

Elizabeth A.B. Suchy  
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1055 Washington Boulevard  
4<sup>th</sup> floor  
Stamford, CT 06901

March 8, 2023

Michael Wrinn  
Director of Planning and Land Use Management  
Town of Wilton - Town Hall Annex  
238 Danbury Road  
Wilton, CT 06897

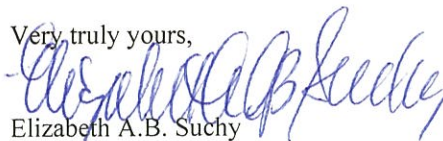
**Re: 12 Godfrey Place, Wilton, CT – Application for Site Development Plan  
Proposed multi-family, CGS 8-30g development**

Dear Mr. Wrinn:

As you are aware, this firm represents Wilton Center Lofts, LLC owner of real property with the improvements thereon, located at 12 Godfrey Place in Wilton, Connecticut (Map 73, Lot 33) (the “Property”). Located on the eastern side of Hubbard Road and the northern side of Godfrey Place, the Property is 0.62± acres and is located within the Wilton Center (“WC”) zone. The Property is improved with a three-story, 9,768± sq. ft. office building constructed in the early 1980s, and with on-grade parking spaces. Various office tenants have occupied space in the building over the years including a dentist and marketing company. In addition, a small parcel of land located on the western side of Hubbard Road is associated with the 12 Godfrey Place parcel and is improved with eight parking spaces.

Yesterday, my client submitted an Application for Site Development Plan to the Town of Wilton Planning & Zoning Commission to redevelop the property with a new, multi-family structure containing 42 units pursuant to Connecticut General Statutes Sec. 8-30g. The proposed structure is a four (4) stories 34 on-grade spaces, with an additional 8 spaces are located across the street. The concept proposes 13 one-bedroom, 19 two-bedroom and 10 three-bedroom units, each with a terrace. Thirty (30%) percent of the units (13 units) will be classified and deed restricted as affordable pursuant to CGS 8-30g. In addition, my client submitted a Town of Wilton Village District Design Advisory Committee Application.

This letter is sent to correct the name of the property owner set forth in yesterday’s letter. The owner and applicant are Wilton Center Lofts, LLC, not Greenwich Realty Development, LLC. Should you have questions or require additional documentation, please do not hesitate to contact me.

Very truly yours,  
  
Elizabeth A.B. Suchy

EABS  
VIA EMAIL and regular mail.

**SITE DEVELOPMENT PLAN:** Cite specific section(s) of the Zoning Regulations and provide a detailed description of the proposed development. Attach additional sheets as required.  
Section 29 -

11.A SEE ATTACHED NARRATIVE

WILTON CENTER LOFTS, LLC		8 STONE DRIVE, WESTPORT, CT 06880			
<b>APPLICANT'S NAME</b>		<b>ADDRESS</b>			
WILTON CENTER LOFTS, LLC		8 STONE DRIVE, WESTPORT, CT 06880			
<b>OWNER'S NAME</b>		<b>ADDRESS</b>			
12 GODFREY PLACE, WILTON, CT			WILTON CENTER (WC)		
<b>PROPERTY LOCATION</b>			<b>ZONING DISTRICT</b>		
	2553	650	73	33	0.62± AC
<b>WLR</b>	<b>VOLUME</b>	<b>PAGE</b>	<b>TAX MAP #</b>	<b>LOT #</b>	<b>ACREAGE</b>

**THE FOLLOWING MATERIALS ARE REQUIRED:**

\* Please see **SPECIAL INSTRUCTIONS FOR SUBMISSION DURING COVID** at:  
[Application Forms / Materials | Wilton CT](#)  
\* All submitted plans and documents shall bear an **original signature, seal, and license number** of the professional responsible for preparing each item. Maps should be **folded, not rolled**.

- VICINITY SKETCH** at a scale of 1"=100' or 1"=200'. Said map shall show all existing zone boundaries, existing buildings and parcels, labeled by their corresponding Tax Map and Lot Number, within 500' of the subject property.
- CLASS A-2 SURVEY MAP** of the subject property.
- SITE DEVELOPMENT PLAN** pursuant to Section 29-11 of the Zoning Regulations.
- FORM B – ZONING DATA.**
- LIST OF PROJECT PROFESSIONALS** including name, firm, address and telephone.
- LETTER OF TITLE** certifying owner of record as of date of the application.
- PROOF OF APPLICANT'S LEGAL INTEREST** in property.
- ANY OTHER PLAN OR DOCUMENT** as required by Zoning Regulations.
- ELECTRONIC SUBMISSION** of all materials, **consolidated into 1 or 2 PDFs maximum**, emailed to [michael.wrinn@wiltonct.org](mailto:michael.wrinn@wiltonct.org) and [daphne.white@wiltonct.org](mailto:daphne.white@wiltonct.org)
- \$360 FILING FEE + \$50/Unit or \$50/2000 sq. ft. payable to: Town of Wilton.**

\$360.00 + \$2,100.00 = \$2,460.00

**THE APPLICANT** understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted and is responsible for the payment of all legal notices incurred.

**THE UNDERSIGNED WARRANTS** the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

WILTON CENTER LOFTS, LLC

By: *Carmody Torrance Sandak & Hennessey LLP* **3/7/2023** ESUCHY@CARMODYLAW.COM 203-252-2656

APPLICANT'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE  
 Carmody Torrance Sandak & Hennessey LLP  
 WILTON CENTER LOFTS, LLC

By: *Carmody Torrance Sandak & Hennessey LLP* **3/7/2023** ESUCHY@CARMODYLAW.COM 203-252-2656

OWNER'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE  
 Carmody Torrance Sandak & Hennessey LLP

**For Planning and Zoning Department Use Only:**

Mandatory Referrals - Jurisdiction/Agency		
	Yes	No
Village District Design Advisory Committee (VDDAC):	<input type="checkbox"/>	<input type="checkbox"/>
Architectural Review Board (ARB):	<input type="checkbox"/>	<input type="checkbox"/>
Western Connecticut Council of Governments (WestCOG):	<input type="checkbox"/>	<input type="checkbox"/>
South Norwalk Electric and Water Company (SNEW) Designated Public Watershed:	<input type="checkbox"/>	<input type="checkbox"/>
First Taxing District Water Department Designated Public Watershed:	<input type="checkbox"/>	<input type="checkbox"/>
State-Designated Aquifer Protection Area:	<input type="checkbox"/>	<input type="checkbox"/>
Adjoining Community Notification:	<input type="checkbox"/>	<input type="checkbox"/>

Include the following data on the required Site Development Plan, as well.

12 GODFREY PLACE

0.62± AC (27,246 SF)

PROPERTY ADDRESS

LOT ACREAGE

WC - WILTON CENTER

355'

ZONING DISTRICT

LOT FRONTAGE

	PER ZONING REGS * (MAX OR MIN ALLOWED)	EXISTING	PROPOSED	TOTAL
<b>GROSS FLOOR AREA</b> [SF]	N/A	10,898 SF	68,102 SF	REFER
<b>BUILDING FOOTPRINT</b> [SF]	N/A	3,978 SF	3,954 SF	TO
<b>BUILDING COVERAGE</b> [SF/%] (round up)	N/A	14.6%	62%	PROPOSED
<b>BUILDING HEIGHT</b> [FT - Story]	N/A	3 STORIES	5 STORIES/FT	↓
<b>FLOOR AREA RATIO</b> (F.A.R.)	N/A	0.40	2.5	
<b>PARKING SPACES</b> (round up)	N/A	--	42	
<b>LOADING SPACES</b>	N/A	--	N/A	
<b>SITE COVERAGE</b> [SF/%]	N/A	63.9%	73%	

**OFF-STREET PARKING AND LOADING CALCULATIONS**

Please provide the specific calculation used to determine the minimum required off-street parking and loading spaces pursuant to the Zoning Regulations.

**PARKING CALCULATION** (Use separate page, if necessary)\*

34 SPACES ON SITE WITH 8 SPACES OFF-SITE

**LOADING CALCULATION** (Use separate page, if necessary)

N/A

**PLAN OF CONSERVATION AND DEVELOPMENT**

Please indicate on separate page how this proposal complies with the Plan of Conservation and Development. SEE ATTACHED

**THE UNDERSIGNED WARRANTS** the truth of all statements contained herein:

\*Town of Wilton Zoning Regulations are not applicable since this application is made under CGS8-30g

By: Carmody Torrance Sandak & Hennessey 3/7/2023  
 APPLICANT'S SIGNATURE DATE

**WILTON CENTER LOFTS, LLC  
12 GODFREY PLACE, WILTON, CT  
APPLICATION FOR SITE DEVELOPMENT PLAN  
NARRATIVE - SCHEDULE A**

**I. BACKGROUND**

Wilton Center Lofts, LLC (the “Applicant”) is the owner of real property with the improvements thereon located at 12 Godfrey Place in Wilton, CT (the “Property”). The Property is improved with a three-story office building and two (2) on-grade asphalt parking lots separated by a planted strip. The Property is 0.62± acres (27,246± sq.ft.) and is zoned WC. (Refer to “Property & Topographic Survey Depicting #12 Godfrey Place Wilton, Connecticut Prepared For Greenwich Realty Development, LLC (Sheet No.: PSTS) dated 6/9/22” (“Survey”) prepared by Ryan & Faulds Land Surveyors, attached hereto and made a part hereof).

**II. PROPOSAL**

The Applicant proposes to demolish the existing, 9,800+ sq.ft. three-story brick office building and redevelop the Property with a new multi-family development containing 42 apartments (13 one-bedroom, 19 two-bedroom, and 10 three-bedroom), with 42 parking spaces - 34 on-grade parking spaces underneath the building plus an additional eight (8) spaces across the street at 23 Hubbard Road.<sup>1</sup> This proposal is submitted pursuant to Sec. 8-30g of the Connecticut General Statutes.

The units range in size from 829 sq.ft. to 1,249 sq.ft. for one-bedroom units, 1,177 sq.ft. to 1,582 sq.ft. for two-bedroom units, and 1,504 sq.ft. to 2,330 sq.ft. for three-bedroom units. Thirty (30%) percent of the units – thirteen (13) – will be deed-restricted affordable units, and dispersed throughout the building. (Refer to architectural plans prepared by Granoff Architects dated September 20, 2022 revised to February 7, 2023, attached hereto and made a part hereof).

**III. SITE PLAN STANDARDS OF REVIEW**

The Applicant submits that this application complies with the standards of approval for site plan review as set forth in Sec. 29-11.A as follows:

- a. The general conformity of the Site Plan with the intent of the Town's Plan of Development; however, the Plan of Development shall not take precedence over specific provisions of these Regulations.  
The proposed redevelopment of the Property with a multi-family use in the heart of downtown Wilton complies with many goals and policies of the Plan of Conservation and Development, most importantly addressing Wilton’s “top community goal” to diversify the town’s housing stock, as articulated in goal of the advisory Plan of Conservation and Development (“POCD”). Moreover, the proposal addresses the POCD’s vision of Wilton as a place of new housing typologies (p. 21) by encouraging efforts to “continue to increase housing options to benefit the shared interests of the Town’s residential and commercial communities.” (POCD p. 23). The proposal addresses the goal to create “smaller housing units that can support a range of life stages and includes multi-family apartments, condominiums, and smaller single-family houses (POCD p. 49), which will assist the town in its efforts to “foster a vibrant and socio-economically diverse local community” (POCD p. 49) serving the entire Wilton community including younger working age and older populations.
- b. The arrangement of buildings, structures and uses on the site.  
The proposed structure takes many architectural and massing cues from other residential and mixed-use structures in the neighborhood including the mixed-use building at the corner of Old Ridgefield Road and Godfrey Place, the structure across the street on the west side of Hubbard Road, and other

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<sup>1</sup>Volume 522, Page 123 Wilton Land Records.  
{S7486019}

structures in the vicinity. (Refer to architectural plans and elevations, and analysis by Granoff Architects, attached hereto and made a part hereof).

- c. Provision for safe pedestrian movement within and adjacent to the site.  
Five foot (5') wide sidewalks along Godfrey Place and Hubbard Lane are proposed, which offer improved walkability and pedestrian connection to properties to the east and north. (Refer to "Ground Floor Plan (A100)" dated 9/30/22 revised to 2/7/23 by Granoff Architects and "Site Development Plan Depicting 12 Godfrey Place Wilton, CT prepared for Greenwich Realty Development, LLC (SE-1) dated 9/30/22 revised to 2/28/23 prepared by Redniss & Mead, attached hereto and made a part hereof).
- d. The adequacy of design of the storm drainage system to accommodate any increase in stormwater runoff and to minimize soil erosion and sedimentation.  
To accommodate the new use and impacts from the impervious coverage, a infiltration system is to be located within the building footprint and below the on-grade parking. The system has been designed to capture and treat runoff from 80% of the site and has been "robustly designed and will not negatively impact downstream properties." (Refer to "Drainage Summary Report" dated September 30, 2022 revised on February 28, 2023 prepared by Redniss & Mead attached hereto and made a part hereof). The proposed stormwater management system has been reviewed and approved by the Town of Wilton Department of Public Works. Further, "municipal sewers have the capacity to accommodate flow from the redevelopment of the subject parcel and future development within the watershed." (Refer to "Sanitary Sewer Report" dated September 30, 2022 revised on February 28, 2023 prepared by Redniss & Mead, attached hereto and made a part hereof. Refer also to "Site Development Plan Depicting 12 Godfrey Place Wilton, CT Prepared for Greenwich Realty Development, LLC dated 9/30/22 revised to 2/28/23 by Redniss & Mead, attached hereto and made a part hereof).
- e. The location, intensity, and direction of outdoor lighting and the proposed times for its use.  
Limited site lighting is proposed, and generally for the purposes of pedestrian and motorist safety. (Refer "Ground Floor Exterior Lighting Plan (A200)", "First Floor Exterior Lighting Plan (A201)", "Second Floor Exterior Lighting Plan (A202)", "Third Floor Exterior Lighting Plan (A203)" all dated 9/30/22 revised to 2/7/23 prepared by Granoff Architects and "Photometric Calculation (L-1, L-2, L-2)" all dated 10/3/22 prepared by Illuminate, attached hereto and made a part hereof).
- f. The size, location, and type of any outdoor storage facilities, including dumpsters.  
No outdoor storage facilities are proposed. Outdoor mechanicals such as emergency generators and transformers conform with required setbacks and will be properly shielded. (Refer to "Architectural Site Plan (AS100)" dated 9/30/22 revised to 2/7/23 by Granoff Architects, attached hereto and made a part hereof).
- g. The size, location and type of signs, and their appropriateness to the neighborhood.  
Limited signage is proposed adjacent to the main entrance and complies with Town of Wilton signage regulations. (Refer to "West & East Elevation (A300)" and "Signage (A304)" both dated 9/30/22 revised to 2/7/23 by Granoff Architects, attached hereto and made a part hereof).
- h. The adequacy of the landscaping treatment, including any buffers and other screening.  
More than a dozen new trees, 50+ shrubs, and assorted ground cover will be planted on the Property. A few trees will be removed. (Refer to "Landscape Plan (L-100)" dated 9/27/22 revised to 2/6/23 by Granoff Architects, attached hereto and made a part hereof).

