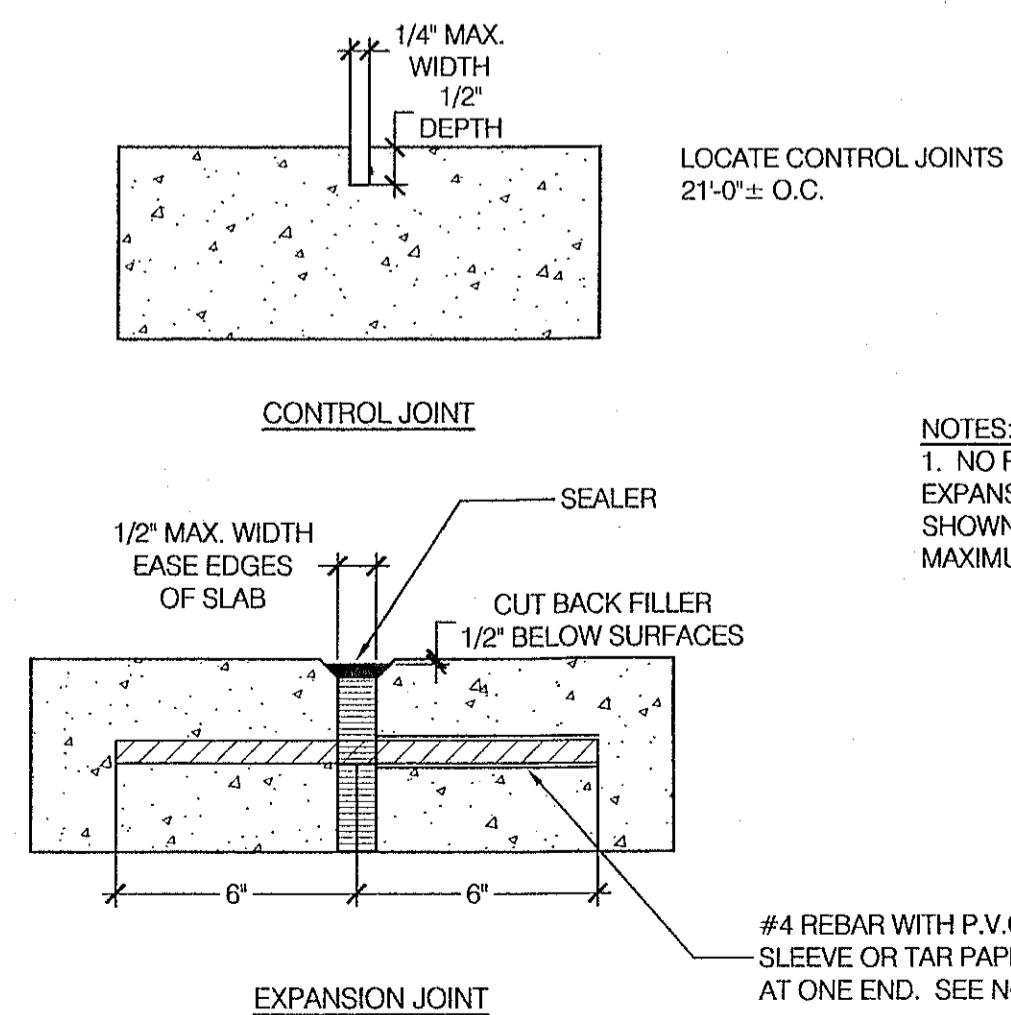
LATERAL (APPLIED AT COLUMN ROW "A" ONLY): 8-10 KIPS, 14 KIPS MAX
VERTICAL UPLIFT (APPLIED AT ROWS "B" & "C" ONLY; NOT INCLUDING DEAD OR LIVE LOADS): 8-10 KIPS

 VOLLMER ASSOCIATES LLP 2321 Whitney Avenue Hamden, CT 06518-3510 Tel: 203.281.1350 Fax: 203.281.1470	NO.	REVISIONS / DESCRIPTION	DATE	SOUTH FIELDS - VETERANS MEMORIAL STADIUM RENOVATIONS	
				WILTON ATHLETIC FIELDS COMPLEX, WILTON, CT	
				STRUCTURAL GENERAL NOTES	
	DESIGNED BY	JMD	SCALE	AS NOTED	DATE
DRAWN BY	JMD	CADD FILE	200472900\DRAWINGS\S01.....FDN+DETS.DWG		
CHECKED BY	AML	JOB NO.	2004-729-00	SHEET	S.00 OF 45 SHEETS



1 FOUNDATION PLAN
S.01 SCALE: 1/8" = 1'-0"

200472900/DRAWINGS/SO1_TEAM ROOMS_FDN+DETS.DWG



NOTES:
1. NO REINFORCING SHALL PASS THROUGH EXPANSION JOINTS EXCEPT FOR REBAR AS SHOWN. REBAR SHALL BE PLACED 2\"/>

2 TYPICAL CONTROL AND EXPANSION JOINTS
S.01 N.T.S.

200472900/DRAWINGS/DETAILS/EXP_INT2.DWG

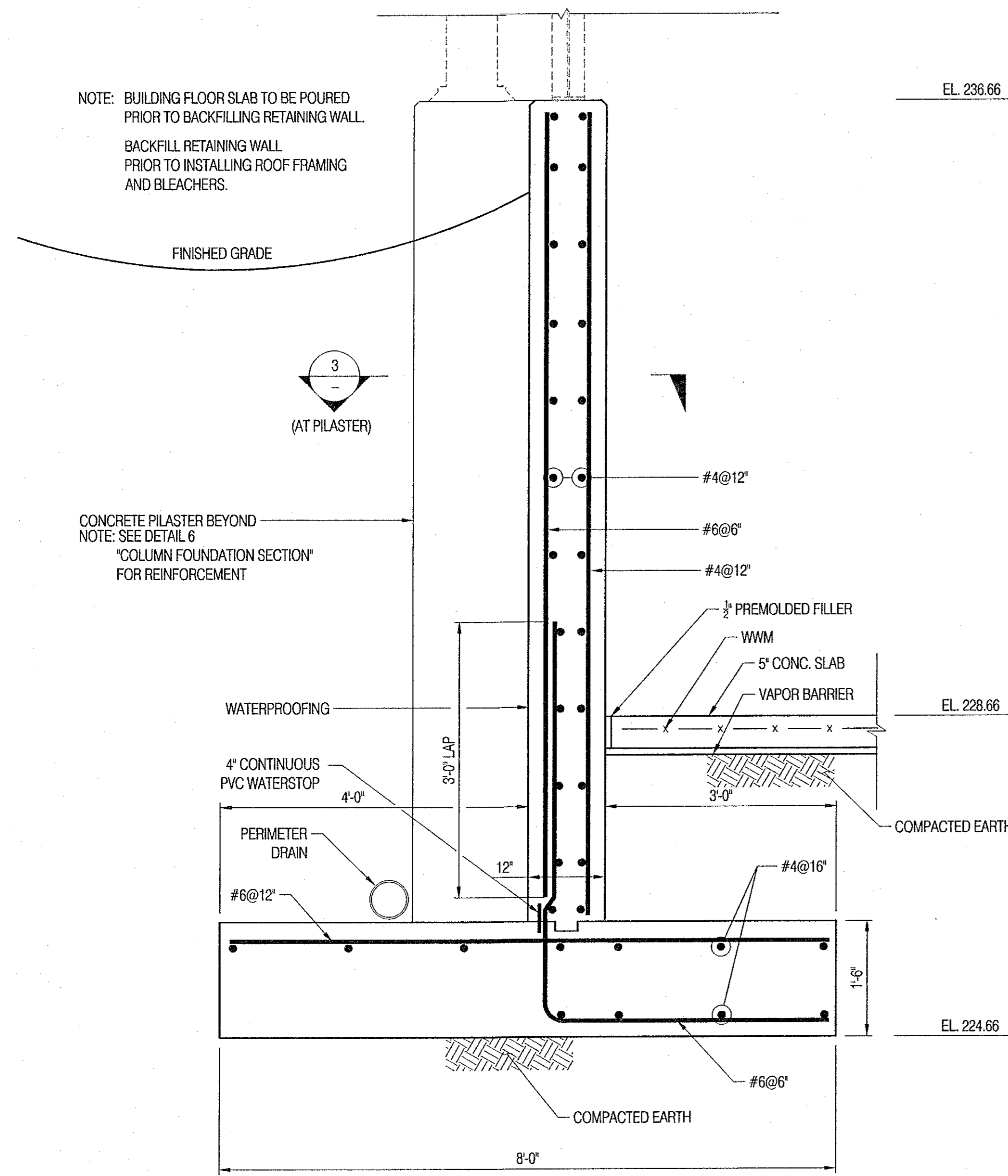
V
VOLLMER ASSOCIATES LLP
2321 Whitney Avenue
Hamden, CT 06518-3510
Tel: 203.281.1350
Fax: 203.281.1470