**WILTON CENTER LOFTS, LLC  
12 GODFREY PLACE, WILTON, CT  
APPLICATION FOR SITE DEVELOPMENT PLAN  
LIST OF CONSULTANTS/EXPERTS**

**Architect:**

Richard Granoff  
Granoff Architects  
330 Railroad Avenue  
Greenwich, CT 06830  
203-623-9460

**Civil Engineer:**

Patrick Schurr, PE  
Redniss & Mead  
22 First Street  
Stamford, CT 06905  
203-327-0500

**Traffic Engineer**

Steve Cipolla  
Hardesty & Hanover  
555 Theodore Fremd Ave  
Suite C301  
Rye, NY 10580

**Legal**

Elizabeth A.B. Suchy, Esq.  
Carmody Torrance Sandak & Hennessey LLP  
1055 Washington Boulevard – 4<sup>th</sup> floor  
Stamford, CT 06901  
203-252-2656

March 7, 2023

Richard Tomasetti, chairman  
Town of Wilton  
Planning & Zoning Commission  
238 Danbury Road  
Town Hall Annex  
Wilton, CT 06897

**Re: *Wilton Center Lofts, LLC – 12 Godfrey Place, Wilton, Connecticut***  
***Site development plan application for proposed new multi-family development and associated site improvements***

Dear Chairman Tomasetti:

Wilton Center Lofts, LLC, is the owner of real property with the improvements thereon located at 12 Godfrey Place in Wilton, CT. Wilton Center Lofts, LLC hereby consents to the preparation, submission and presentation of a site plan application for a 42-unit multi-family development and associated site improvements per Connecticut General Statutes Sec. 8-30g at 12 Godfrey Place, Wilton, CT, by the law firm of Carmody Torrance Sandak & Hennessey, LLP. Should you have any questions please do not hesitate to contact the undersigned.

Very truly yours,

Wilton Center Lofts, LLC

By Matthew Finley

Its Managing Member  
Duly Authorized



WILTON CENTER LOFTS, LLC  
12 GODFREY PLACE – WILTON, CT

LIST OF EXHIBITS

1. Property & Topographic Survey Depicting #12 Godfrey Place Wilton, Connecticut (Sheet No.: PSTS) dated 6/9/22 prepared by Redniss & Mead
2. Architectural Site Plan and Zoning Information (Drawing No. AS100) dated 9/30/2022, revised to 2/7/23 prepared by Granoff Architects
3. Context Images (Drawing NO. AS101) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
4. Ground Floor Plan (Drawing No. A100) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
5. Typical First & Second Floor Plan (Drawing No. A101) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
6. Third Floor Plan (Drawing No. A102) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
7. Penthouse Floor Plan (Drawing No. A103) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
8. Ground Floor Exterior Lighting Plan (Drawing No. A200) dated 9/30/2022, revised to 2/7/23 prepared by Granoff Architects
9. First Floor Exterior Lighting Plan (Drawing No. A201) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
10. Second Floor Exterior Lighting Plan (Drawing No. A202) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
11. Third Floor Exterior Lighting Plan (Drawing No. A203) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
12. Roof Plan (Drawing No. A104) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
13. West & East Elevations (Drawing No. A300) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
14. South & North Elevations (Drawing No. A301) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
15. Exterior Renderings (Drawing No. A302) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
16. Exterior Renderings (Drawing No. A302A) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
17. Exterior Materials (Drawing A303) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
18. Signage (Drawing A304) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
19. Building Sections (Drawing A400) dated 9/30/22, revised to 2/7/23 prepared by Granoff Architects
20. Photometric Calculation (Drawing No. L-1) dated 10/3/2022 prepared by Illuminate
21. Photometric Calculation (Drawing No. L-2) dated 10/3/2022 prepared by Illuminate
22. Photometric Calculation (Drawing No. L-3) dated 10/3/2022 prepared by Illuminate
23. Landscape Plan (Drawing L100) dated 9/9/22, revised to 2/6/23 prepared by Granoff Architects

24. Site Development Plan (Sheet No. SE-1) dated 9/30/22, revised to 2/28/23 prepared by Redniss & Mead
25. Sedimentation and Erosion Control Plan (Sheet No. SE-2) dated 9/30/22, revised to 2/28/23 prepared by Redniss & Mead
26. Details & Soil Data (Sheet SE-3) dated 9/30/22, revised to 2/28/23 prepared by Redniss & Mead
27. Sanitary Sewer Report dated September 30, 2022, revised to February 28, 2023 prepared by Redniss & Mead
28. Drainage Summary Report dated September 30, 2022, revised to February 28, 2023 prepared by Redniss & Mead
29. Memo dated March 1, 2023 prepared by Granoff Architects
30. Traffic Evaluation dated February 28, 2023 prepared by Hardesty & Hanover

73-15  
CURRENT RESIDENT  
280 TANGLEWOOD CIRCLE  
MILFORD CT 06461

73-18  
AMIST LLC  
288 SMITH RIDGE RD  
NEW CANAAN CT 06840

73-28  
WILTON REALTY & DEVELOPMENT LLC  
9 EAST 40TH ST 8 FLR  
NEW YORK NY 10016

73-31  
LOREN FINDORAK RESIDUARY TRUST  
12 DEER HILL RD  
REDDING CT 06896

73-32-3  
LEVY STACY-PAIGE  
21 HUBBARD RD UNIT 3  
WILTON CT 06897

73-32-1-A  
TOWNSEND-ADAMS PROPERTIES LLC  
23 HUBBARD RD  
WILTON CT 06897

73-32-1-B  
TOWNSEND-ADAMS PROPERTIES LLC  
23 HUBBARD RD  
WILTON CT 06897

73-33-GLA  
LENTNER HOLDINGS LLC  
12 GODFREY PL 2 WEST  
WILTON CT 06897

73-33-GLA  
LENTNER HOLDINGS LLC  
12 GODFREY PL 2 WEST  
WILTON CT 06897

73-33-GL  
ORVIS CELIA C TRUSTEE  
661 FOREST PARK BEND  
ST AUGUSTINE FL 32092

73-16  
JAMES B WHIPPLE POST 86 AMERICAN  
112 OLD RIDGEFIELD RD  
WILTON CT 06897

73-25  
WILTON RIVER PARK 1688 LLC  
3333 NEW HYDE PARK RD STE 100  
NEW HYDE PARK NY 11042

73-29  
WILTON RIVER PARK NORTH LLC  
3333 NEW HYDE PARK RD STE 100  
NEW HYDE PARK NY 11042

73-32-1  
21 HUBBARD LLC  
12 OAKWOOD AVE  
NORWALK CT 06850

73-32-1-A  
TOWNSEND-ADAMS PROPERTIES LLC  
23 HUBBARD RD  
WILTON CT 06897

73-32-1-A  
TOWNSEND-ADAMS PROPERTIES LLC  
23 HUBBARD RD  
WILTON CT 06897

73-32-1-B  
TOWNSEND-ADAMS PROPERTIES LLC  
23 HUBBARD RD  
WILTON CT 06897

73-33-GLA  
LENTNER HOLDINGS LLC  
12 GODFREY PL 2 WEST  
WILTON CT 06897

73-33-GL  
ORVIS CELIA C TRUSTEE  
661 FOREST PARK BEND  
ST AUGUSTINE FL 32092

73-33-GL  
ORVIS CELIA C TRUSTEE  
661 FOREST PARK BEND  
ST AUGUSTINE FL 32092

73-17  
118 OLD RIDGEFIELD ROAD LLC  
118 OLD RIDGEFIELD RD  
WILTON CT 06897

73-26  
SUN PLAZA CENTER LLC  
185 BROAD ST  
WETHERSFIELD CT 06109

73-30  
LOREN FINDORAK RESIDUARY TRUST  
12 DEER HILL RD  
REDDING CT 06896

73-32-2  
MASANI FARAH  
21 HUBBARD RD #2  
WILTON CT 06897

73-32-1-A  
TOWNSEND-ADAMS PROPERTIES LLC  
23 HUBBARD RD  
WILTON CT 06897

73-32-1-B  
TOWNSEND-ADAMS PROPERTIES LLC  
23 HUBBARD RD  
WILTON CT 06897

73-32-1-B  
TOWNSEND-ADAMS PROPERTIES LLC  
23 HUBBARD RD  
WILTON CT 06897

73-33-GLA  
LENTNER HOLDINGS LLC  
12 GODFREY PL 2 WEST  
WILTON CT 06897

73-33-GL  
ORVIS CELIA C TRUSTEE  
661 FOREST PARK BEND  
ST AUGUSTINE FL 32092

73-33-1  
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ST AUGUSTINE FL 32092

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ST AUGUSTINE FL 32092	ST AUGUSTINE FL 32092	ST AUGUSTINE FL 32092
73-33-3	73-33-2A	73-33-2A
ORVIS CELIA C TRUSTEE	LENTNER HOLDINGS LLC	LENTNER HOLDINGS LLC
661 FOREST PARK BEND	12 GODFREY PL 2 WEST	12 GODFREY PL 2 WEST
ST AUGUSTINE FL 32092	WILTON CT 06897	WILTON CT 06897
73-33-2A	73-33-2A	73-33-2B
LENTNER HOLDINGS LLC	LENTNER HOLDINGS LLC	HOCKEY PUCK ASSOCIATES
12 GODFREY PL 2 WEST	12 GODFREY PL 2 WEST	PO BOX 368
WILTON CT 06897	WILTON CT 06897	WILTON CT 06897
73-33-2B	73-33-2B	73-33-2B
HOCKEY PUCK ASSOCIATES	HOCKEY PUCK ASSOCIATES	HOCKEY PUCK ASSOCIATES
PO BOX 368	PO BOX 368	PO BOX 368
WILTON CT 06897	WILTON CT 06897	WILTON CT 06897
73-34	73-34-1	73-35
WILTON LIBRARY ASSOCIATION INC	ABC OF WILTON,INC.	WILTON LIBRARY ASSOCIATION INC
137 OLD RIDGEFIELD RD	P.O.BOX 7658	137 OLD RIDGEFIELD RD
WILTON CT 06897	WILTON CT 06897	WILTON CT 06897
73-36	73-37	73-37-1
FLEET NTL BANK/BANK OF AMERICA	WILTON TOWN OF	WILTON TOWN OF
101 N TRYON ST NC1-001-03-81	276 POST RD WEST STE 201	238 DANBURY RD
CHARLOTTE NC 28255	WESTPORT CT 06880	WILTON CT 06897
73-37-3	73-38	73-39
WILTON TOWN OF	MCL HUBBARD-KEELER LLC	COMMUNITY NURSERY SCHOOL OF WILT
276 POST RD WEST STE 201	PO BOX 49	9 HUBBARD RD
WESTPORT CT 06880	WILTON CT 06897	WILTON CT 06897
73-40	73-41	73-45
THE WILTON BANK	L & L ASSOCIATES	HAGMANN DANIEL
47 OLD RIDGEFIELD RD	PO BOX 49	18 GRAENEST RDG RD
WILTON CT 06897	WILTON CT 06897	WILTON CT 06897
73-46-1	73-47	73-48
RAY RICHARD A & KERRY O	HYDE DOROTHY K	ZHENG MIN &
32 GRAENEST RIDGE RD	36 GRAENEST RIDGE RD	40 GRAENEST RIDGE RD
WILTON CT 06897	WILTON CT 06897	WILTON CT 06897

73-40-1

WILTON TOWN OF  
238 DANBURY RD  
WILTON

CT 06897

73-40-2

THREE HUBBARD RD LLC  
PO BOX 692  
NORWALK

CT 06856

73-32

73-32-1

73-33

# Town of Wilton

Geographic Information System (GIS)



Date Printed: 3/6/2023



**MAP DISCLAIMER - NOTICE OF LIABILITY**

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Wilton and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 50 ft



Record and return to:  
Robinson & Cole LLP  
1055 Washington Boulevard  
Stamford, CT 06901  
Attn: Anthony J. Vogel, Esq.

  
Doc ID: 003031970007 Type: LAN  
BK 2553 PG 650-656

**WARRANTY DEED**

We, **12 GODFREY PLACE ASSOCIATION, INC.**, a Connecticut non-stock corporation (the "Association") and the individual former unit owners: **LENTNER HOLDINGS, LLC**, a Connecticut limited liability company having an office in the Town of Wilton, County of Fairfield and State of Connecticut, **HOCKEY PUCK ASSOCIATES**, a sole proprietorship having an office in the Town of Wilton, County of Fairfield and State of Connecticut; and **CELIA C. ORVIS, TRUSTEE OF THE CELIA C. ORVIS LIVING TRUST OF NOVEMBER 29, 2005**, duly qualified as trustee, of the State of Florida and Town of St. Augustine; AND **12 GODFREY PLACE ASSOCIATION, INC.**, acting herein by its members **LENTNER HOLDINGS, LLC**, **HOCKEY PUCK ASSOCIATES**, and **CELIA C. ORVIS, TRUSTEE OF THE CELIA C. ORVIS LIVING TRUST OF NOVEMBER 29, 2005** for the consideration of **TWO MILLION FIVE HUNDRED THOUSAND AND 00/100 DOLLARS (\$2,500,000.00)** paid, grant to **WILTON CENTER LOFTS, LLC**, a Delaware limited liability company, **WITH WARRANTY COVENANTS**

**ALL THAT CERTAIN**, piece, parcel or tract of land, with the improvements thereon, situated in the Town of Wilton, County of Fairfield and State of Connecticut and being more particularly shown and designated on **Schedule A** which is attached hereto and made a part hereof.

SIGNATURE PAGE FOLLOWS

Signed this 20th day of July, 2022.

Witnessed by:

12 GODFREY PLACE  
ASSOCIATION, INC  
By: Lentner Holdings, LLC  
Duly Authorized

[Signature]  
Kathleen M. Lentner  
[Signature]  
Susan L. Goldman

by: [Signature]  
Sean Lentner, Manager  
Duly Authorized

CONVEYANCE TAX RECEIVED  
TOWN: \$6,250.00 STATE: \$31,250.00

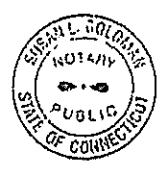
[Signature]  
WILTON, CT TOWN CLERK

State of Connecticut )  
County of Fairfield ) ss: Wilton

July 20, 2022

Personally appeared 12 Godfrey Place Association, LLC acting herein by Lentner Holdings, LLC, its duly authorized representative, acting herein by Sean Lentner, its Manager, duly authorized, signer and sealer of the foregoing instrument, known to me (or satisfactorily proven) to be the person whose name is subscribed to the foregoing instrument and acknowledged the same to be his free act and deed and the free act and deed of 12 Godfrey Place Association, Inc. and Lentner Holdings, Inc., as corporate representative of 12 Godfrey Place Association, Inc. and manager of Lentner Holdings, LLC, before me.

[Signature]  
Notary Public  
Commissioner of the Superior Court



Susan L. Goldman  
NOTARY PUBLIC  
State of Connecticut  
My Commission Expires  
April 30, 2023



Signed this 20<sup>th</sup> day of July, 2022.

Witnessed by:

[Signature]  
Katherine Lentner

[Signature]  
Witnessed by: Susan Goldman

[Signature]  
Katherine Lentner

[Signature]  
Susan L. Goldman

State of Connecticut )

County of Fairfield )

) ss: Wilton

Lentner Holdings, LLC

[Signature]  
By: Sean Lentner, Manager  
Duly Authorized

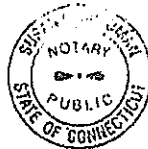
Lentner Holdings, LLC  
(as member of  
12 Godfrey Place Association, Inc.)

[Signature]  
By: Sean Lentner, Manager  
Duly Authorized

July 20, 2022

Personally appeared Lentner Holdings, LLC, acting herein by Sean Lentner, its Manager, duly authorized, signer and sealer of the foregoing instrument, , known to me (or satisfactorily proven) to be the person whose name is subscribed to the foregoing instrument and acknowledged the same to be his free act and deed and the free act and deed of Lentner Holdings, Inc., both as unit owner and member of 12 Godfrey Place Association, Inc., before me.

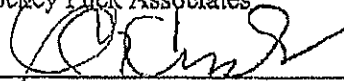
[Signature]  
Notary Public/Commissioner of the Superior Court



Susan L. Goldman  
NOTARY PUBLIC  
State of Connecticut  
My Commission Expires  
April 30, 2023

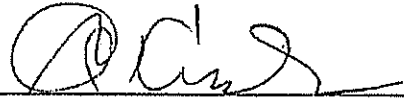
Signed this 14<sup>th</sup> day of July, 2022.

Hockey Puck Associates



By: Charles E. Kessler,  
Sole Proprietor

Hockey Puck Associates  
(as member of  
12 Godfrey Place Association, Inc.)



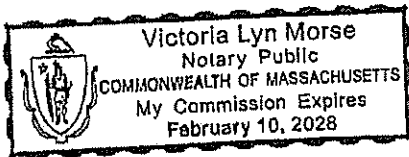
By: Charles E. Kessler,  
Sole Proprietor

Commonwealth of Massachusetts )  
County of Barnstable )

ss: Barnstable

July 14, 2022

Personally appeared Charles E. Kessler, Sole Proprietor of Hockey Puck Associates, signer and sealer of the foregoing instrument, known to me (or satisfactorily proven) to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purposes therein contained as his free act and deed as such Sole Proprietor of Hockey Puck Associates, both as unit owner and as member of 12 Godfrey Place Association, Inc.



Victoria Lyn Morse  
Notary Public

Dated as of this <sup>15<sup>th</sup></sup> day of July, 2022.

S. G. Chapman, Witness

Tonnie L. Alliance, Witness

S. G. Chapman, Witness

Tonnie L. Alliance, Witness

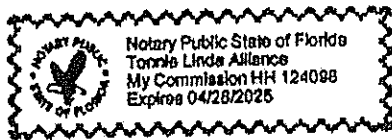
Celia C. Orvis, Trustee  
Celia C. Orvis, Trustee of the  
Celia C Orvis Living Trust  
Dated November 29, 2005

Celia C. Orvis, Trustee  
Celia C. Orvis, Trustee of the  
Celia C Orvis Living Trust  
Dated November 29, 2005  
(as member of  
12 Godfrey Place Association, Inc.)

State of Florida )  
County of St. Johns ) s.s.

On this the <sup>15</sup> day of July, 2022, before me, the undersigned officer, personally appeared Celia C. Orvis, duly authorized Trustee of the Celia C. Orvis Living Trust dated November 29, 2005, known to me (or satisfactorily proven) to be the person whose name is subscribed to the foregoing instrument and acknowledged that she executed the same for the purposes therein contained as her free act and deed as such Trustee, both as unit owner and as member of 12 Godfrey Place Association, Inc..

Tonnie L. Alliance  
Notary Public



## SCHEDULE A

ALL THOSE CERTAIN tracts or parcels of land together with the buildings and improvements located thereon, situated in the Town of Wilton, County of Fairfield and State of Connecticut, and shown and designated as land of Corypheus Investments Assoc., Inc., 0.447<sup>1</sup>/<sub>2</sub> Ac. and Plot 0.178<sup>1</sup>/<sub>2</sub> Ac. on that certain map entitled, "Map Showing Property Exchange between the Town of Wilton and Corypheus Investments Associates, Inc., Wilton, Connecticut Scale 1" = 20' December 23, 1980 Ryan and Paulds -Land Surveyors - Wilton, Connecticut Certified 'Substantially Correct' Conforms to the Precision of a Class A-2 Survey Russell J. Paulds Land Surveyor Conn. Reg. No. 5546", which map is on file in the Wilton Land Records as Map #3910.

---

Being the same Premises as:

BEGINNING at a point on the northerly side of Godfrey Place, where it intersects the division line between land now or formerly of Wilton Library Association Inc. (6 Godfrey Place) and the southeasterly corner of the herein described parcel of land; thence, running along said northerly side of Godfrey Place N 86°10'40" W a distance of 105.82 feet to the easterly side of Hubbard Road, thence along said easterly side of Hubbard Road N 02°59'43" E a distance of 179.52 feet and on a clockwise curve with a central angle of 08°23'43" with a radius of 475.00 feet for an arc length of 69.60 feet to lands now or formerly of the Town of Wilton (101 Old Ridgefield Road), thence running along said Town of Wilton and the aforementioned Wilton Library Association Inc., each in part, S 84°51'00" E a distance of 110.06 feet and S 05°09'00" W a distance of 246.43 feet to the point of beginning and comprising an area of 27,246 square feet (0.625 Acres).

Said Premises are conveyed together with the right to maintain eight parking spaces at the property located at 18 Godfrey Place, Wilton, Connecticut as set forth in a grant recorded in Volume 535 at Page 133 and rights under a Deed to Carl J. Luster dated March 24, 1986 and recorded in the Wilton Land Records at Volume 535 at Page 138 of the Wilton Land Records.

Said Premises are further conveyed together with the terms and conditions of that certain easement and right of way as described in a deed from the Town of Wilton to Lawrence R. Gilman, Harry Kabasakalian, Sanford M. Kellogg and Jonathan B. Kellogg dated November 23, 1981 and recorded November 25, 1981 in Volume 380 at Page 54; and as described in a deed from Lawrence R. Gilman, Harry Kabasakalian, Sanford M. Kellogg and Jonathan B. Kellogg to the Town of Wilton dated November 23, 1981 and recorded November 25, 1981 in Volume 380 at Page 52 of the Wilton Land Records.

Said Premises are subject to:

1. Limitations of use imposed by governmental authority.
2. Taxes to the Town of Wilton hereafter due and payable.
3. Easement and right of way as described in a deed from the Town of Wilton to Lawrence R. Gilman, Harry Kabasakalian, Sanford M. Kellogg and Jonathan B. Kellogg dated November 23, 1981 and recorded November 25, 1981 in Volume 380 at Page 54; and as described in a deed

from Lawrence R. Gilman, Harry Kabasakalian, Sanford M. Kellogg and Jonathan B. Kellogg to the Town of Wilton dated November 23, 1981 and recorded November 25, 1981 in Volume 380 at Page 52 of the Wilton Land Records.

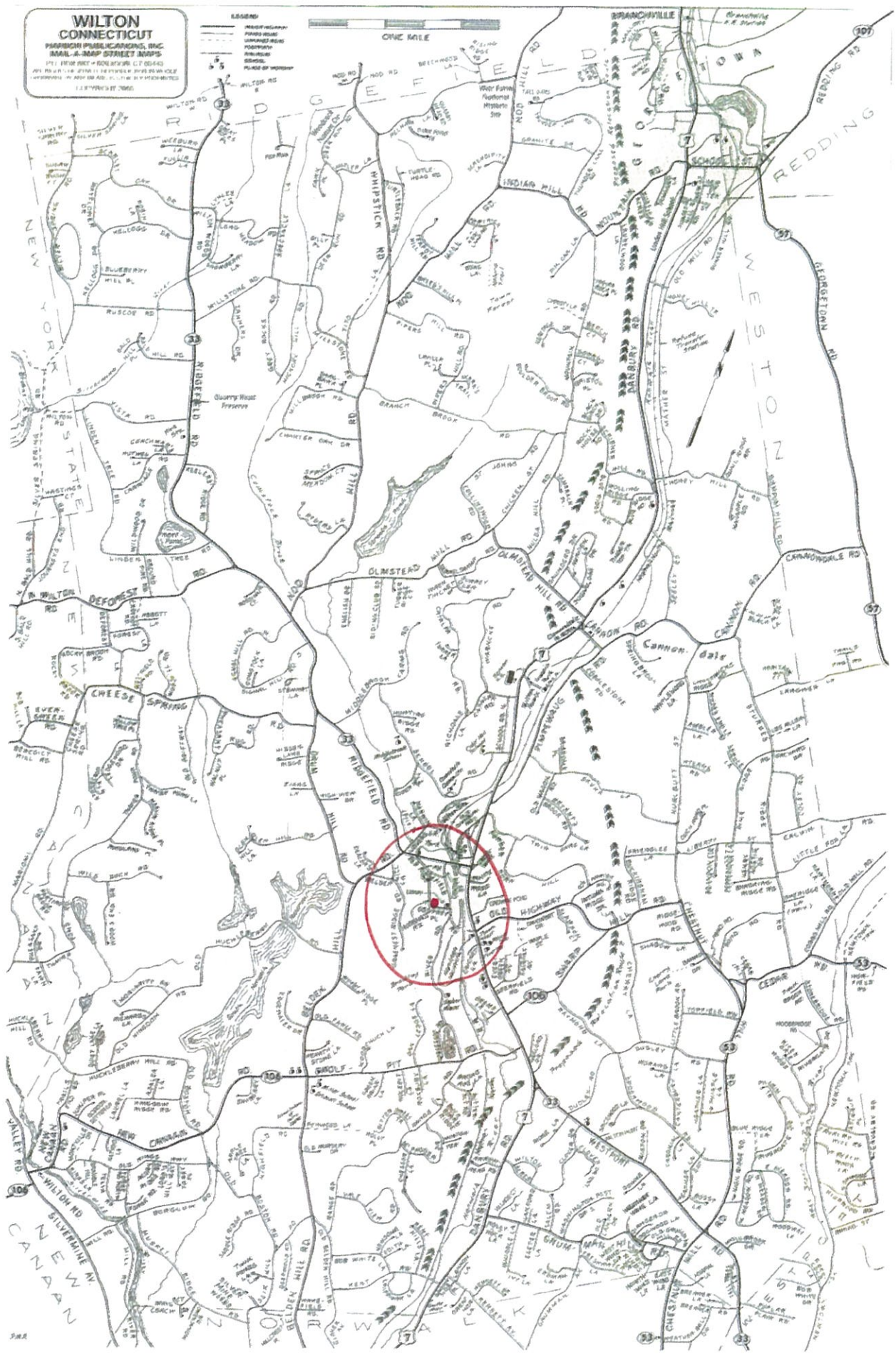
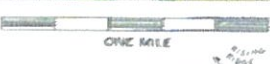
4. Effect, if any, of right to maintain eight parking spaces at the property located at 18 Godfrey Place, Wilton, Connecticut as set forth in a grant recorded in Volume 535 at Page 133 and rights under a Deed to Carl J. Luster dated March 24, 1986 and recorded in the Wilton Land Records at Volume 535 at Page 138 of the Wilton Land Records.
5. Utility Easement to the Town of Wilton dated September 25, 2008 and recorded in Volume 2025 at Page 143 of the Wilton Land Records.
6. Notes, notations and conditions as shown on Map No. 5639.

Received for Record at Wilton, CT  
On 07/22/2022 At 2:47:00 pm

*Oliver A. Sobrak*

**WILTON  
CONNECTICUT**  
 PARSON PUBLICATIONS, INC.  
 1000 J. MOP STREET BOSTON  
 171 17th ST - BOSTON, CT 06442  
 TEL. 800-441-2700  
 1:25,000 S.T. 7060

**LEGEND**  
 ROADWAY  
 HIGHWAY  
 RAILROAD  
 FERRY  
 CANAL  
 STREAM  
 LAKE  
 WOODLAND  
 SWAMP  
 SAND  
 GRAVEL  
 ROCK  
 CLAY  
 SILT  
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**Wilton Center Lofts, LLC – 12 Godfrey Place, Wilton,**  
**Affordable Housing Compliance Plan**

**I. Definitions.**

In this Plan, the term "Affordable Unit" means one (1) of the thirteen (13) apartments within the 42-unit apartment building to be constructed at 12 Godfrey Place, Wilton, Connecticut (the Building") that are subject to long-term restrictions on the maximum household income of prospective or continuing tenants and the maximum rental price, sale price, or resale price, of each of these units as stated in this Plan. Notwithstanding any zoning regulation to the contrary, designated affordable units shall be restricted in perpetuity beginning on the date of initial occupancy of each available affordable housing unit.