NO.	REVISIONS / DESCRIPTION	DATE

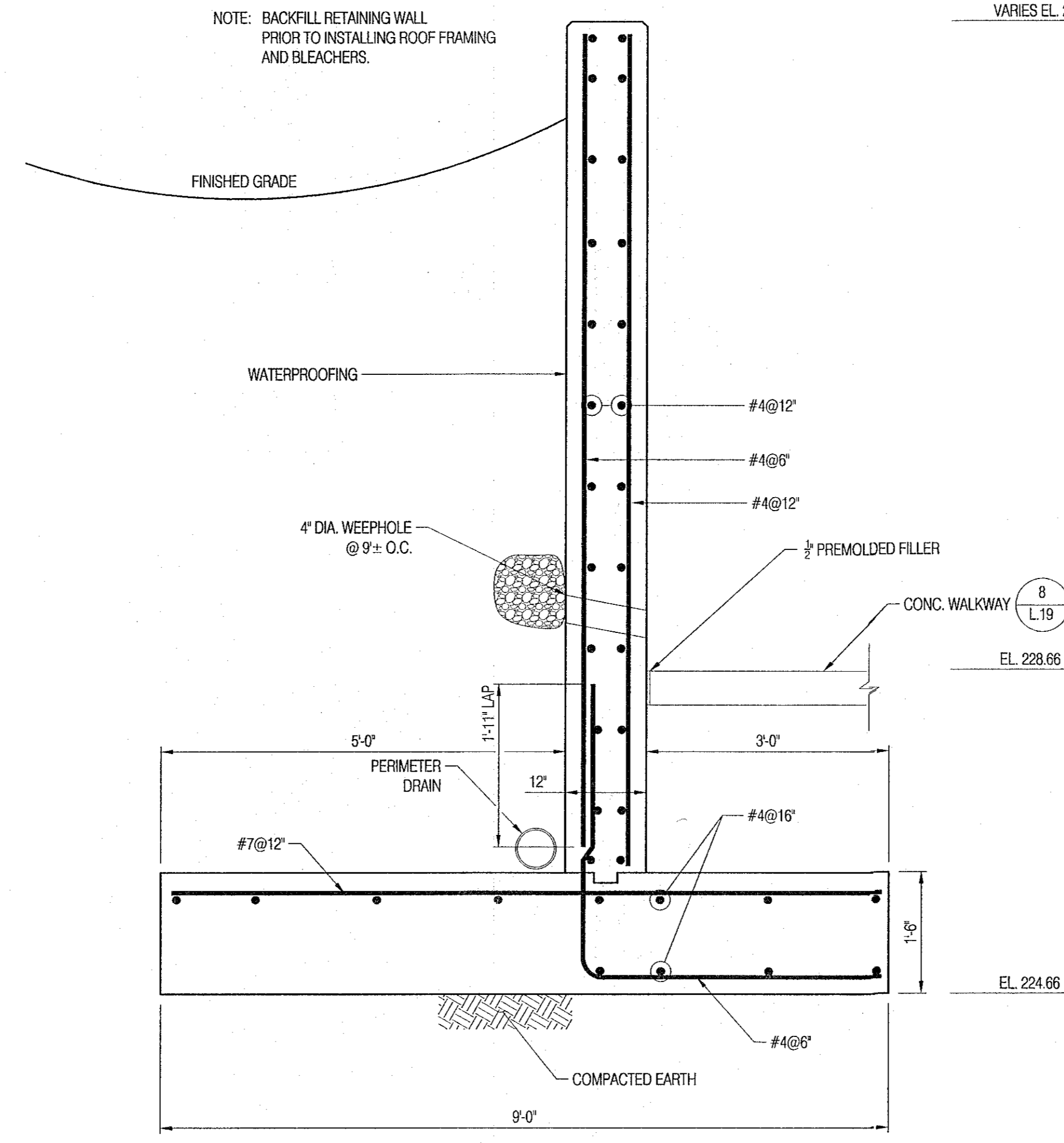
SOUTH FIELDS - VETERANS MEMORIAL
STADIUM RENOVATIONS
WILTON ATHLETIC FIELDS COMPLEX, WILTON, CT

TEAM ROOM FOUNDATION PLAN

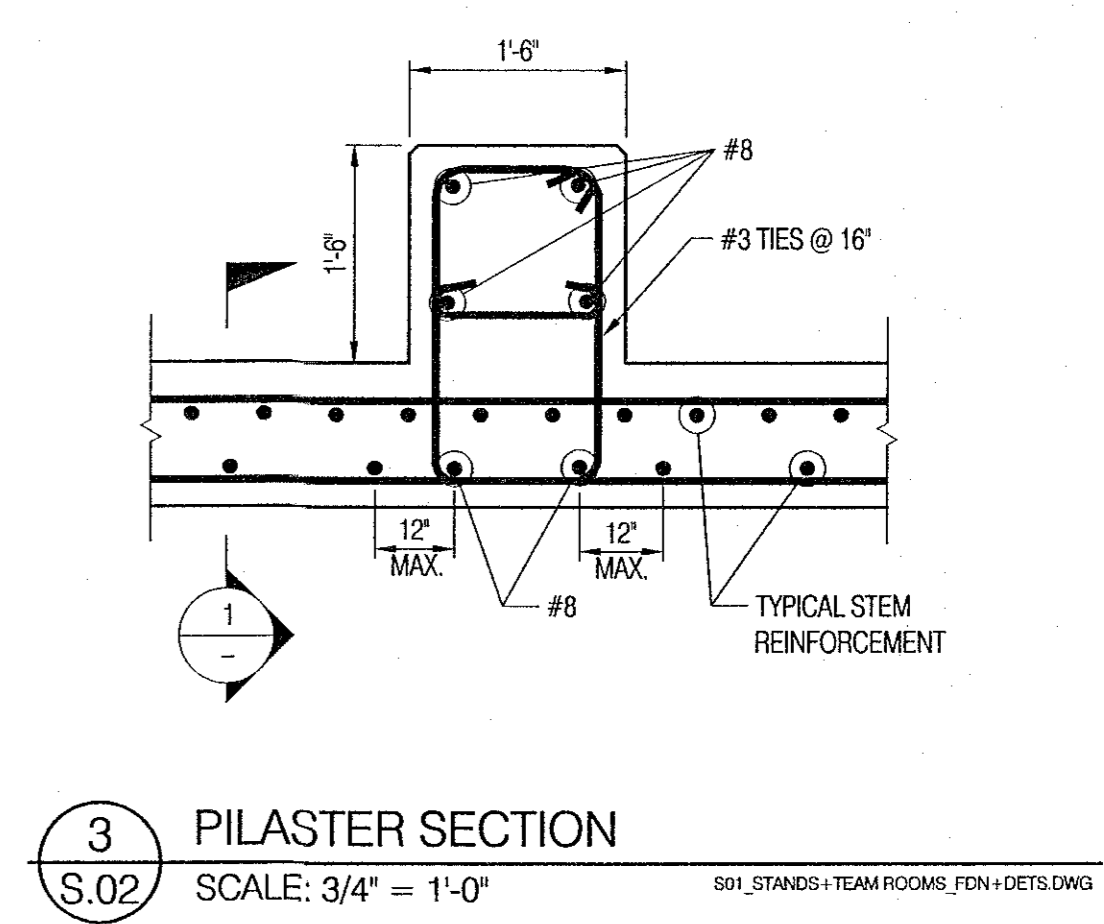
DESIGNED BY	JMD	SCALE	AS NOTED	DATE	5 JUNE 2006
DRAWN BY	JMD	CADD FILE	200472900/DRAWINGS/SO1_TEAM ROOMS_FDN+DETS.DWG		
CHECKED BY	AML	JOB NO.	2004-729-00	SHEET	S.01 OF 45 SHEETS



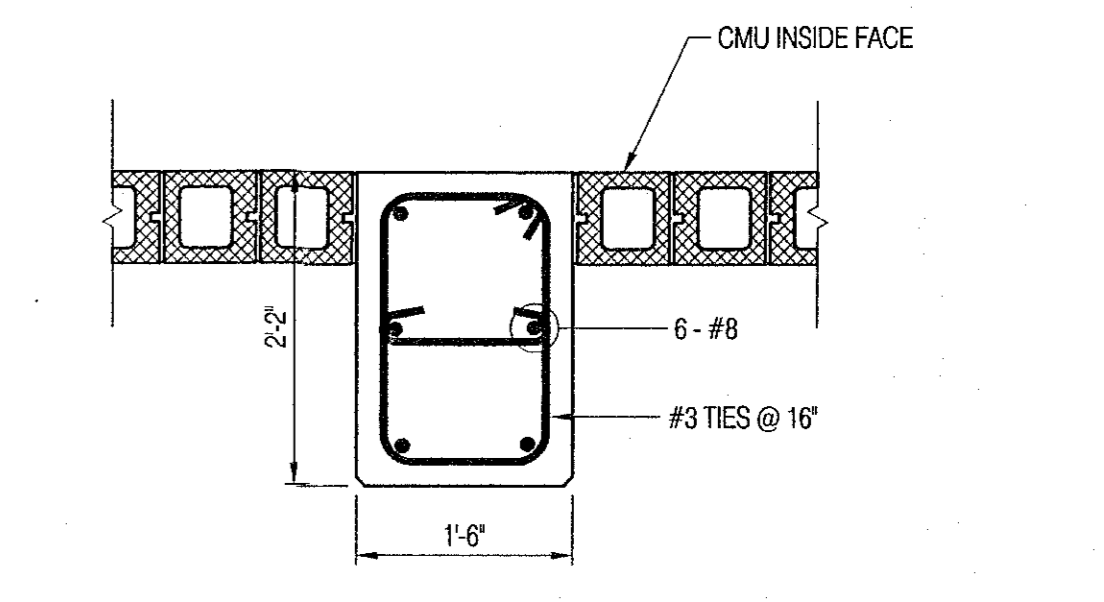
1 RETAINING / BUILDING WALL SECTION
S.02 SCALE: 3/4" = 1'-0"



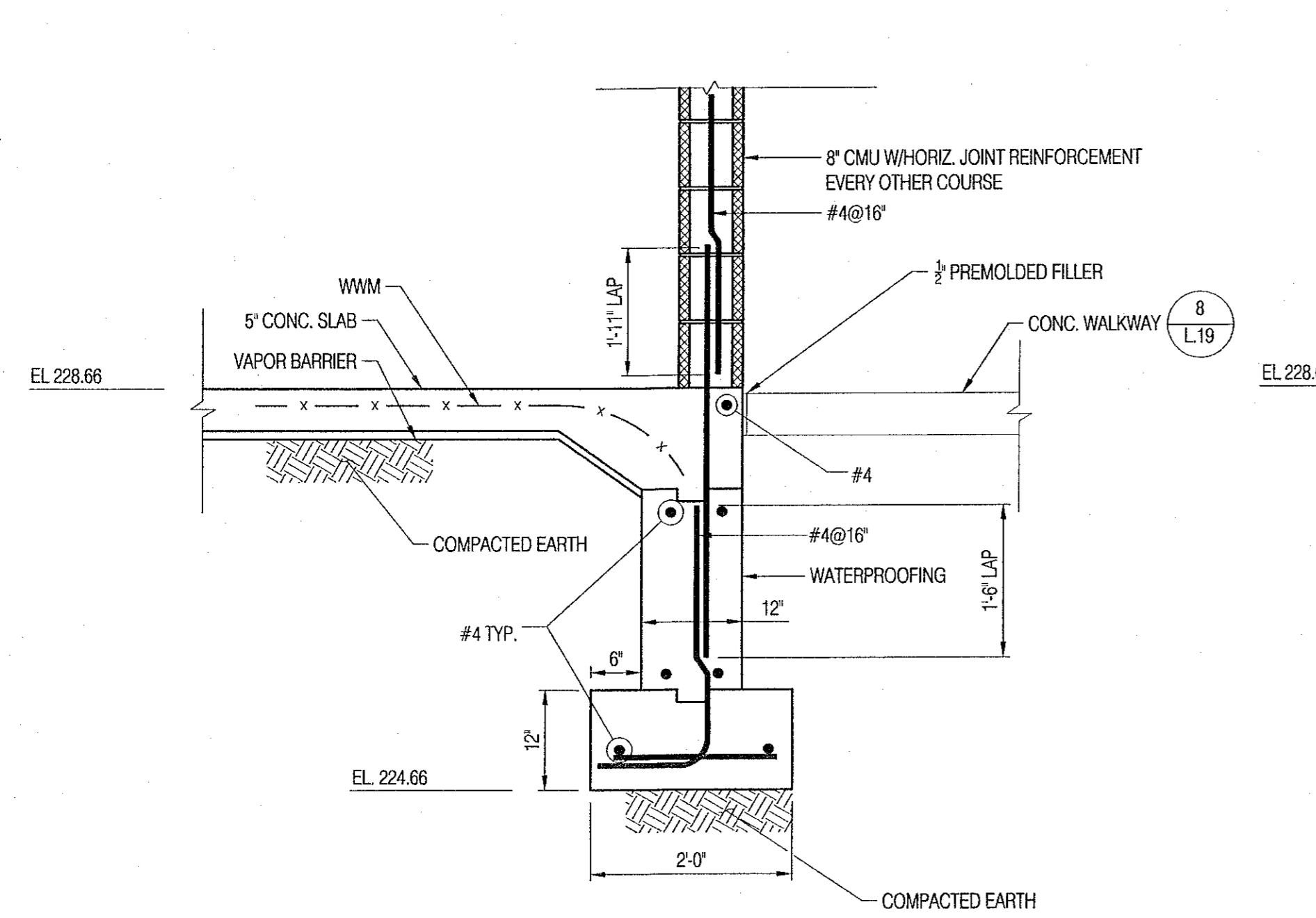
2 SITE RETAINING WALL SECTION
S.02 SCALE: 3/4" = 1'-0"



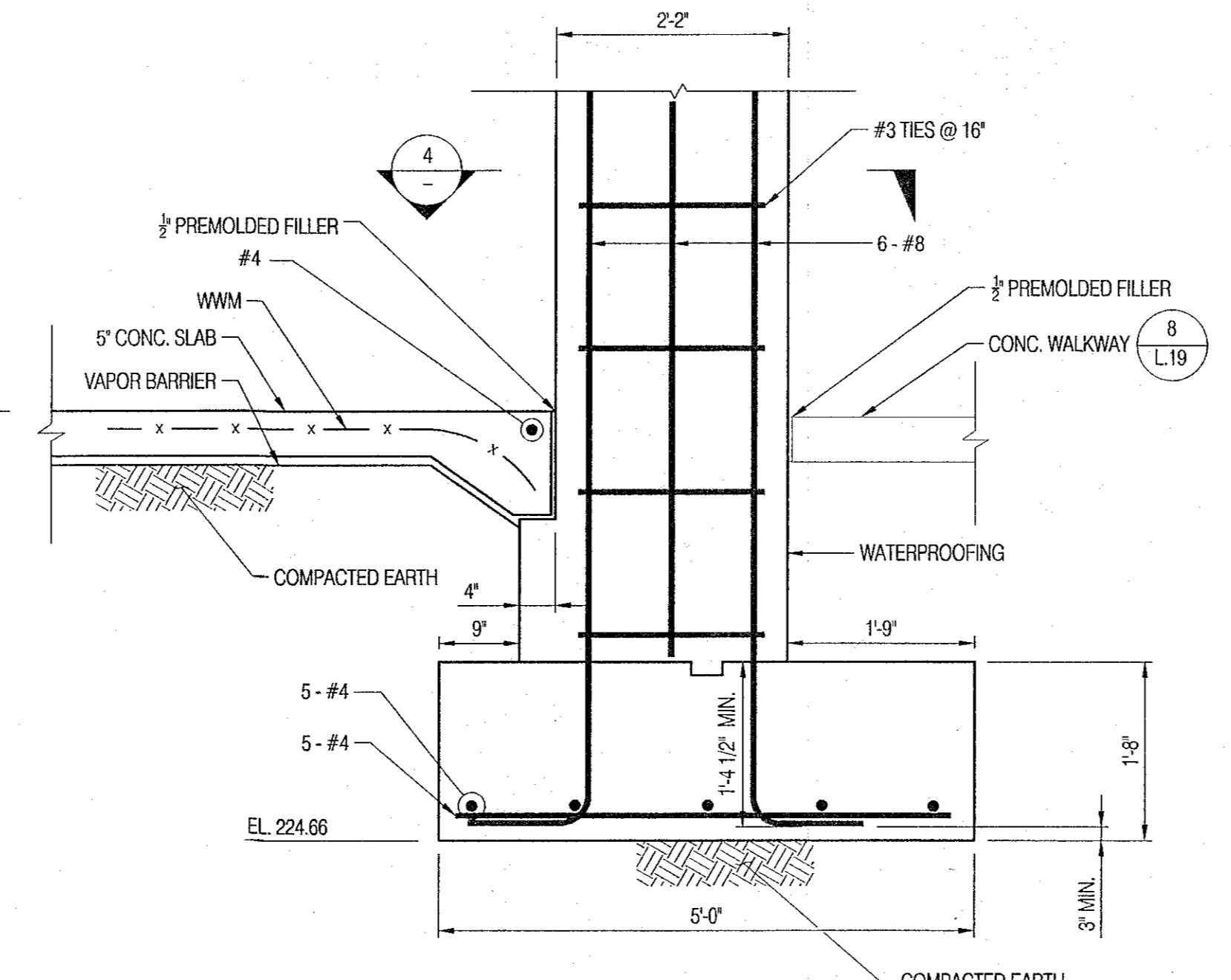
3 PILASTER SECTION
S.02 SCALE: 3/4" = 1'-0"