The term "Compliance Manager" means the individual or business entity charged with the responsibility of administering this Plan and ensuring compliance with the requirements outlined herein.

**II. Entity Responsible For Administration And Compliance Reporting.**

Wilton Center Lofts, LLC ("Lofts") with a business address of 8 Stone Drive, Westport, Connecticut 06880, will act as the Compliance Manager for the owner of the Building. The primary responsibilities of the Compliance Manager include: (i) Qualifying prospective tenants of affordable housing; (ii) Overseeing notification and advertising of available affordable housing and participating in the selection and qualification of prospective candidates seeking affordable housing; (iii) Soliciting and maintaining a current waiting list of prospective affordable housing candidates; (iv) Performing any other responsibility necessary in the administration, oversight and proper management of the thirteen (13) Affordable Units.

The owner or Compliance Manager of any Affordable Unit shall be responsible to calculate the sale and resale pricing and calculate rental and re-rental pricing. The owner or Compliance Manager of any Affordable Unit shall prepare annual compliance reports for Town review and approval. All of the above responsibilities of the Compliance Manager shall be performed at the sole expense of the owner and subject to the review of the by the Planning and Zoning Commission (the "Commission") and/or its staff. Any change in the designation of a required Compliance Manager shall be subject to the review and approval of the Commission and/or its staff and shall not be unreasonably withheld or delayed.

**III. Construction Quality, Phasing, And Bedroom Type For Units.**

- A. Quality. Affordable Units shall be of similar construction quality and contain a number of bedrooms equivalent to market-rate units, up to three bedrooms, within the development and unless permitted off-site, shall be dispersed throughout the Building. Exterior building appearances shall be compatible with the proposed market rate housing.
- B. Phasing. If the development is to be built in phases, the Affordable Units shall be built on a pro-rata basis as construction proceeds.

**Wilton Center Lofts, LLC – 12 Godfrey Place, Wilton,**  
**Affordable Housing Compliance Plan**

- C. Bedroom ratio. There will be a total of thirteen (13) Affordable Units: five (5) one-bedroom apartments, four (4) two-bedroom apartments and four (4) three-bedroom apartment. Floor plans depicting the location of the Affordable Units are attached to this Plan as Schedule A.

**IV. Notice of Initial Rental Of Affordable Units.**

At the same time that market rate units are advertised to the general public, an affirmative marketing plan shall be provided by advertising such availability in the real estate section of a newspaper or internet outlet of general circulation in the Town of Wilton, and by providing notice to the Wilton Board of Selectmen, the Wilton Town Clerk and the Commission. The notice shall include at a minimum a description of the available unit(s), the income limits, and the availability of application forms.

**V. Tenant Eligibility.**

Thirteen (13) Affordable Units shall be offered for rent to families whose income is less than or equal to 80 percent of the Area Median Income for the Town of Wilton determined by HUD (the Stamford-Norwalk CT HUD Metro FMR Area).

**VI. Application Process.**

Prospective tenants or purchasers will be required to fill out an application form containing detailed instructions for calculating their family income and allowing the Compliance Manager or other appropriate administrative personnel to verify the information. Income definitions prepared by HUD will serve as a principal guideline for such calculation. Applicants will be required to sign a verification of their review and understanding of the income maximums, the penalties for false information, and the applicable procedures for prompt notification in the event that their income increases at some future time above the allowable maximum. Applicants will also be required to provide appropriate documentation to verify their income. Incomes of tenants in each Affordable Unit will be re-verified annually at the time of the lease renewal.

**VII. Prioritization Of Applicants In Initial Leasing.**

For one of every thirteen affordable units which become available, preference shall be given to those applicants who are fulltime employees of the Town of Wilton and who are otherwise deemed equally qualified.



**Wilton Center Lofts, LLC – 12 Godfrey Place, Wilton,**  
**Affordable Housing Compliance Plan**

**VIII. Standard Lease Provision.**

Each lease for an Affordable Unit that is rented will contain substantially the following provision:

*“This apartment is being rented as an "affordable housing unit" as required by the Wilton Planning and Zoning Commission in their Resolution of Approval # \_\_\_\_\_ approved on \_\_\_\_\_, 2022 and is available only to persons or families whose income is at or*

*below 80% of the area median income for Wilton as determined by the Connecticut Department of Housing and the U.S. Department of Housing and Urban Development. This development has been approved by the Wilton Planning and Zoning Commission based in part on the condition that thirteen (13) of the units, either on-site or off-site, will be rented as affordable housing units. The owner is required by law to strictly enforce these restrictions.”*

**IX. Minimum Lease Term.**

All leases for affordable housing units shall be renegotiated on an annual basis.

**X. Monthly Payment.**

Calculation of the maximum monthly payment for an Affordable Unit shall utilize the area median income data for the Town of Wilton as published by the U.S. Department of Housing and Urban Development as in effect on the day a lease is signed. The monthly rent for an Affordable Unit is adjusted by the number of bedrooms and includes a monthly allowance for utilities, which are gas for heat, and cooking and electricity. A sample calculation for the Maximum Rental Rate for the Building is as follows:

SAMPLE CALCULATION FOR TWO BEDROOM RENTAL UNITS FOR FAMILIES EARNING LESS THAN 80 PERCENT OF AREA MEDIAN INCOME	SAMPLE COMPUTATIONS BASED ON FY 2019 DATA
1. Determine the Area Median Income from HUD	\$144,300
2. Determine adjusted income for household of 3 persons by calculating 90 percent of Item 1	\$129,870
3. Calculate 80 percent of Item 2	\$103,896
4. Calculate 30 percent of Item 3, representing maximum portion of family's income that may be used for housing	\$31,169

**Wilton Center Lofts, LLC – 12 Godfrey Place, Wilton,**  
**Affordable Housing Compliance Plan**

5. Divide Item 4 by 12 to determine maximum monthly housing expense	\$2,597
8. Determine by reasonable estimate monthly expenses for heat and utilities (if tenants responsible for such expenses)	\$150 (Est.)
9. Subtract reasonable monthly expenses (Item 8) from maximum housing expense (Item 7) to determine maximum rent	\$2,446

**XI. No Subletting Of Affordable Units.**

Subletting of any Affordable Unit shall be prohibited. In addition, the Affordable Units shall be the principal residence of the tenants of same.

**XII. Change Of Income Or Qualifying Status.**

If an Affordable Unit is rented, in the event that an Affordable Unit tenant's income changes so as to exceed the qualifying maximum, the tenant shall be disqualified from continued occupancy at affordable housing rates. If the tenant otherwise becomes disqualified, such tenant must provide notice to the Compliance Manager within seven days of the disqualification. Upon being disqualified, such tenant, following the procedures set forth below, shall have the option to vacate the unit within ninety days, or to remain in the unit paying a market-rate rent. Within fifteen days of receiving notice of a tenant's disqualification, the Compliance Manager shall provide written notice to the tenant of the market-rate rent for the unit. The tenant shall notify the Compliance Manager within fifteen days of receipt of such notice whether the tenant will accept the market-rate rent or vacate. If the tenant elects to remain in the unit at the market rate the tenant shall be required to vacate at the end of the Anniversary Date of the lease. So long as these procedures are followed, the project shall not be out of compliance with the thirteen (13) Affordable-Unit-requirement.

**XIII. Conversion to Sale Units**

In the event that all or any part of the Affordable Units are converted from rental to ownership, the following conditions shall apply:

- A. Prior to Conveyance of title to any Affordable Unit, the Compliance Manager or Owner of the Affordable Unit, shall record on the Wilton land records, in addition to any documents required by the Connecticut Common Interest Ownership Act, a restrictive covenant in favor of the Commission, which covenant shall run with the land, providing that the project as a whole, notwithstanding such conversion, shall remain in compliance with this affordable housing plan and providing that each such unit shall be sold or conveyed, on a sale or resale, at a price that will preserve it as affordable housing as defined herein.

**Wilton Center Lofts, LLC – 12 Godfrey Place, Wilton,**  
**Affordable Housing Compliance Plan**

- B. The declarant of the common interest ownership community, or the common interest ownership association, if it becomes responsible for the management of the property, shall assume responsibility for ensuring that sale and resale of Affordable Units occur in compliance with applicable restrictions, and for compliance reporting as set forth in these regulations

**XIV. Compliance Reporting.**

No later than January 31 of each year, beginning the year after the initial occupancy of the last Affordable Unit to be rented in a particular project phase, the Compliance Manager shall prepare and file with the Commission, or their designee and the Wilton Board of Selectmen, or their designee, containing, at a minimum, a list of the units utilized as affordable housing units, a list of the incomes of all tenants or owners, and a certification by the Compliance Manager of compliance with these requirements herein. The Commission, or its designee, shall review the information and certify that the project is in compliance. A violation of the zoning regulations shall not result in a forfeiture or reversion of title, but in enforcing these Regulations the Commission shall retain and may exercise all enforcement powers granted to it by the Connecticut General Statutes which Powers include the authority, at any reasonable time, to inspect the Property and to examine the books and records of the Compliance Manager to determine compliance of the project or individual units with these affordable housing requirements herein.


ZONING TABLE — WC DISTRICT  
(WILTON CENTER DISTRICT)

STANDARD	MIN.REQ./MAX.ALL.	EXISTING
<b>BUILDING REQUIREMENTS</b>		
MINIMUM LOT AREA	NONE	27,246 Sq. Ft.
MINIMUM LOT FRONTAGE	NONE	354.94'
FRONT YARD - MINIMUM	10'	10.8'
FRONT YARD - MAXIMUM	20'	N/A
SIDE YARD - MINIMUM	0'	21.4'
SIDE YARD (abutting res. dist.)	75'	N/A
REAR YARD - MINIMUM	20'	150.2'
REAR YARD (abutting res. dist.)	75'	N/A
BUILDING COVERAGE - MAXIMUM	30% / 8,173 SF	3,990 SF / 14.6%
SITE COVERAGE - MAXIMUM	80% / 21,796 SF	17,405 SF / 63.9%
<b>PARKING REQUIREMENTS</b>		
FRONT YARD - MINIMUM	10'	1.0'
SIDE YARD - MINIMUM	0'	2.3'
SIDE YARD (abutting res. dist.)	60'	N/A
REAR YARD - MINIMUM	0'	2.2'
REAR YARD (abutting res. dist.)	60'	N/A
TOTAL SPACES		NON STRIPED

**NOTES:**

- This survey has been prepared in accordance with Sections 20-300b thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property and Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and the locations and elevations of which conform to Topographic Accuracy Class T-2. It is intended to depict property boundaries, locations and elevations of improvements and topographic features.
- Reference is hereby made to the following on file with Wilton Land Records (W.L.R.):
  - Vol. 522, Pg. 98 - Declaration of 12 Godfrey Place
  - Vol. 380, Pg. 52+54 - ingress / egress, installation of utilities (Parcel A, Map 3910, Hubbard Rd.)
  - Vol. 2025, Pg. 142 - Map 5639 - Utility Easement
  - Map 3910
  - Map of Property prepared for D.A.W.N., Wilton, Connecticut, dated Sept. 25, 1985, prepared by Ryan and Faulds. (depicted in deed of record Vol. 522, Pg. 143)
- Elevations depicted hereon are based on North American Vertical Datum of 1988 (NAVD88).
- Reference is hereby made instruments of record as labeled hereon.
- Reference is made to Tax Map 73, Parcel 33.
- Lot Area = 27,246 S.F. / 0.625 Acres
- Reference is made to FEMA Flood Insurance Rate Map No. 09001C0383F, Effective Date 6/18/2010. Subject Parcel does not lie within a Special Flood Hazard Area.

**PROPERTY & TOPOGRAPHIC SURVEY**  
 DEPICTING  
**#12 GODFREY PLACE**  
 WILTON, CONNECTICUT  
 PREPARED FOR  
**GREENWICH REALTY DEVELOPMENT, LLC**



**REDNISS & MEAD**

LAND SURVEYING  
 CIVIL ENGINEERING  
 PLANNING & ZONING CONSULTING  
 PERMITTING

22 First Street | Stamford, CT 06905  
 Tel: 203.327.0500 | Fax: 203.357.1118  
 www.rednissmead.com

Scale: 0 20 40  
1" = 20'

Drawn By: CJV | Checked By: LWP | Date: 04/22/2022


To my knowledge and belief this map is substantially correct as noted hereon.

*Lawrence W. Posson, Jr.*  
 LAWRENCE W. POSSON, JR. CT. L.S. #18130  
 6/9/2022

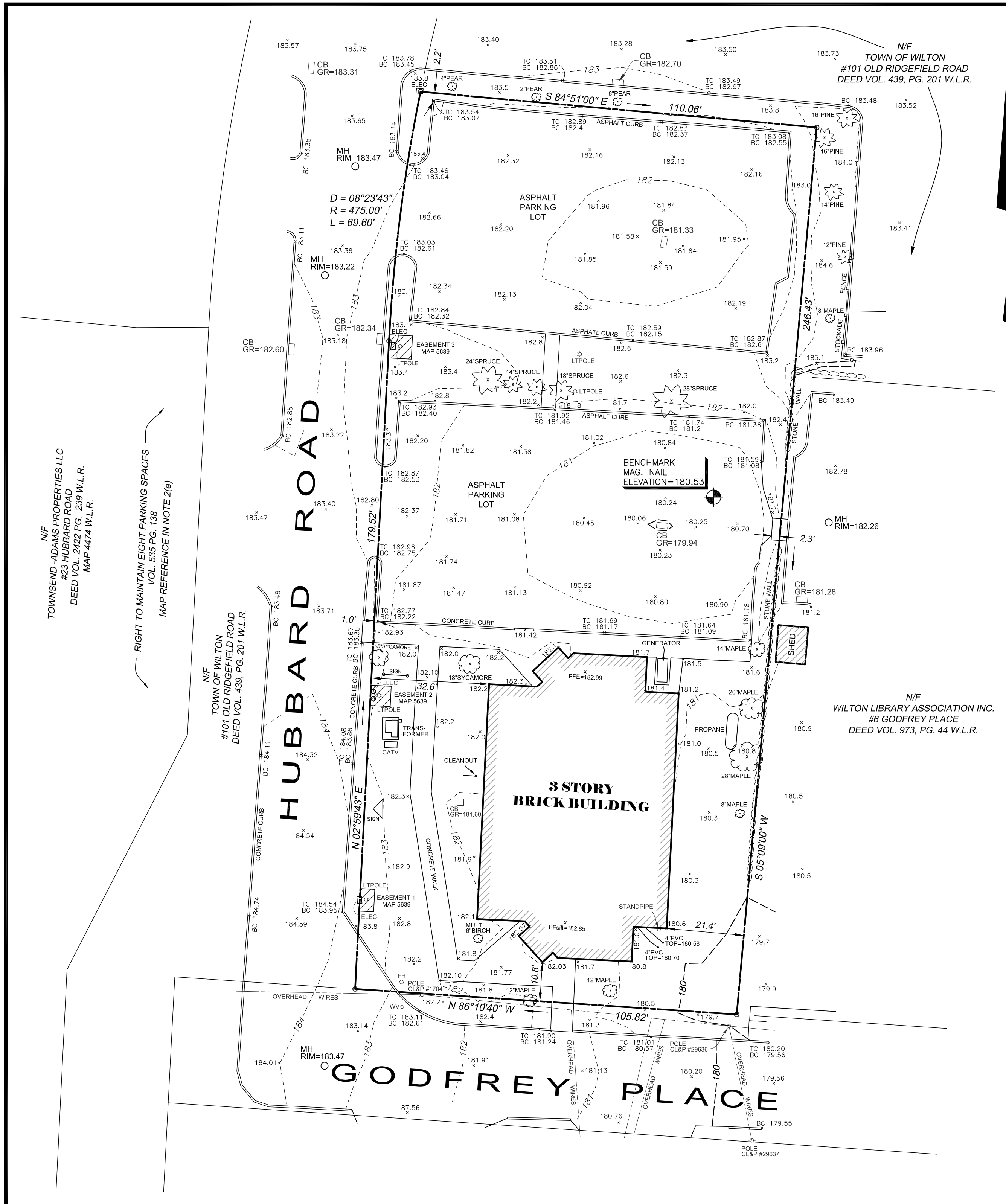
DATE

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration hereon null & void.