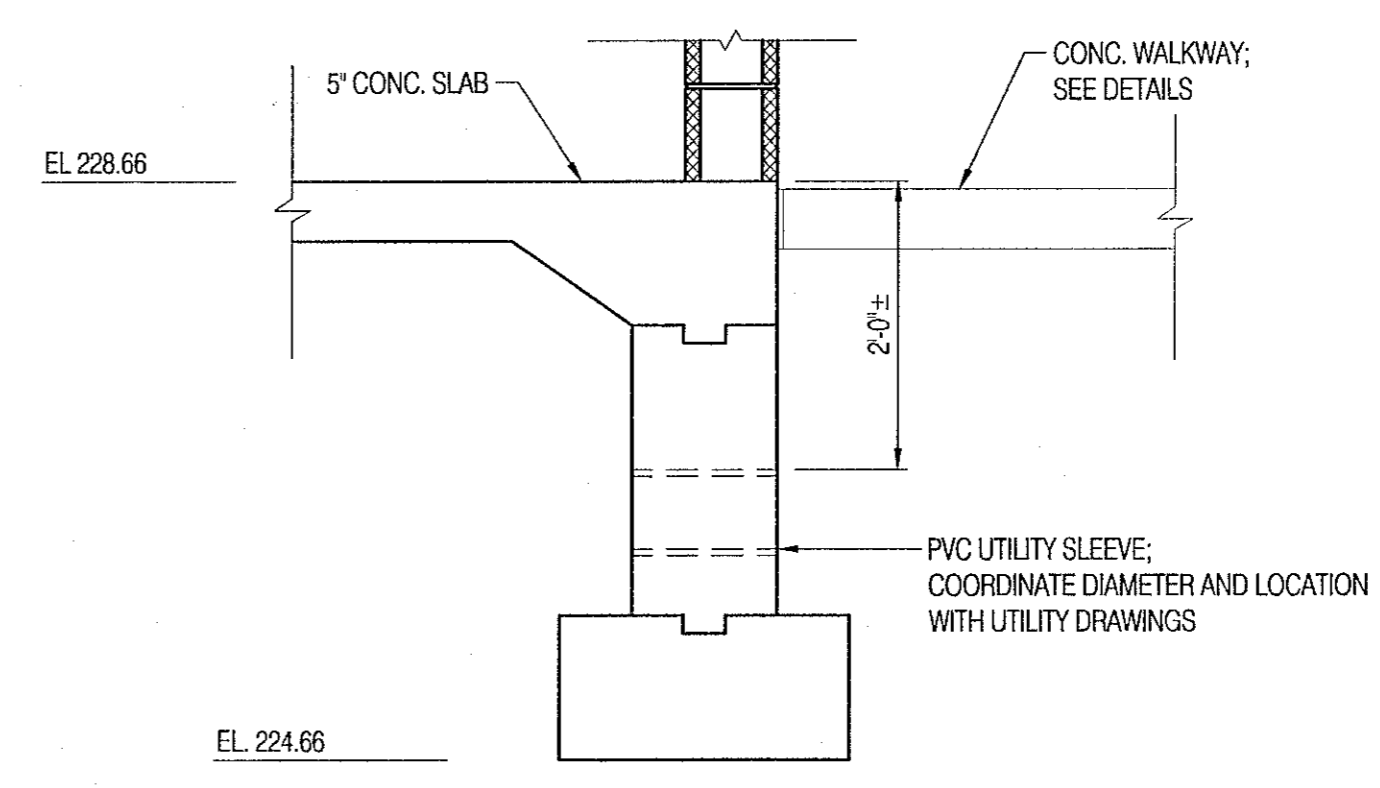
4 COLUMN SECTION
S.02 SCALE: 3/4" = 1'-0"



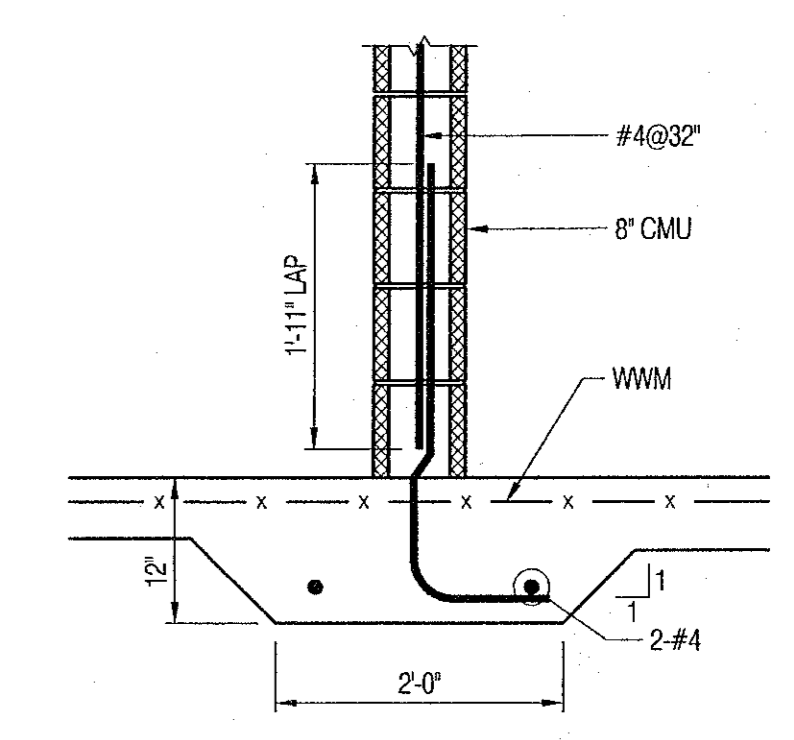
5 CMU FOUNDATION WALL SECTION
S.02 SCALE: 3/4" = 1'-0"



6 COLUMN FOUNDATION SECTION
S.02 SCALE: 3/4" = 1'-0"



7 TYPICAL FOUNDATION PENETRATION
S.02 SCALE: 3/4" = 1'-0"



8 THICKENED SLAB DETAIL
S.02 SCALE: 3/4" = 1'-0"

NOTE: COLUMN REINFORCEMENT AT RETAINING/BUILDING WALL PILASTER SIMILAR

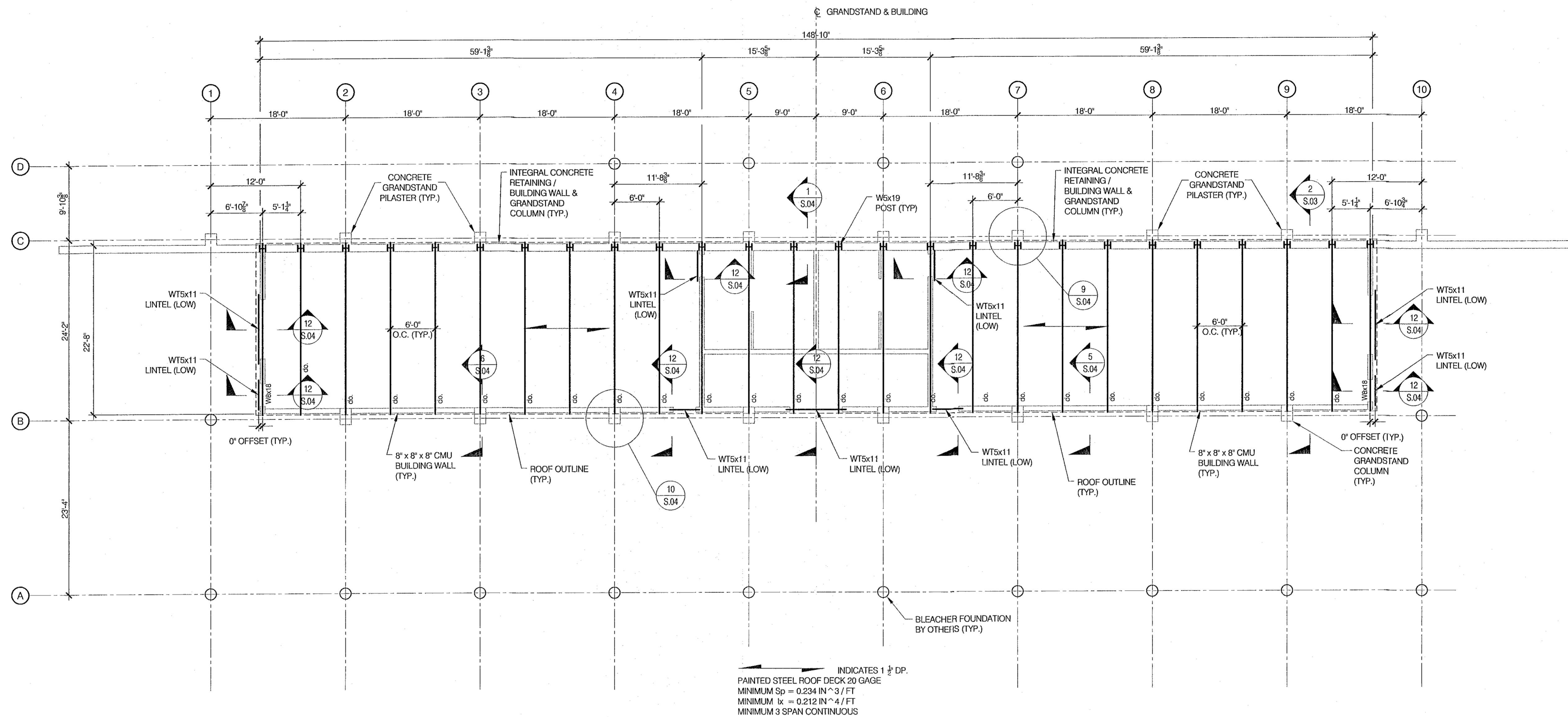
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2321 Whitney Avenue
Hamden, CT 06518-3510
Tel: 203.281.1350
Fax: 203.281.1470

NO.	REVISIONS / DESCRIPTION	DATE

SOUTH FIELDS - VETERANS MEMORIAL STADIUM RENOVATIONS
WILTON ATHLETIC FIELDS COMPLEX, WILTON, CT

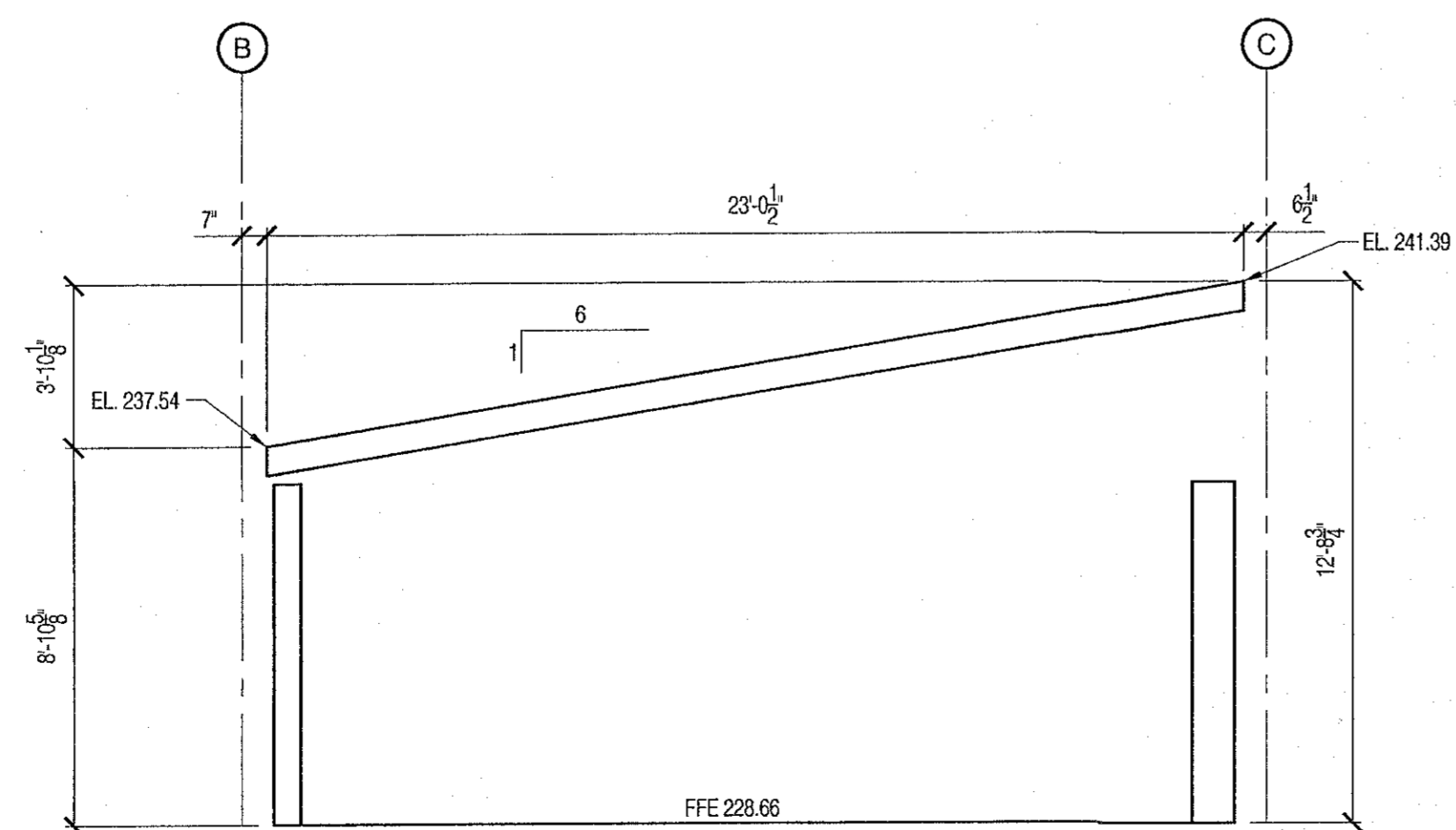
TEAM ROOM FOUNDATION DETAILS

DESIGNED BY	JMD	SCALE	AS NOTED	DATE	5 JUNE 2006
DRAWN BY	JMD	CADD FILE	200472800\DRAWINGS\SO1_..._FDN+DETS.DWG		
CHECKED BY	AML	JOB NO.	2004-729-00	SHEET	S.02 OF 45 SHEETS



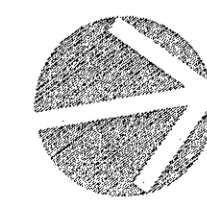
1 FRAMING PLAN
S.03 SCALE: 1/8" = 1'-0"

200472900/DRAWINGS/S01_STANDS+TEAM ROOMS_FDN+DETS.DWG



2 ROOF FRAMING PROFILE AND TOP OF STEEL ELEVATIONS
S.03 SCALE: 1/4" = 1'-0"

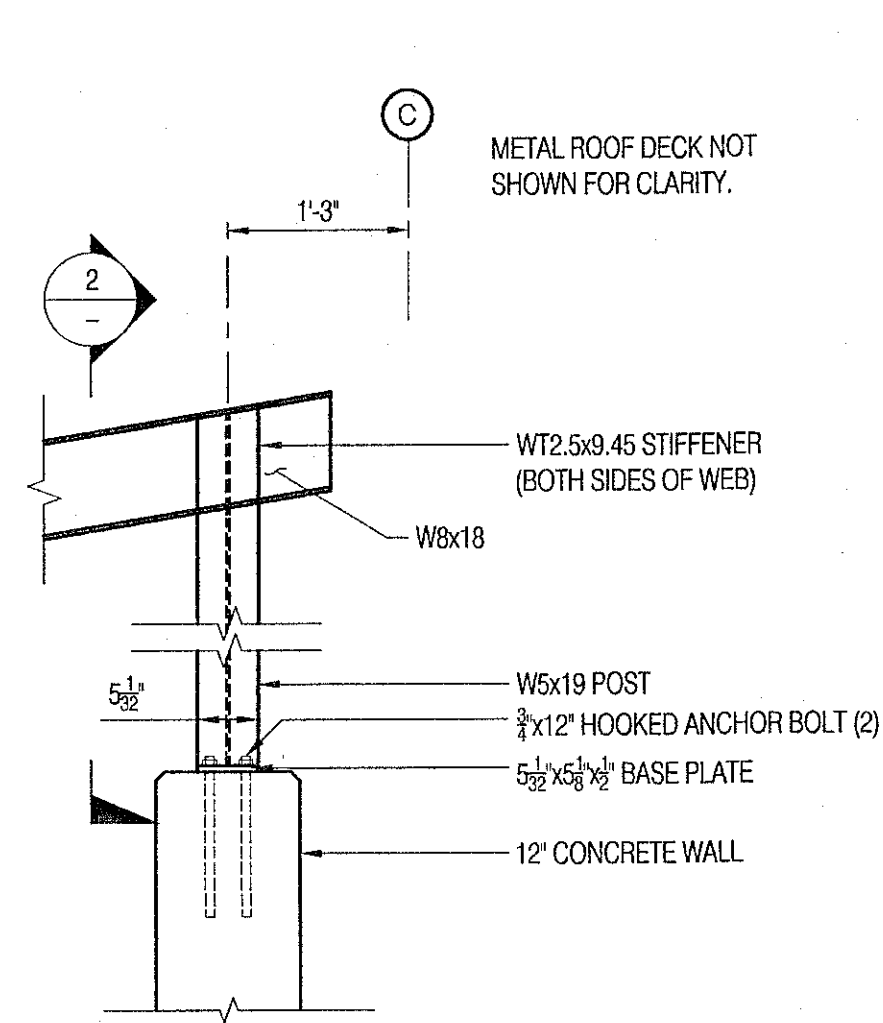
200472900/DRAWINGS/S01_STANDS+TEAM ROOMS_FDN+DETS.DWG



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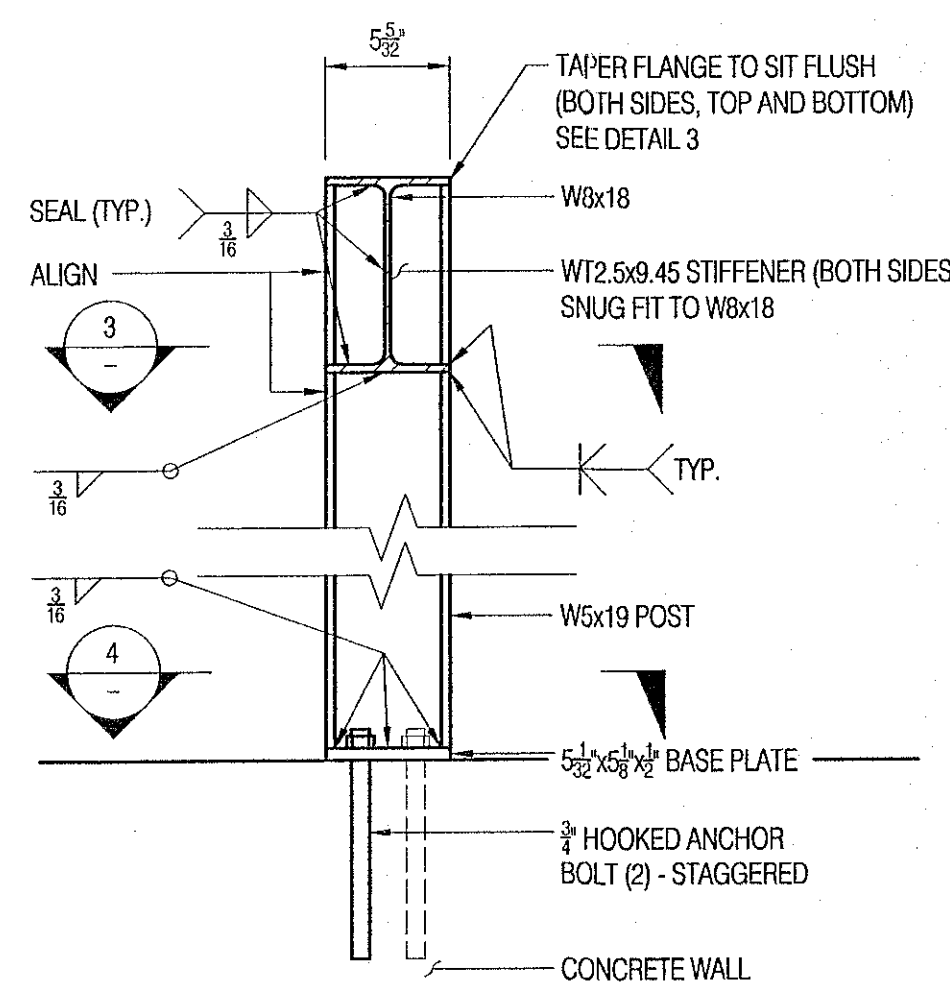
NO.	REVISIONS / DESCRIPTION	DATE