Sheet No:  
**PSTS**  
 Comm. No.: 10556-1



Rev. 6/9/2022 - add utility easement

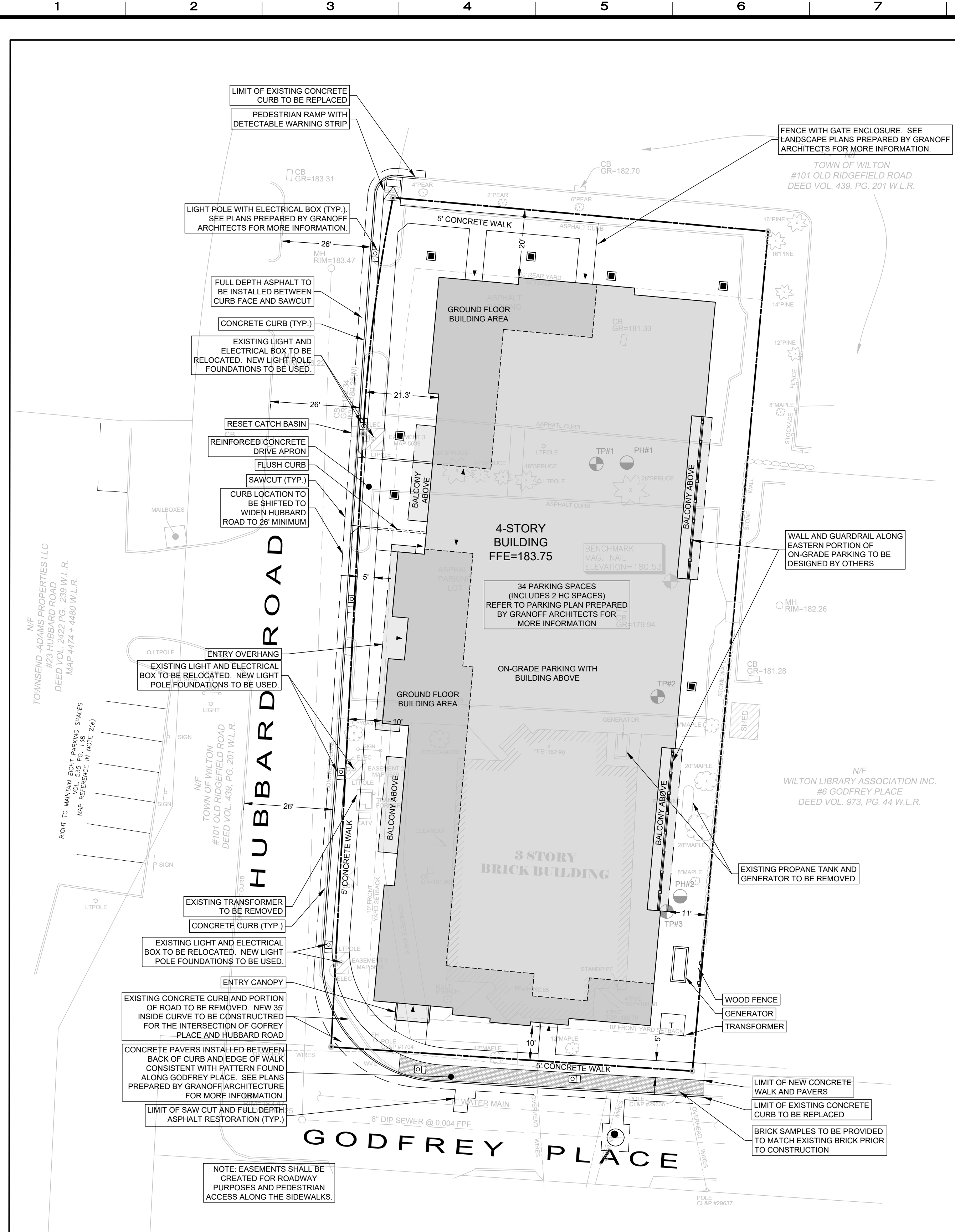


N/T  
 TOWNSEND - ADAMS PROPERTIES LLC  
 #23 HUBBARD ROAD  
 DEED VOL. 2422 PG. 239 W.L.R.  
 MAP 4474 W.L.R.

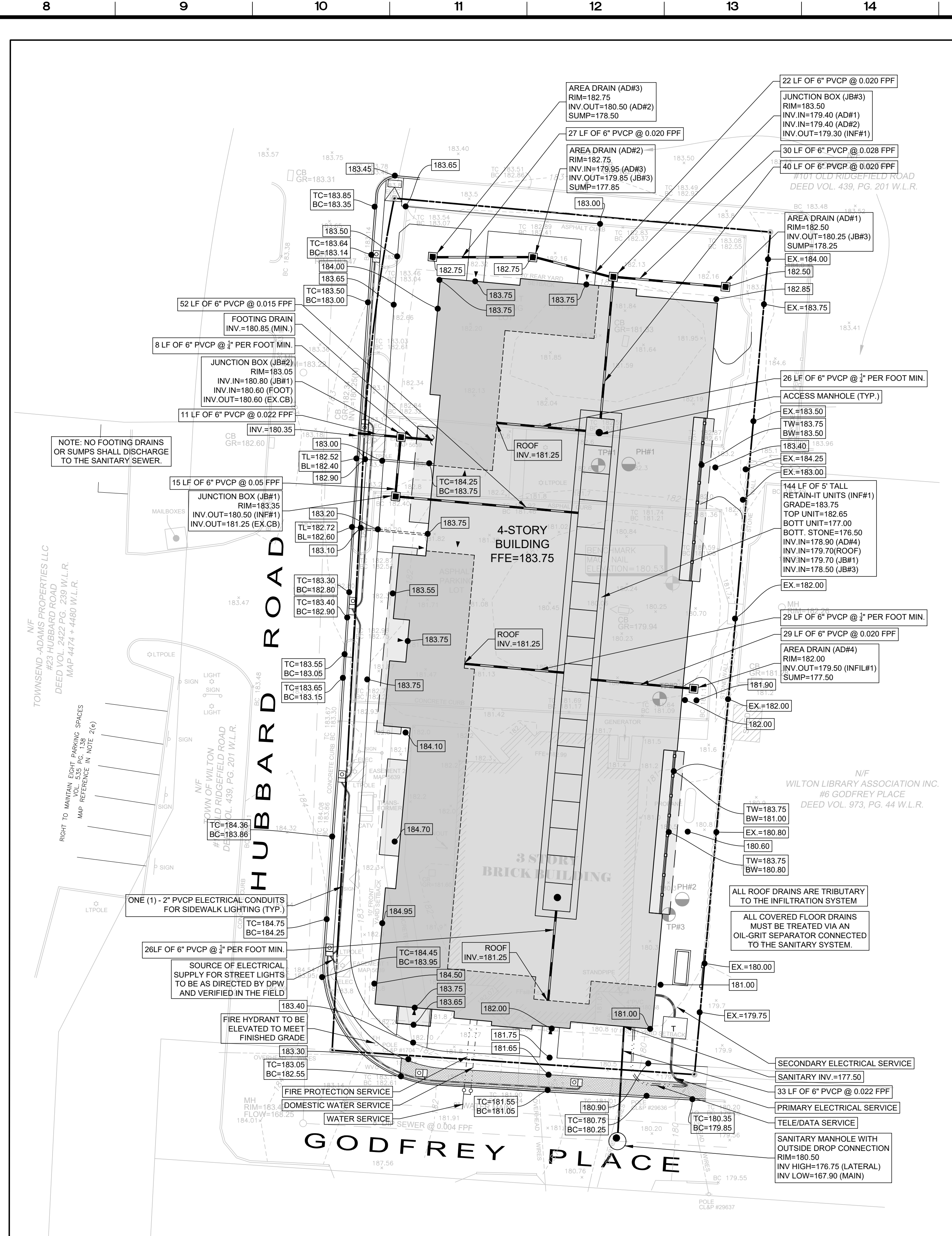
RIGHT TO MAINTAIN EIGHT PARKING SPACES  
 VOL. 535 PG. 138  
 MAP REFERENCE IN NOTE 2(e)

N/T  
 TOWN OF WILTON  
 #101 OLD RIDGEFIELD ROAD  
 DEED VOL. 439, PG. 201 W.L.R.

N/T  
 WILTON LIBRARY ASSOCIATION INC.  
 #6 GODFREY PLACE  
 DEED VOL. 973, PG. 44 W.L.R.



**SITE PLAN INSET**



**GRADING & DRAINAGE INSET**

- GENERAL NOTES:**
- These drawings are intended only to depict the design of site grading, drainage, sanitary, utility and sediment & erosion controls. These drawings are for approval purposes only. No construction may begin prior to obtaining all necessary permits and approvals.
  - All survey data, boundary lines, topography, building locations and area calculations are from a survey prepared by Redness & Mead, Inc. entitled Property & Topographic Survey dated April 22, 2022 and revised June 9, 2022. Elevations depicted or labeled are based on NAVD-88.
  - Refer to plans prepared by Grandoff Architects for information and design of the proposed buildings. These drawings depict the plans corresponding to the latest architectural plans received from Grandoff Architects received on August 30, 2022.
  - Property lines in the Wilton Center District Zone.
  - All construction shall comply with the Town of Wilton requirements, the State of Connecticut Basic Building Code Americans with Disabilities Act (ADA), the Connecticut Guidelines for Soil and Erosion and Sediment Control, OSHA, and CT DOT Form 818 (latest edition).
  - All development activities to be undertaken within the street right-of-way and other public lands shall comply fully with Town standards unless approved otherwise in writing by the town engineer.
  - Contractor shall supply complete shop drawings including manufacturer's product data sheets to the Site Engineer for all construction material used in construction with these drawings. Contractor shall allow a 5 day review period, prior to fabrication and installation.
  - Information on existing utilities has been compiled from various sources including utility company records, municipal records and field survey and is not guaranteed to be correct or complete. The contractor is solely responsible for determining actual locations and elevations of all utilities including underground services.
  - The property is served by public water and sewer system.
  - Prior to any excavation the Contractor and/or Applicant, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark-out of underground utilities. Dig test shall be used (crossing) in the street crossings with new utilities prior to construction. If conflicts are found the contractor shall notify the engineer, at which time the sewer in question shall be redesigned. If such redesign is not possible, the existing pipes or utilities shall be relocated to avoid the conflict. Such relocation shall be done with knowledge and in accordance with the owner of the utility.
  - It shall be the responsibility of the contractor to provide any excavation safeguards, necessary barricades, flagmen, etc. for traffic control and site safety. All work shall be done in accordance with OSHA requirements. The contractor shall be responsible for compliance with OSHA requirements.
  - When preparing the existing site for the proposed development, all materials removed shall be disposed of in accordance with all governing agencies.
  - Remove stumps and brush from site, or chip and use during landscaping. Do not bury stumps on site.
  - Building elevations are subject to change and shall be finalized prior to building permit.
  - Special attention of the contractor is called to the required type and compaction of pipe bedding and backfill specified on these drawings. These requirements will be strictly enforced.
  - Prior to issuance of a Certificate of Occupancy, the Engineering Bureau may require a certification letter stating that the development was constructed in accordance to the approved plans, and an "as-built" drawing shall be submitted.
  - The Contractor is responsible for coordinating with a licensed surveyor to prepare an "as-built" plan. The Contractor is responsible to coordinate with a licensed surveyor to prepare an "as-built" plan. The Contractor is responsible to coordinate with a licensed surveyor to prepare an "as-built" plan. The Contractor is responsible to coordinate with a licensed surveyor to prepare an "as-built" plan.
  - The Engineering Department and the inspecting engineer shall be notified by the contractor three (3) days prior to the commencement of each phase of construction.
  - The work shall be done in conformance with the contract documents/plans unless changes have been approved in writing by the design engineer prior to the work being done.
  - A preconstruction meeting shall be held with the Owner, Architect and Engineer to review the scope of construction. The Contractor shall be responsible to coordinate the preconstruction meeting.
- EARTHWORK & GRADING:**
- Grade away from building walls at 2% minimum (typical).
  - Earth slopes shall be no steeper than 2:1 (horizontal:vertical).
  - General fill beyond paved areas shall be free of brush, rubbish, stumps and stones larger than 8". Fill shall be placed in compacted layers not to exceed 8" in thickness. The dry density after compaction shall not be less than 95% of the Standard Proctor Test and done in accordance with the requirements of ASTM D938. After compaction, the fill shall be 4" below the required grade as shown on the plans.
  - General fill may be till, loam, sand or gravel mixture classified as SP, SW, SM, GP, GM, ML per the Unified Soil Classification System. It shall have no more than 40% fines passing the #100 sieve, no more than 8% passing the #200 sieve, and no stones larger than 8".
  - Subgrade and fill shall be uniformly compacted by the use of equipment manufactured for that purpose. Rollers shall develop a ground pressure of not less than 300 pounds per linear inch of contact width and weigh not less than 10 tons. Vibratory units shall have a static weight of not less than 4 tons. The amount of compactive effort shall be as directed by the Engineer, but in no case shall be less than 4 complete passes of the compacting equipment being used.
  - Disturbed areas shall be topsoiled, seeded with grass and mulched in a manner conforming to the recommendations of the "Guidelines for Soil Erosion and Sediment Control," published by The Connecticut Council on Soil Conservation, May 2002.
  - After the area to be topsoiled has been brought to grade, the subgrade shall be loosened by scarifying to a depth of at least 2" to ensure bonding of the topsoil and subsoil.
  - Topsoil shall be friable and loamy with high organic content. It shall be free of debris, rocks larger than 2" and roots. Topsoil shall have at least 1.5 percent by weight of fine textured stable organic material and no greater than 6 percent. Topsoil shall not have less than 20% the saturated material (passing the No. 200 sieve) and not more than 15% clay. pH range shall be 6.0-7.5 and soluble salts not exceed 500ppm.
  - Fill or topsoil shall not be placed nor compacted while in a frozen or muddy condition or while subgrade is frozen.
  - Excavation for pipes or concrete pavement repair may require either a braced excavation or open cut designed according to the requirements of OSHA, 29 CFR Part 1926. The lateral support systems and slopes should also be designed such that the building, adjacent structures, and existing utilities are protected and supported and not allowed to settle. The contractor shall be responsible for having a Professional Engineer, registered in the State of Connecticut, design the excavation support method. The design shall be submitted to the owner or his geotechnical engineer for review. The contractor shall submit plans showing the type, limits, design and sequence of construction for the lateral support system.
  - During the excavation, it is anticipated that existing utilities and sewers may be exposed. The contractor shall provide protection and support of these facilities and repair any damage caused by the work in a manner satisfactory to the owner. The contractor shall be responsible for the protection of the owner's representative who shall determine if the facilities shall be replaced. Replacement of the facilities shall be done in a manner satisfactory to the owner and in compliance with applicable Codes.
- STORM AND SANITARY SEWER SYSTEMS:**
- All pipe shall be installed straight and at the vertical and horizontal alignment shown. Pipes shall have a uniform slope as specified.
  - Minimum cover on all pipes shall be two feet (2') unless otherwise noted.
  - All storm pipe requirements as Poly Vinyl Chloride Pipe (PVC) shall be SDR 35 with rubber gasketed joints and meet the requirements of ASTM D3034 and D3212.
  - All High Density Polyethylene Pipe (HDPE) for the stormwater system shall be ADS N-12 or equivalent with O-Ring joints (Pro-series) suitable for water tight installation.
  - All sanitary sewer pipe shall be Poly Vinyl Chloride Pipe (PVC) and shall be Schedule 40 with solvent weld joints.
  - Dig test pits at utility and sewer crossings to check actual clearances with these facilities prior to construction. Dig test pits at the connection points to existing sanitary sewer pipes to confirm that the elevation of the proposed gravity sewer is appropriate. If conflicts are found the contractor shall notify the engineer at which time the sewer in question shall be redesigned. If such redesign is not possible, the existing pipes or utilities shall be relocated to avoid conflict.
  - All area drains shall have a two foot (2') sump with bell traps or 90° PVC elbows.
  - All existing and proposed area drains, junction boxes and utility facilities shall be raised or lowered to be flush with finished grade.
  - Locate and abandon existing sanitary laterals at the property line with the end capped and mortared. Other existing utilities shall be abandoned in accordance with the requirements of the utility owner.
  - When connecting new pipes to existing structures such as manholes and catch basins, the structure shall be completely cleaned out. The hole made in the structure shall be made as small as possible. The structure shall be repaired to match its original type of construction. The joint between the structure and the pipe shall be made water-tight by filling the joint with mortar.
  - Flow in existing sewer system must not be interrupted. Any temporary routing of this sewer flow must be done in conformance with all applicable rules and regulations.
  - Under no circumstances shall trench water be allowed to drain through sanitary sewer lines.
  - All crushed stone shall be Gradation No. 4 as per CT DOT Form 818, Article M10.02. Stone shall consist of sound, tough, durable particles free from soft, thin, elongated, laminated, friable, micaceous, or disintegrated pieces of mud, dirt or other deleterious matter.
  - Sanitary Sewer Testing: The sanitary sewer line shall be Low Pressure Air Tested, at the expense of the contractor. Testing to be in accordance with recommended procedure in "Uniform Recommended Practice for Low Pressure Air Testing of Installed Sewer Pipe" UNI B-4. The minimum starting pressure for the test is 3.5 P.S.I. (in excess of the groundwater pressure at the top of the pipe) and there shall be no more than 0.5 P.S.I. drop in five (5) minutes. Manholes to be visually inspected. Lateral plugs shall be airtight to allow proper testing. Inspecting Engineer and the Engineering Bureau shall be informed of testing schedule three days in advance so they can witness the testing.
  - At the end of construction, after the site has been fully stabilized, all new and previously existing storm sewer facilities including, but not limited to, catch basins, area drains, manholes, junction boxes, flow control structures, pipes, oil grit separators, permeable paving and porous pavement shall be fully cleaned with equipment designed for that purpose to the satisfaction of the inspecting engineer.
- UTILITIES:**
- Utilities shown on these plans are "not guaranteed" to be complete or correct. Prior to any site activities, the contractor shall be responsible for verification of clearances of proposed utilities from existing utilities. This verification shall include physical observation by means of test pits at the locations of affected utilities. The contractor shall notify the site engineer immediately of any conflict.
  - Easements may be required in favor of the various utility companies.
  - Electric, telephone, cable, and water services shall be installed in conformance to the requirements of the governing utility companies.
  - It is the contractor's responsibility to install utilities as shown on this sheet. The contractor shall work with the utility companies and site engineer to insure the installation is in conformance to the requirements of the governing utility company. All conditions shall be concrete encased as may be required by the governing utility company. Proposed electric, telephone, cable and water services are shown for schematic purposes only and are subject to change pending utility company review. These utilities shall be designed by others and installed in conformance to the requirements of the governing utility companies.
  - All proposed utility facilities shall be raised or lowered to be flush with finished grade.
  - Where necessary, existing utilities shall be reinforced to meet all minimum coverage requirements.
  - Utility connections at building face shall be coordinated with the building contractors.
  - The contractor must supply and install drip lines with all conduits.
  - Assume one 2" PVC conduit for all site lighting. Service location to be determined.
  - In general, each utility shall have a minimum clearance of three feet to any other underground utility.
  - Any and all utilities abandoned shall be capped or removed in accordance with utility companies' requirements.

**AREA & BULK CALCULATIONS**

Standard	Standards Per Wilton Zoning WC 29-8-E	Proposed Standards Per CGS Sec. 8-30g
1. Minimum Front Yard	10'	10.0'
2. Maximum Front Yard	20'	21.3'
3. Minimum Side Yard (Each)	0'	11.0'
4. Minimum Rear Yard	20'	20.0'
5. Minimum Parking & Loading Setbacks (side & rear yards)	0'	14.4' / 36'
6. Maximum Building Height (Stories/Foot)	3 / 42'	5 Stories / 62.9'
7. Maximum Building coverage (%)	30	64
8. Maximum Site Coverage (%)	80	75
9. Minimum Lot Size (acres)	No Minimum	0.625 acres (27,246 sf)
12. Maximum Floor Area Ratio (F.A.R.)	N/A	2.50'
Maximum Density - (28-6.C.4.b) (Multi-Family)	5 Units / Ac	42 Units (67 Units / Ac)
Required Affordable Housing Unit	None	30% or 13 Units (Meeting 8-30g Reqs.)

NOTES:  
 1. Calculated average grade of 183.10  
 2. Information from Grandoff Architects

**Parking Calculations**

Use	Rate Per Sec 29-8-B Wilton Zoning	Quantity	Total
Studio or 1-Bedroom Unit (29-8.b.5.a.2)	1.0 Unit	13 Units	13 Spaces
2 & 3-Bedroom Unit (29-8.b.5.a.2)	2.0 / Unit	29 Units	58 Spaces
<b>Parking Standard Per Wilton Zoning Regs. 29-8-B</b>			<b>71 Spaces</b>
<b>Parking Provided (1 / Unit Per CGS 8-30g)</b>			<b>42 Spaces</b>

NOTES:  
 1. Includes 8 spaces maintained on 23 Hubbard Road property as depicted in deed of record Vol. 522, Pg. 143

No.	Date	Revision
3	02/28/2023	REVISED PER BUILDING DESIGN
4	01/02/2023	REVISED PER DPW COMMENTS
2	10/20/2022	REVISED PER FIRE MARSHALL'S COMMENTS
1	09/30/2022	ORIGINAL ISSUE DATE

**SITE DEVELOPMENT PLAN**

DEPICTING  
**12 GODFREY PLACE**  
 WILTON, CT  
 PREPARED FOR  
**GREENWICH REALTY DEVELOPMENT, LLC**

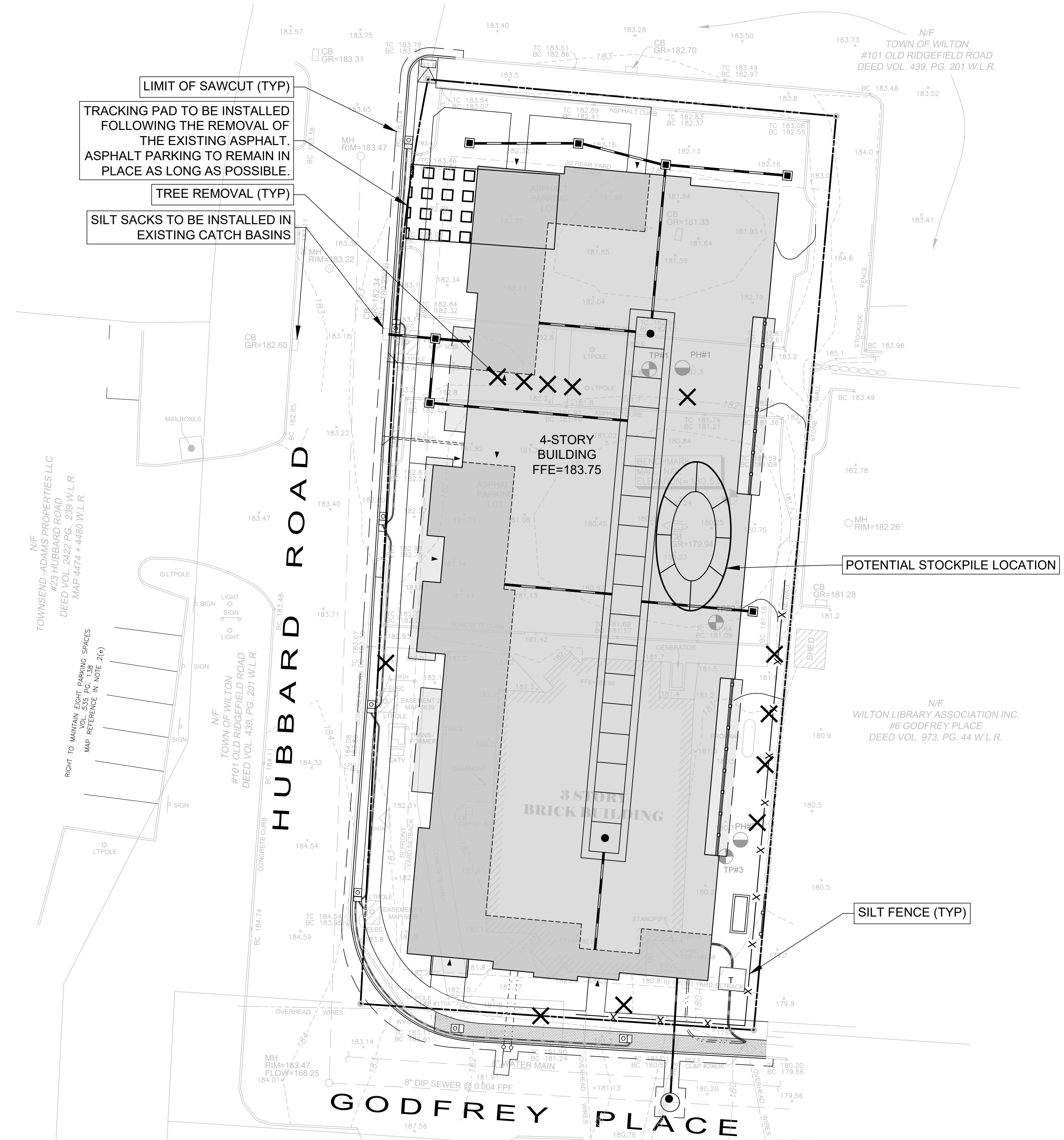
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REDNISS & MEAD  
 LAND SURVEYING  
 CIVIL ENGINEERING  
 PLANNING & ZONING CONSULTING  
 SURVEYING

CRAG J. FLAHERTY CT. P.E. 21148  
 February 28, 2023  
 DATE

This document and copies thereof are valid only if they bear the signature and redubbed seal of the designated licensed professional. Unauthorised alterations render any declaration herein null and void.

SHEET No: **SE-1**  
 Comm. No: 10556



**SEDIMENT AND EROSION CONTROL NARRATIVE:**

The purpose of the Sediment and Erosion Control Plan, details, and notes is to outline a program that minimizes soil erosion during construction. The primary policies of this program are:

- Trapping particles at source by promptly stabilizing disturbed areas;
- Avoid concentration of water;
- Avoid contamination of existing storm drains;
- Maintenance (weekly maintenance and after storm events) of controls to ensure they are functioning properly.