SOUTH FIELDS - VETERANS MEMORIAL STADIUM RENOVATIONS WILTON ATHLETIC FIELDS COMPLEX, WILTON, CT		
TEAM ROOM FRAMING PLAN		
DESIGNED BY	JMD	SCALE AS NOTED
DATE	5 JUNE 2006	
DRAWN BY	JMD	CADD FILE 200472900/DRAWINGS/S01_..._FDN+DETS.DWG
CHECKED BY	AML	JOB NO. 2004-729-00
		SHEET S.03 OF 45 SHEETS

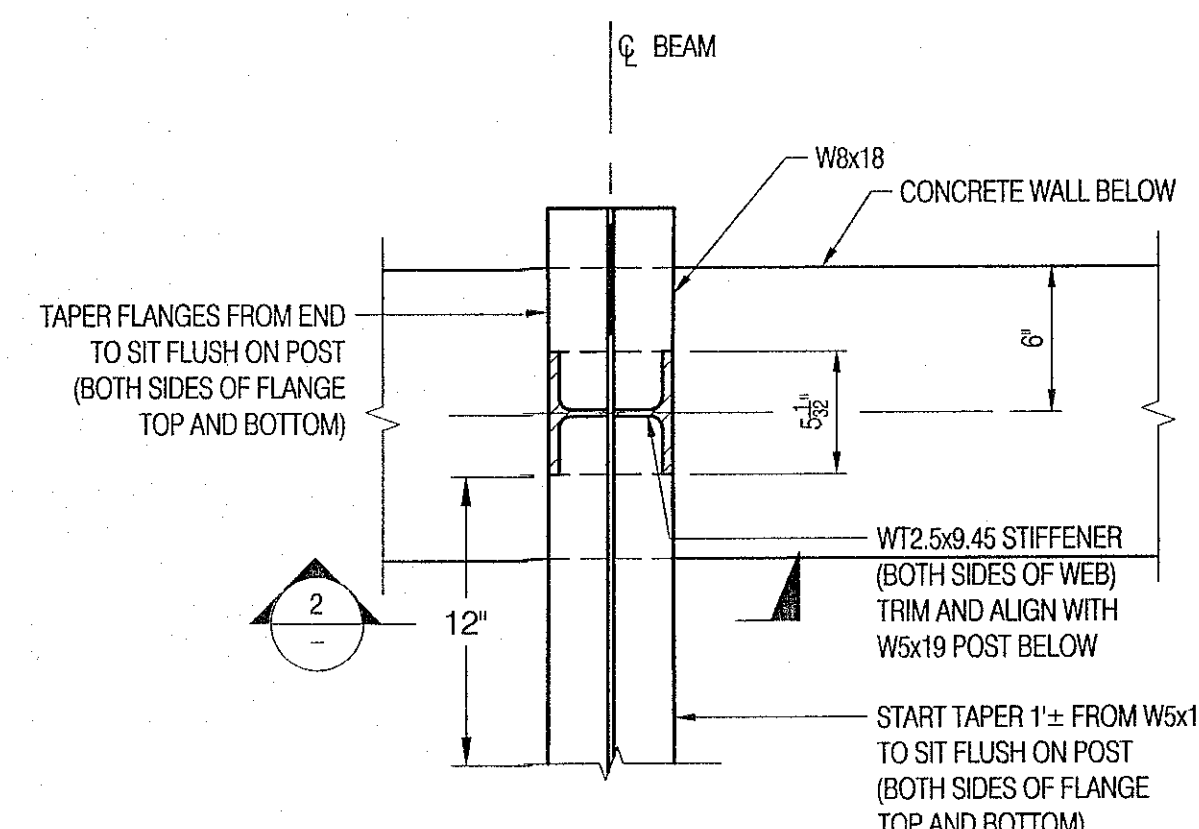


NOTE: SIMILAR CONNECTION AT PILASTER.

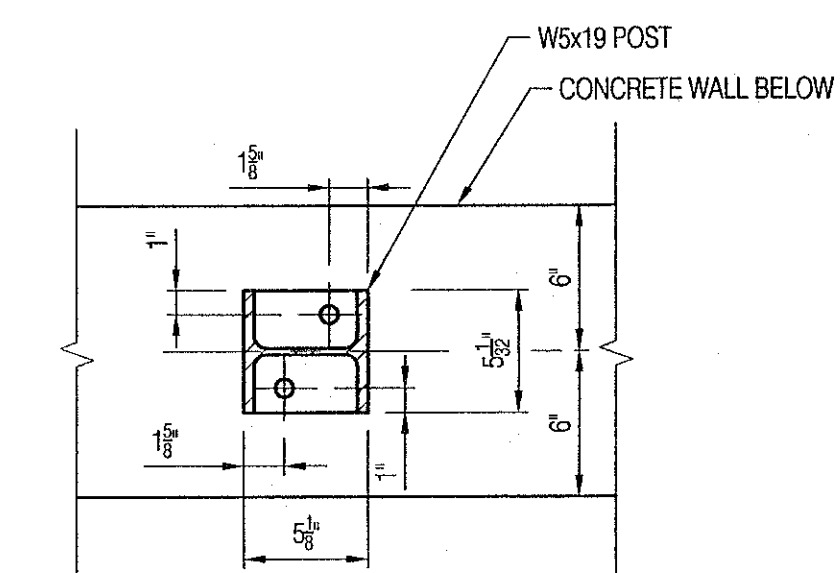
1 W8x18 SUPPORT - RETAINING/BUILDING WALL
S.04 SCALE: 3/4" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG



2 SECTION
S.04 SCALE: 1 1/2" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG

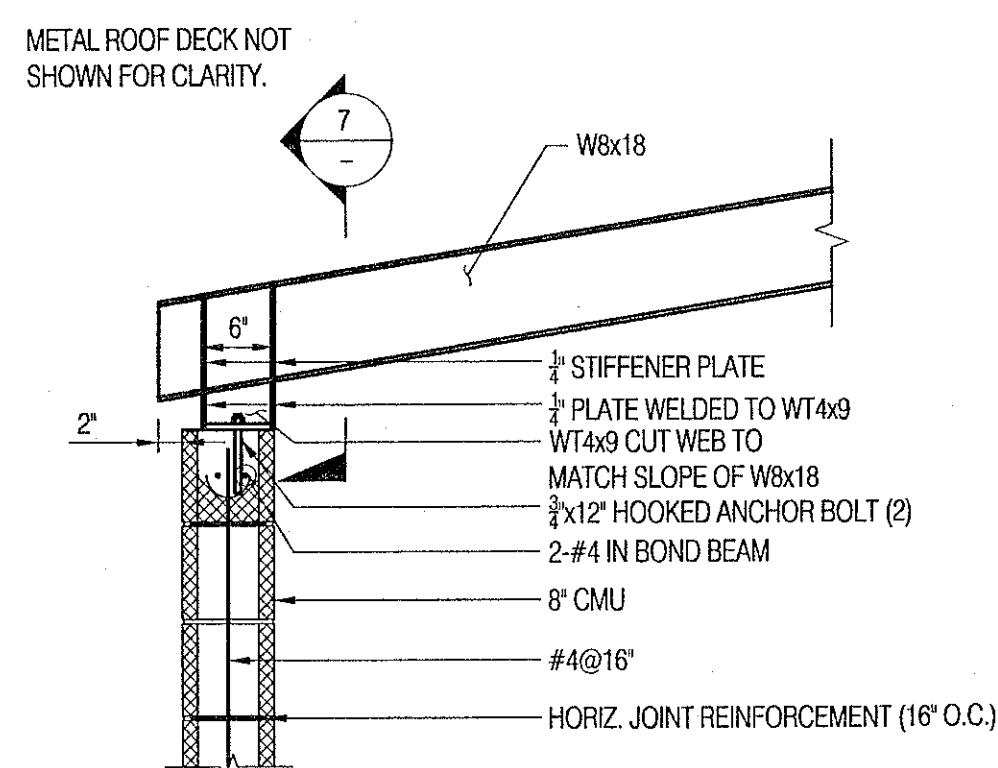


3 SECTION
S.04 SCALE: 1 1/2" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG



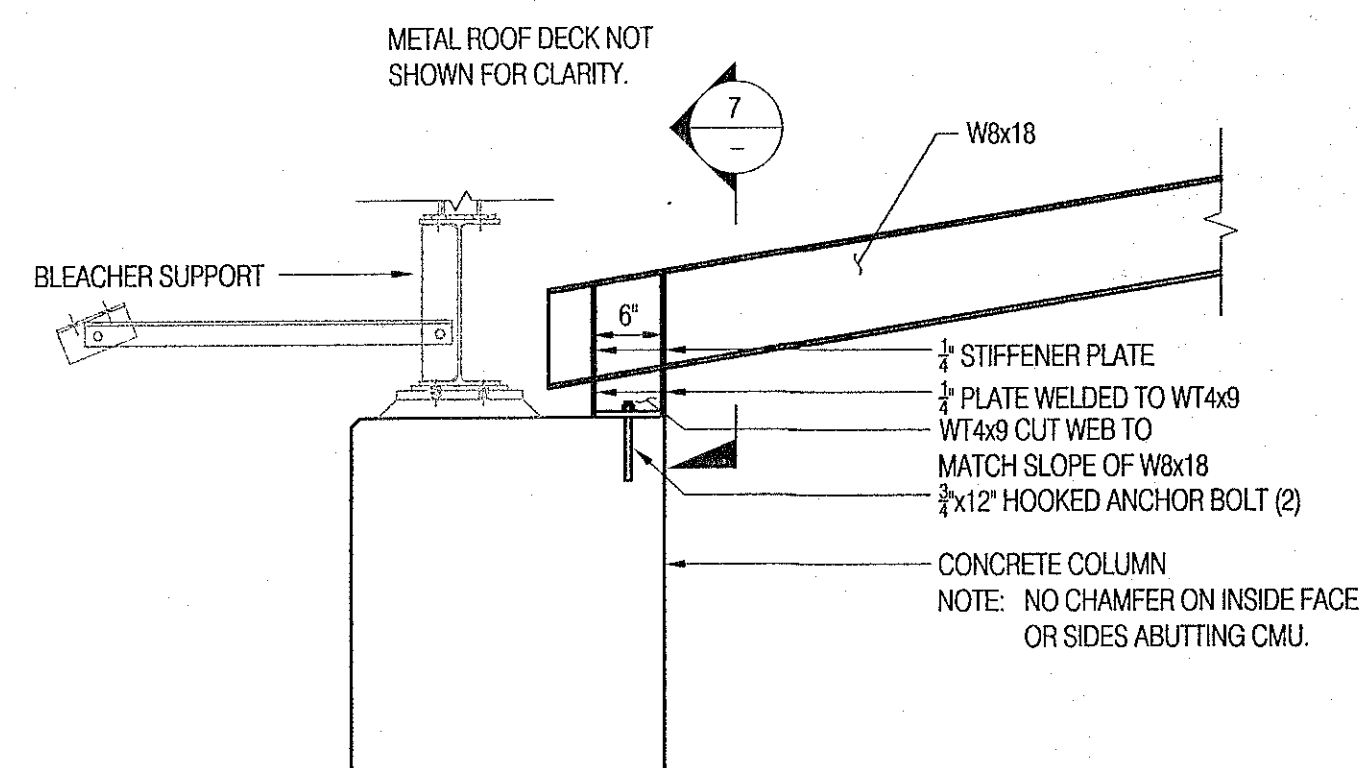
NOTE: SEE DETAIL 9 FOR CONNECTION AT PILASTER.

4 SECTION
S.04 SCALE: 1 1/2" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG

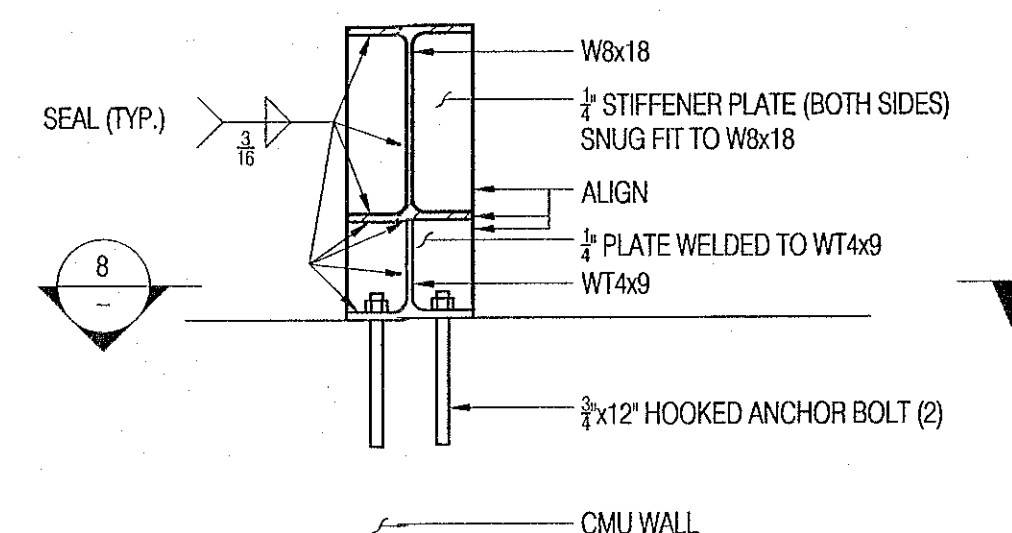


SEE MASONRY NOTE 3, SHEET S.00, FOR CMU GROUTING REQUIREMENTS.

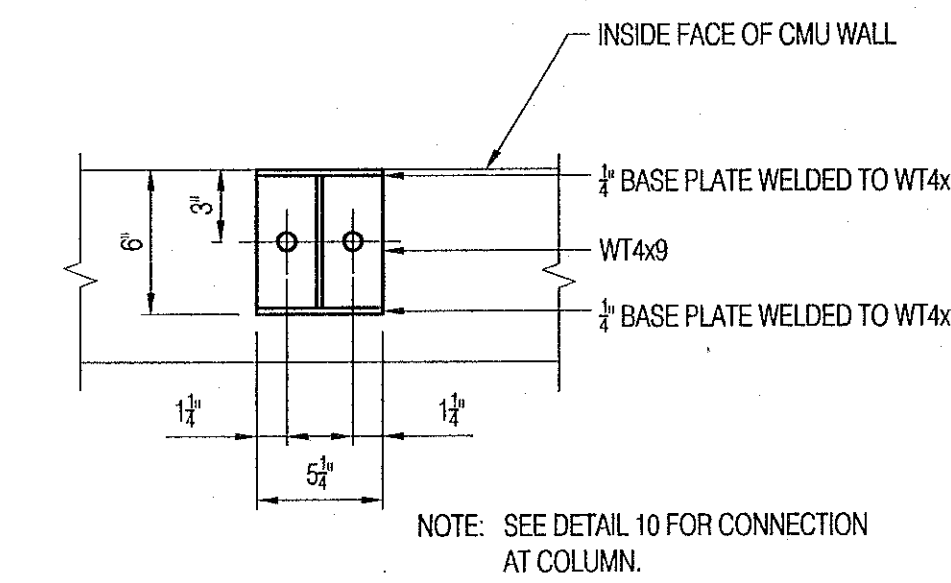
5 W8x18 SUPPORT - CMU WALL
S.04 SCALE: 3/4" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG



6 W8x18 SUPPORT - COLUMN
S.04 SCALE: 3/4" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG

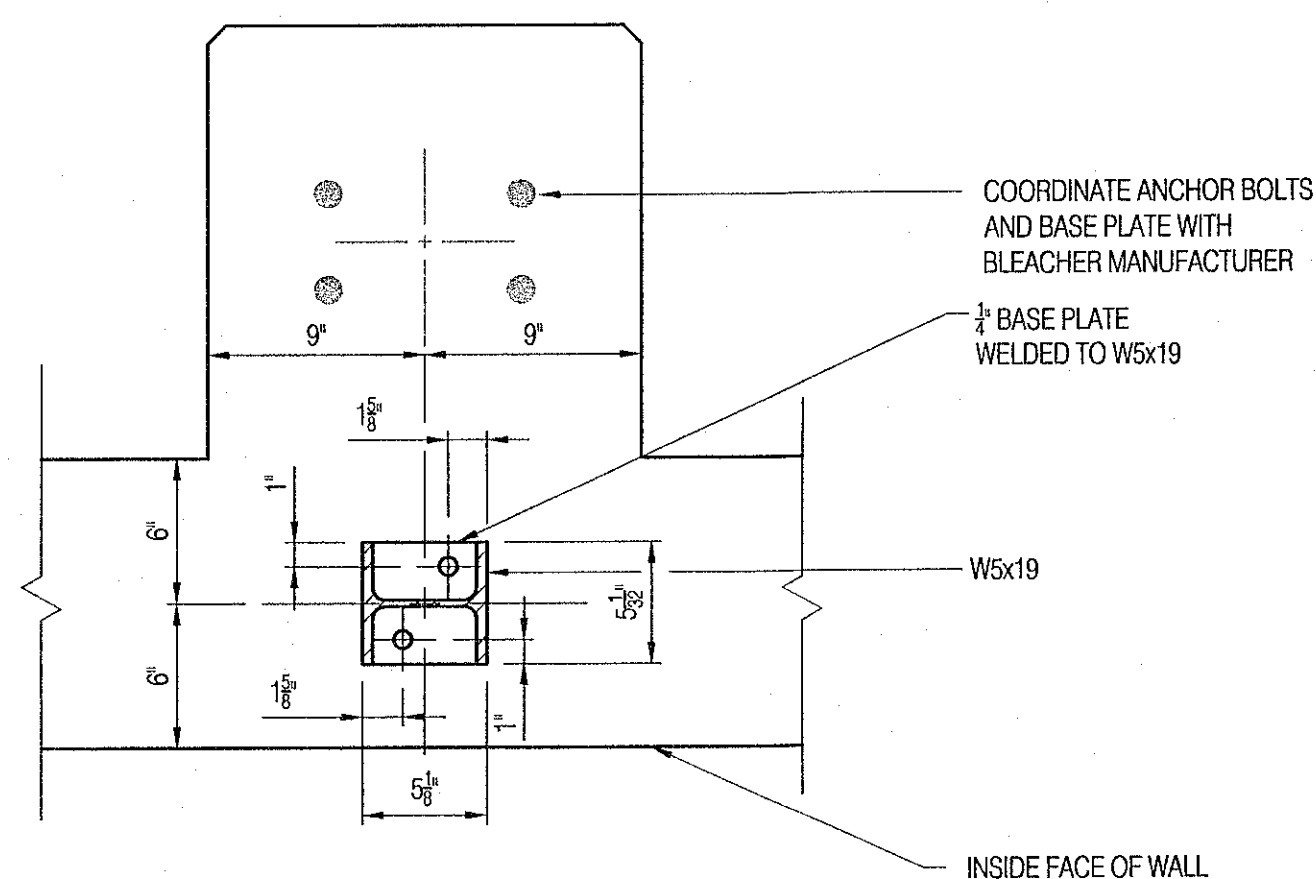


7 SECTION
S.04 SCALE: 1 1/2" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG

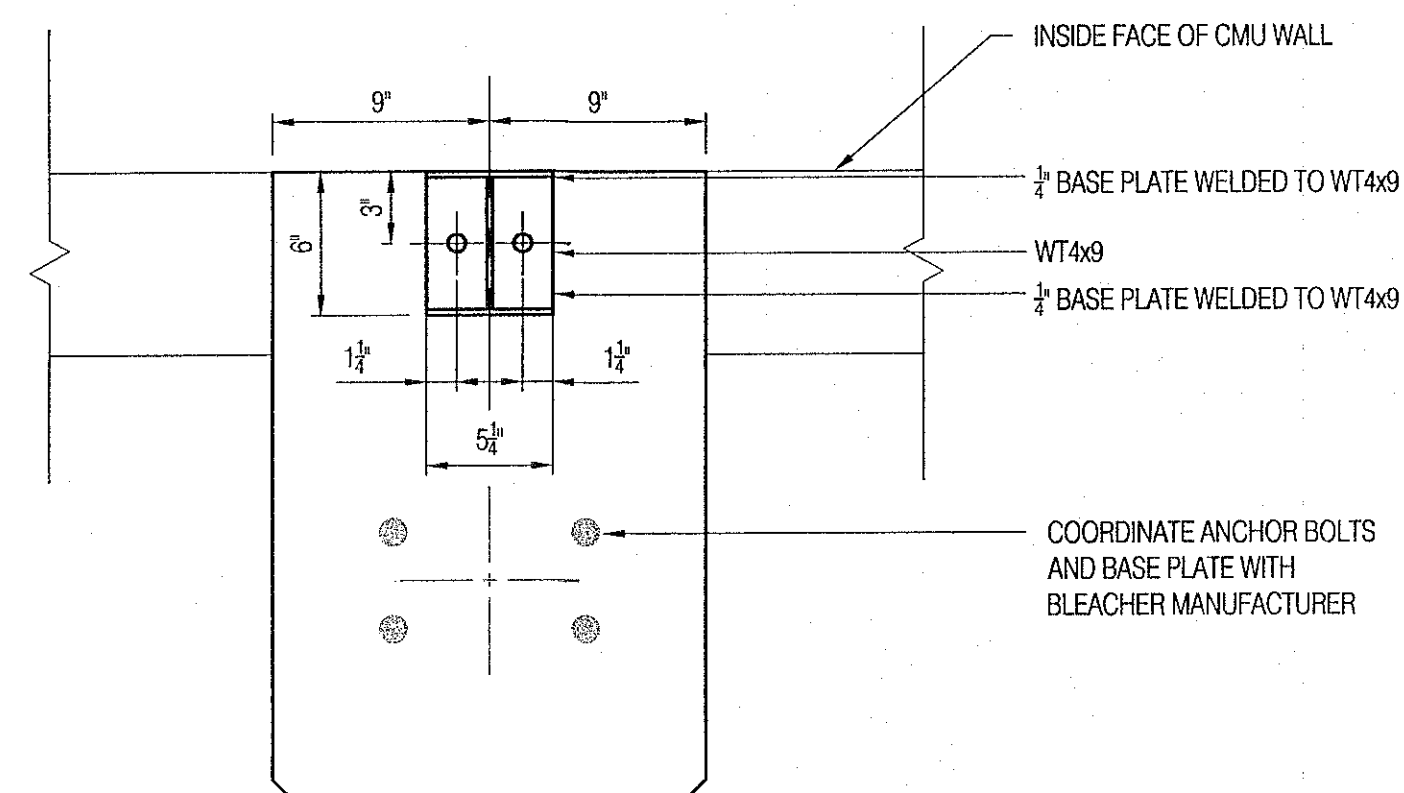


NOTE: SEE DETAIL 10 FOR CONNECTION AT COLUMN.

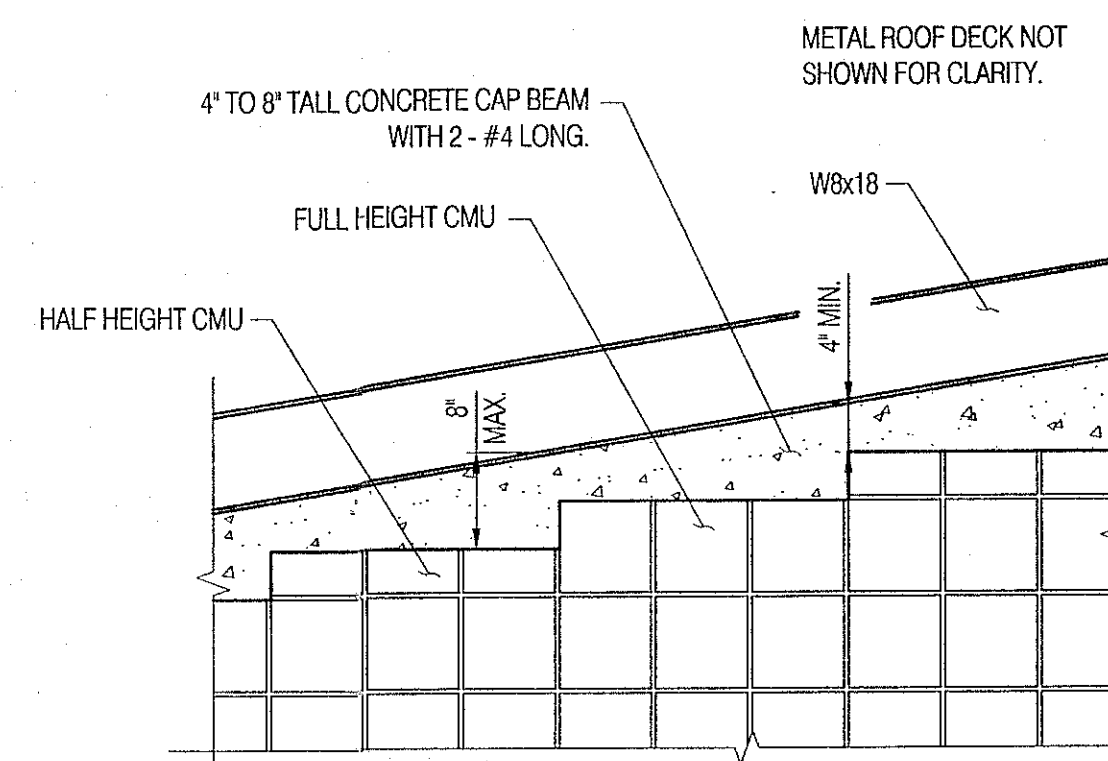
8 SECTION
S.04 SCALE: 1 1/2" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG



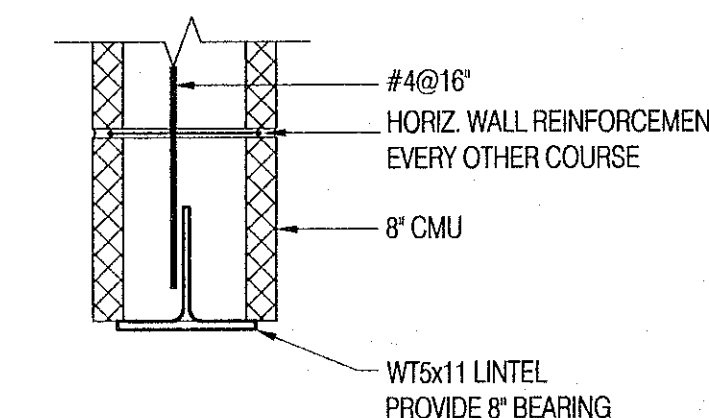
9 PLAN
S.04 SCALE: 1 1/2" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG



10 PLAN
S.04 SCALE: 1 1/2" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG



11 W8x18 SUPPORT AT OUTSIDE WALL
S.04 SCALE: 1 1/2" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG



12 W5x11 LINTEL DETAIL
S.04 SCALE: 1 1/2" = 1'-0" 2004729000DRAWINGS\SO1_STANDS+TEAM ROOMS_FDN+DETS.DWG

<p>VOLLMER ASSOCIATES LLP 2321 Whitney Avenue Hamden, CT 06518-3510 Tel: 203.281.1350 Fax: 203.281.1470</p>	NO.	REVISIONS / DESCRIPTION	DATE	SOUTH FIELDS - VETERANS MEMORIAL STADIUM RENOVATIONS WILTON ATHLETIC FIELDS COMPLEX, WILTON, CT		
	TEAM ROOM FRAMING DETAILS					
	DESIGNED BY	JMD	SCALE	AS NOTED	DATE	5 JUNE 2006
	DRAWN BY	JMD	CADD FILE	2004729000DRAWINGS\SO1.....FDN+DETS.DWG	CHECKED BY	AML
			JOB NO.	2004-729-00	SHEET S.04 OF 45 SHEETS	