**SEDIMENT AND EROSION CONTROL NOTES:**

- Sheet SE-1 is intended to describe the soil sediment and erosion control treatment of this site only. For other details with respect to construction, see appropriate drawings.
  - All sediment and erosion controls shall be done in conformance with the "Connecticut Guidelines for Soil Erosion and Sediment Control" dated May 2002 prepared by The Connecticut Council on Soil and Water Conservation.
  - The contractor is assigned the responsibility for implementing this sediment and erosion control plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan notifying the Zoning Department of any transfer of this responsibility and that construction is to begin three (3) days prior to commencing work.
  - Temporary sediment control measures must be installed in accordance with drawings and manufacturer recommendations prior to work in upland areas.
  - No construction or construction equipment or storage of materials will be allowed on the downhill side of the site fence or within fenced off areas, except during construction of the proposed facilities shown beyond the fences.
  - Anti-tracking pads shall be installed at start of construction and maintained in an effective condition throughout the duration of construction. Pads consist of 2" - 4" crushed stone, 6" minimum thickness and extend the width of the construction access. The length of the access shall be sufficient to prevent dirt from being tracked onto off site roads (minimum length of 50').
  - The location of each stockpile will vary throughout the construction period. Excavated silt and earth stockpiles shall be stored on site. Site fence shall be placed at the base of the stockpile to prevent sediment from leaving the site and to protect storm drains, wetlands and watercourses.
  - Site fence shall be Mirafi 100x or equivalent. Install site fence according to manufacturer's instruction, particularly, bury lower edge of fabric into ground.
  - Land disturbance shall be kept to a minimum. All disturbed area shall be planted in where permanent plantings are called for as soon as practicable. Seed and mulch disturbed areas with grass seed where permanent plantings are not called for, as soon as practicable. Prepare seedbed (4" thick minimum) with topsoil. Seed, rake, roll, water and mulch areas according to notes below. Water as often as necessary up to 3 times per day to establish cover. Mulch seeded areas at 1 to 2 conditions with salt hay. Maximum mulch and watering until grass is 3" high with 85% cover. Reseed or overseed if necessary.
- Temporary Seed Mix:  
 Perennial ryegrass 40 lbs/ac. (1 lb/1000 sf)
- Permanent Lawns:  
 Kentucky Bluegrass 20 lbs/ac.  
 Creeping Red Fescue 20 lbs/ac.  
 Perennial Ryegrass 5 lbs/ac.  
 45 lbs/ac. (1 lb/1000 sf)
- Optimum Seeding Dates:  
 April 15 through June 15  
 August 15 through October 1
- Any disturbed area shall be restored to the preconstruction condition. Existing shrubs shall be carefully dug up, stored in a temporary nursery during the project and replanted as directed by the Owner. The time during which these bushes are out of the ground must be minimized. The contractor shall keep the shrubs watered and out of the direct sun during this time.
  - If disturbed areas can not be seeded immediately due to the time of year, mulch area until seeding can occur; remove mulch and seed and remulch when season permits.
  - Upon installation of each catch basin and area drain, immediately surround it with haybales as per sediment filter detail.
  - Haybales shall be new and are to be replaced whenever their condition deteriorates beyond reasonable usability.
  - Temporarily block pipes leading into the storm water infiltration system until upland areas are thoroughly stabilized. Under no circumstances shall sediment or silt water be allowed to enter the infiltration system.
  - Pavement and curbing should be placed as soon as possible after drainage is installed.
  - Loaded trucks shall be covered as required to keep down dust.
  - Affected portions of off site roads and sidewalks must be swept clean when required to keep down dust and prevent safety hazards or at least once a week during construction and as directed by Site Engineer.
  - Dust control to be achieved with watering down disturbed areas as required.
  - All sediment and erosion controls shall be inspected periodically throughout construction. Any corrective actions to mitigate environmental concerns will be ordered by the site engineer or environmental engineer. It is the Owner's responsibility to retain such consultant.
  - Additional sediment and erosion control measures may be installed during the construction period if found necessary by the inspecting engineer or any Governing Agency.
  - All permanent and temporary sediment control devices will be maintained in effective condition throughout the construction period until upland disturbed areas are thoroughly stabilized. Upon completion of work and stabilization of all upland areas, all temporary sediment control devices and tree protection should be removed from the site and any silt disposed of legally.
  - Excavated silt and earth stockpiles shall not be permitted to be stored on site. Excess material shall be disposed of legally.
  - Periodically and upon completion of the job, clean silt from any affected storm sewer systems including pipes and inlets. Use silt during final landscaping or dispose off-site legally.

**CONSTRUCTION PHASING:**

The following description of construction phasing is intended to demonstrate a feasible sequence of construction. The actual sequence may vary due to field conditions if approved by the inspecting engineer.

**PHASE I: PREPARATION**

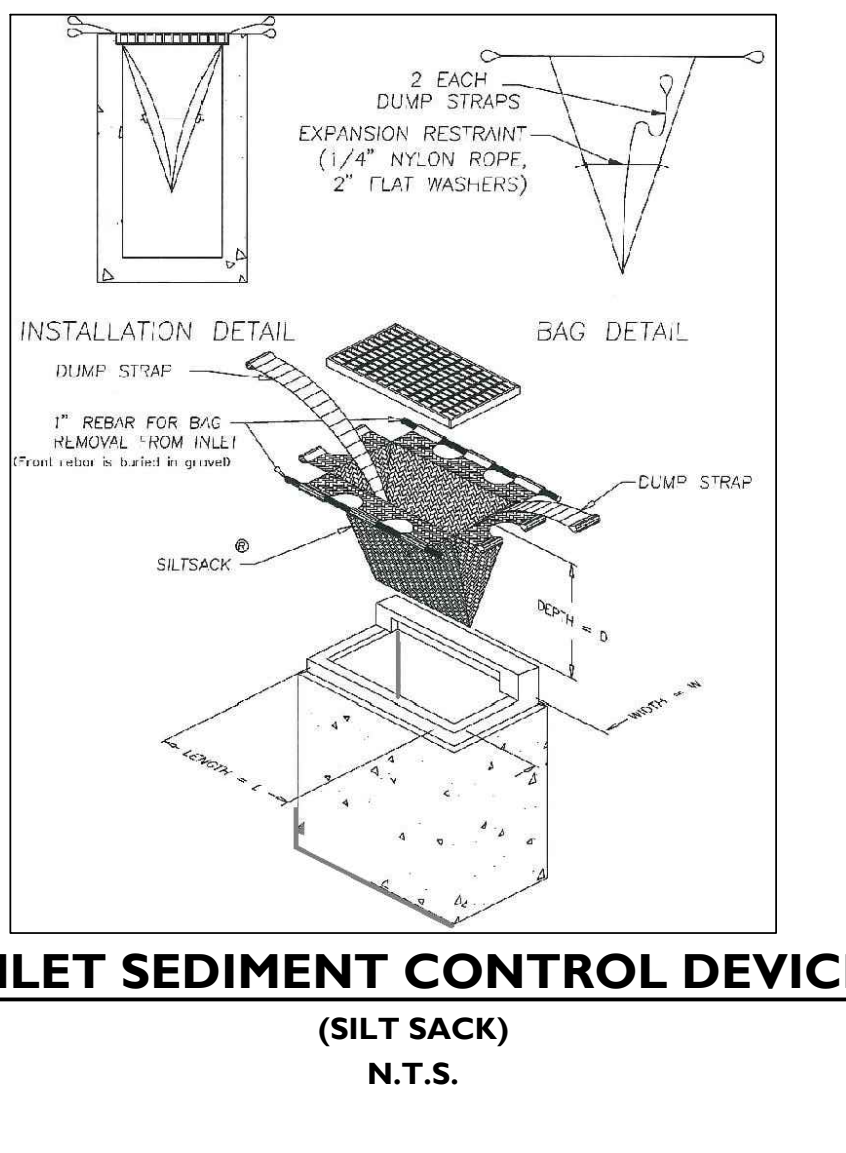
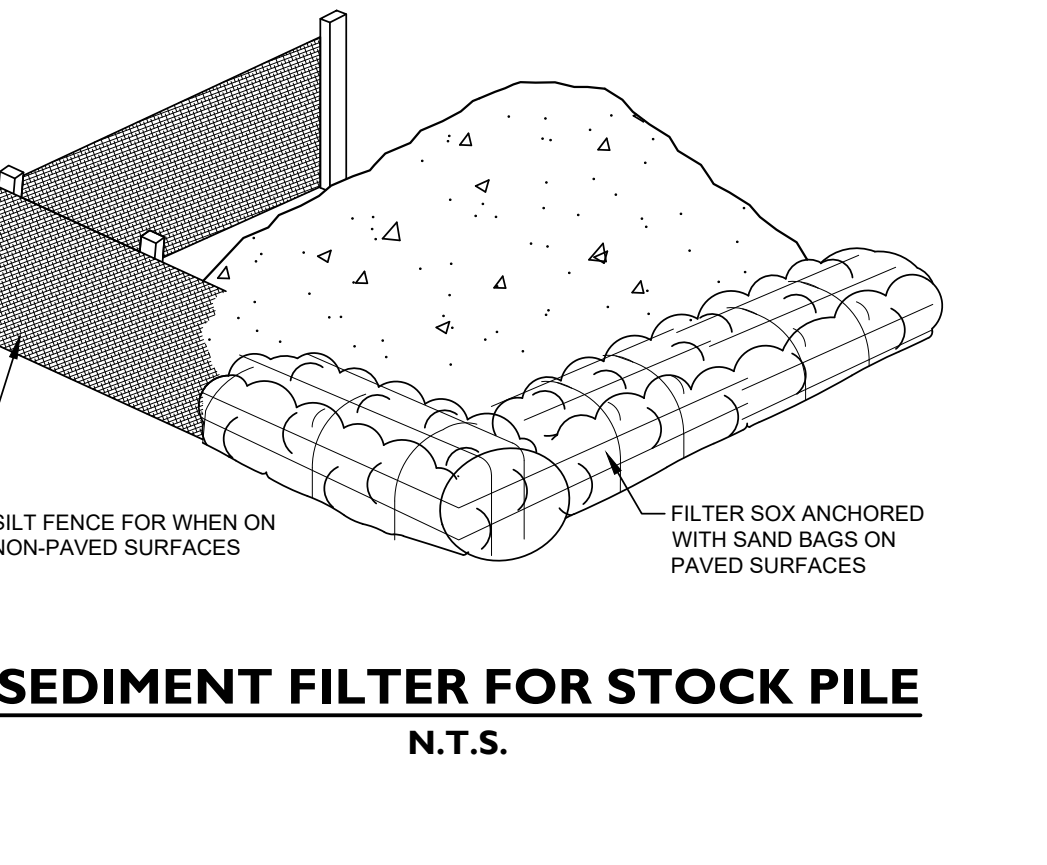
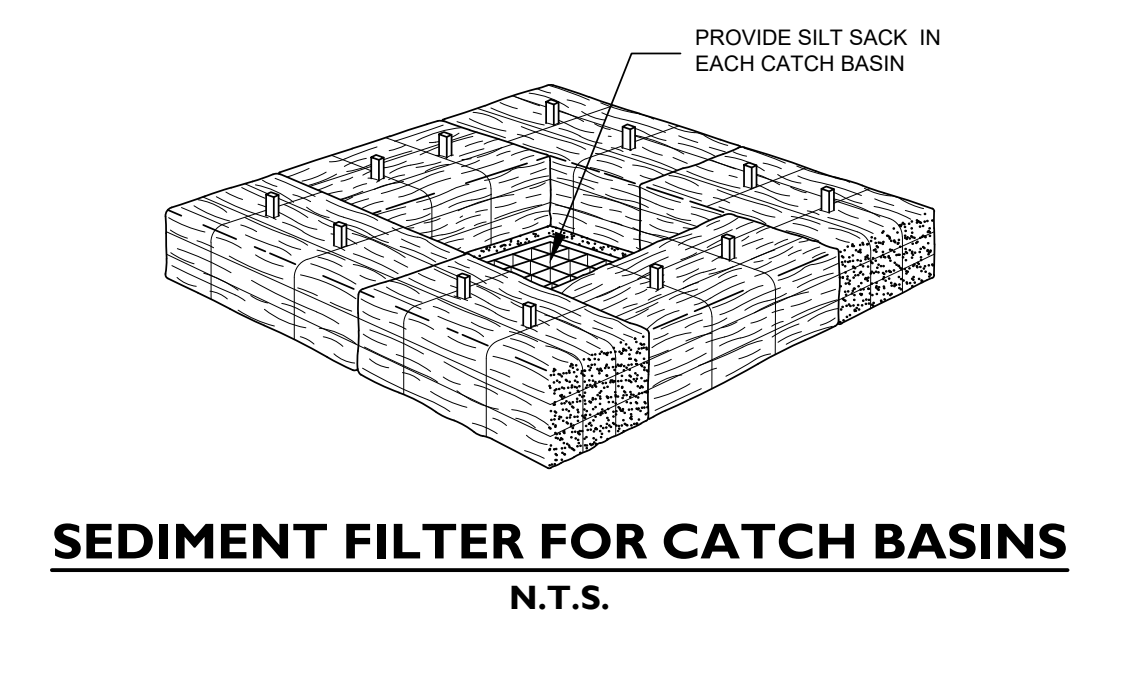
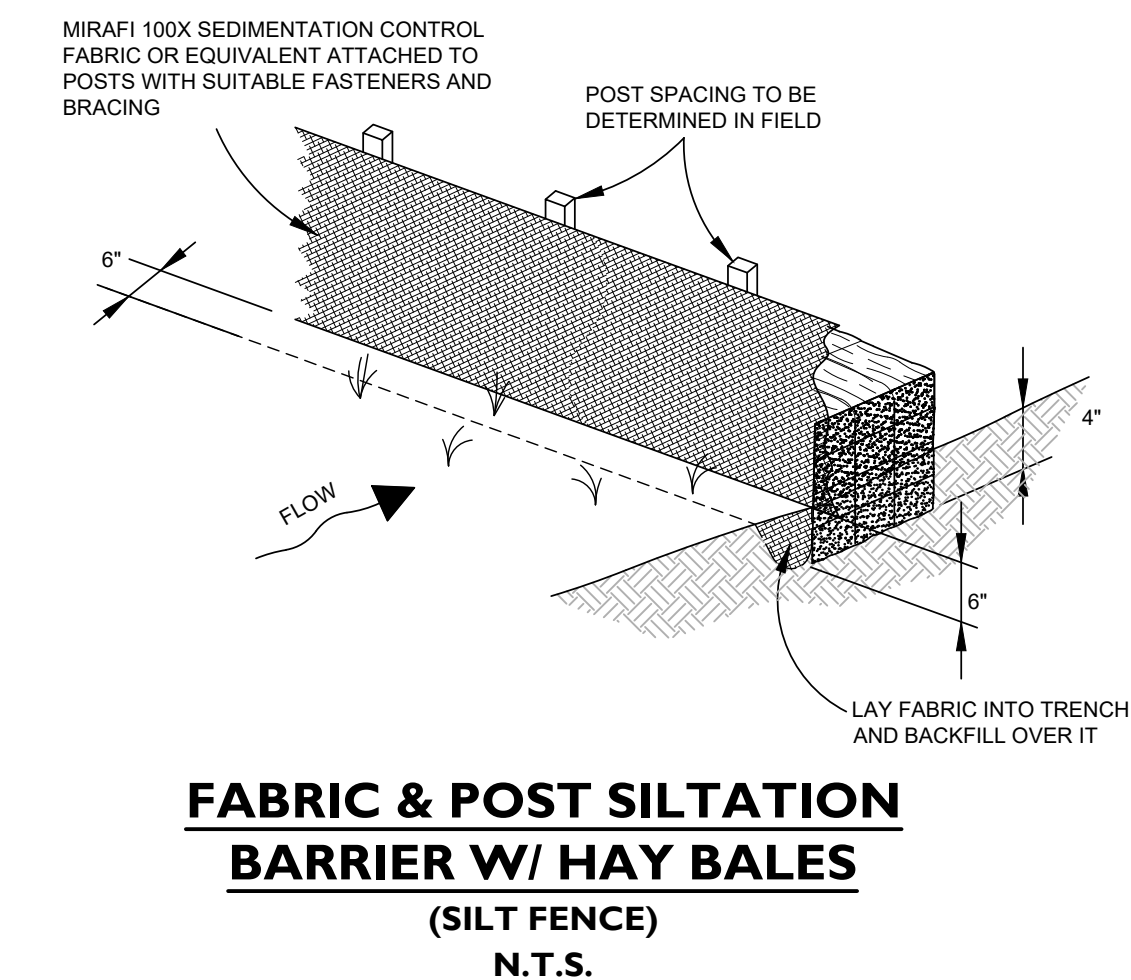
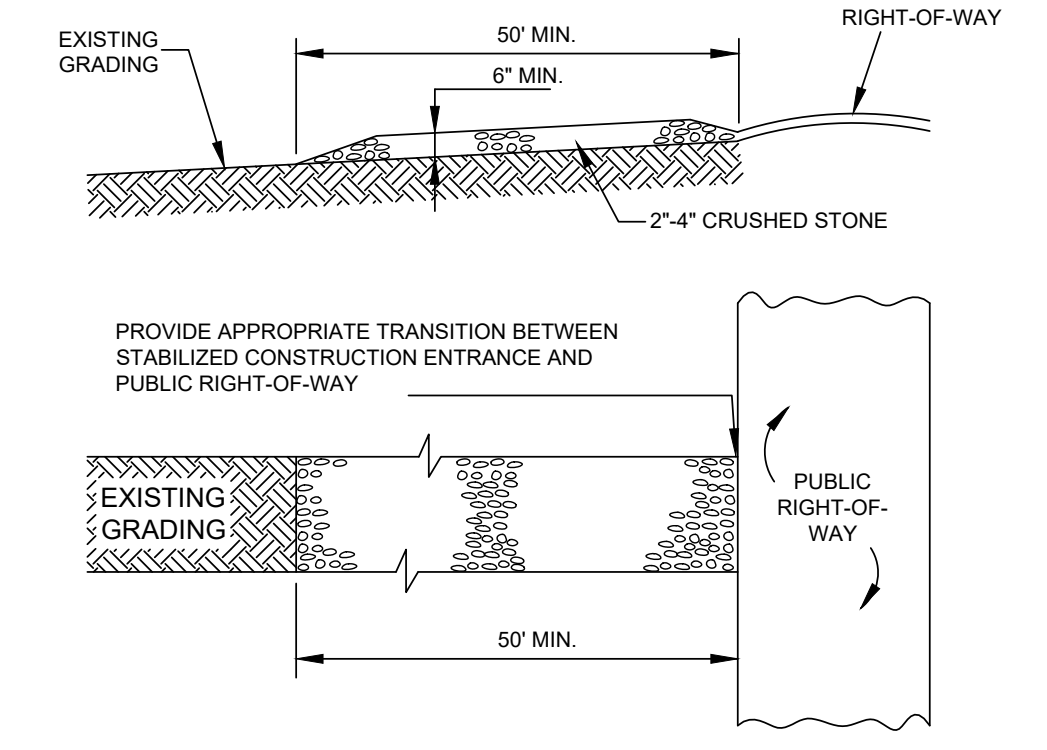
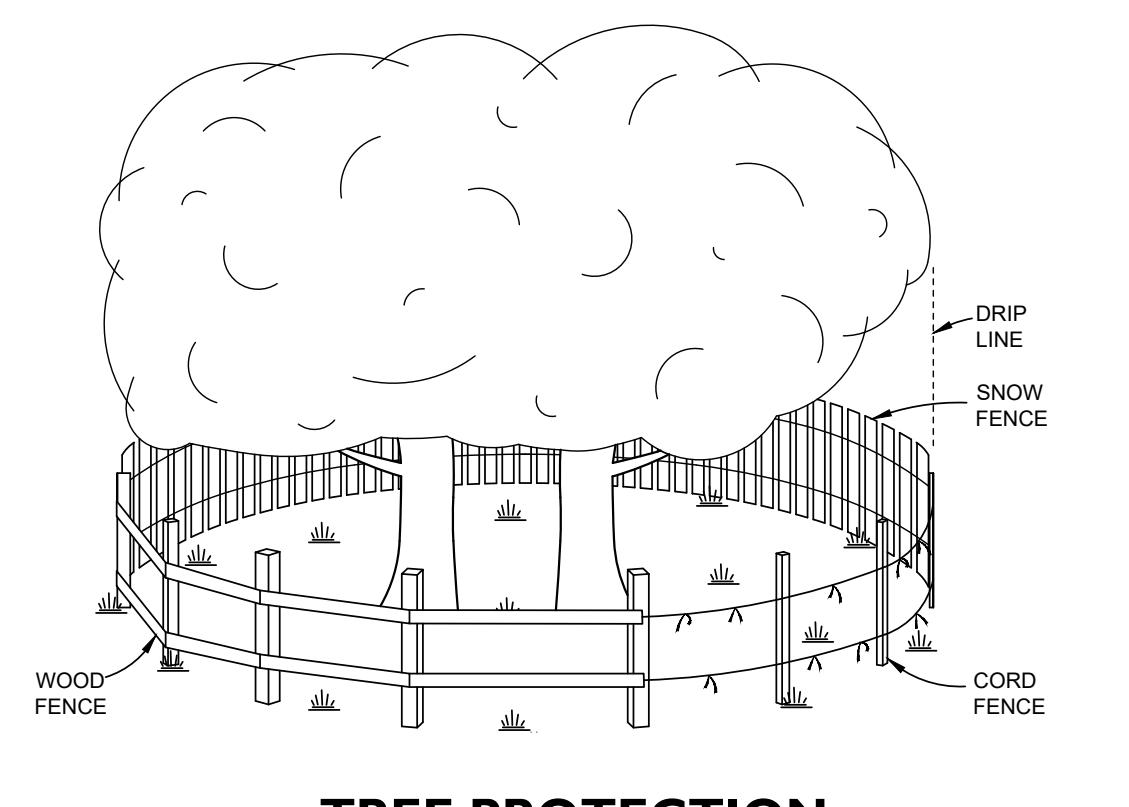
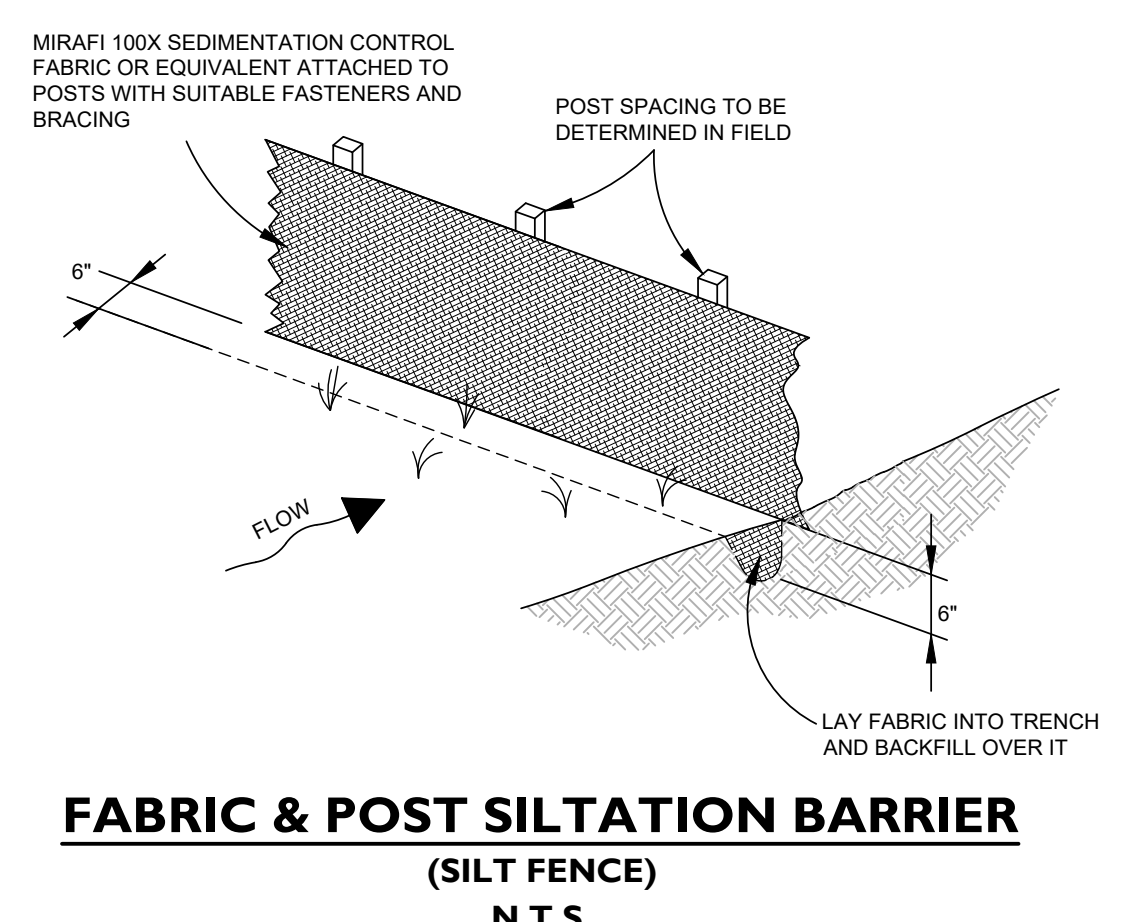
- AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION, THE INSPECTING ENGINEER SHALL MEET WITH THE CONTRACTOR AND OWNER TO REVIEW THE SEDIMENT AND EROSION CONTROL (S&E PLAN), DISCUSS ANY MODIFICATIONS TO CONSTRUCTION SEQUENCE OR S&E PLAN AND TO REVIEW CONTRACTORS LOGISTICS PLAN.
- ESTABLISH STAGING AREA WITH TRAILERS AND TEMPORARY UTILITIES.
- INSTALL TRACKING PADS FOR CONSTRUCTION ACCESS.
- INSTALL SILT FENCE, CONSTRUCTION FENCE AND PERIMETER FENCE AS SHOWN ON THE PLAN.
- CUT TREES TO BE REMOVED AND GRUB AREAS TO BE CLEARED.
- REMOVE/DEMOLISH EXISTING BUILDING. REMOVE EXISTING PAVEMENT ONLY AS NECESSARY TO PROCEED WITH EACH PHASE OF CONSTRUCTION.

**PHASE II: CONSTRUCTION**

- ROUGH GRADE SITE, GENERAL EARTHWORK, EXCAVATE FOR BUILDING FOUNDATION, INSTALL CONSTRUCTION DEWATERING AND TEMPORARY FILTERING SYSTEM AS NECESSARY, COORDINATE DEWATERING CONSTRUCTION WITH SITE GEOTECHNICAL AND STRUCTURAL ENGINEERS. (NOTE MANAGEMENT OF EXCAVATED MATERIALS DURING THIS PROCESS SHALL BE ACHIEVED BY TEMPORARILY STOCKPILING ON-SITE TO THE EXTENT CONSTRUCTION STAGING WILL ALLOW AND BY HAULING MATERIAL OFF-SITE AS EXCAVATED).
- CONSTRUCT FOUNDATION AND BACKFILL AS SOON AS POSSIBLE.
- INSTALL STORM WATER SYSTEM. THE DRAINAGE UTILITIES WILL BE INSTALLED AND READY TO RECEIVE STORM WATER PRIOR TO THE INSTALLATION OF PAVING.
- INSTALL SEDIMENT AND EROSION CONTROLS ASSOCIATED WITH DRAINAGE STRUCTURES.
- INSTALL SANITARY, WATER, CABLE, ELECTRIC, AND TELEPHONE UTILITIES.
- FINAL GRADING AND PAVING.
- SEED & MULCH DISTURBED AREAS AND INSTALL LANDSCAPING AS SOON AS POSSIBLE.
- MAINTAIN ALL SEDIMENT AND EROSION CONTROLS IN AN EFFECTIVE CONDITION DURING THE CONSTRUCTION PERIOD.

**PHASE III: CLEAN UP AFTER ALL AREAS ARE STABILIZED**

- CLEAN EFFECTED PORTION OF ON & OFF SITE ROADS AND DRIVEWAYS.
- REMOVE ACCUMULATED SILT AND DEBRIS FROM CATCH BASIN SUMPIS & PIPES OF EFFECTED ON & OFF SITE STORM DRAINS.
- REMOVE ACCUMULATED SEDIMENT FROM EFFECTED AREAS AND DISPOSE OF LEGALLY.
- REMOVE TEMPORARY SEDIMENT AND EROSION CONTROL AND TREE PROTECTION.
- MAKE ANY NECESSARY REPAIRS TO PERMANENT SEDIMENT AND EROSION CONTROLS SUCH AS PLANTINGS.



3	02/28/2023	REVISED PER BUILDING DESIGN
2	01/02/2023	REVISED PER DDPY COMMENTS
1	09/20/2022	ORIGINAL ISSUE DATE
No.	Date	Revision

**SEDIMENTATION & EROSION CONTROL PLAN**  
 DEPICTING  
**12 GODFREY PLACE**  
 WILTON, CT  
 PREPARED FOR  
**GREENWICH REALTY DEVELOPMENT, LLC**

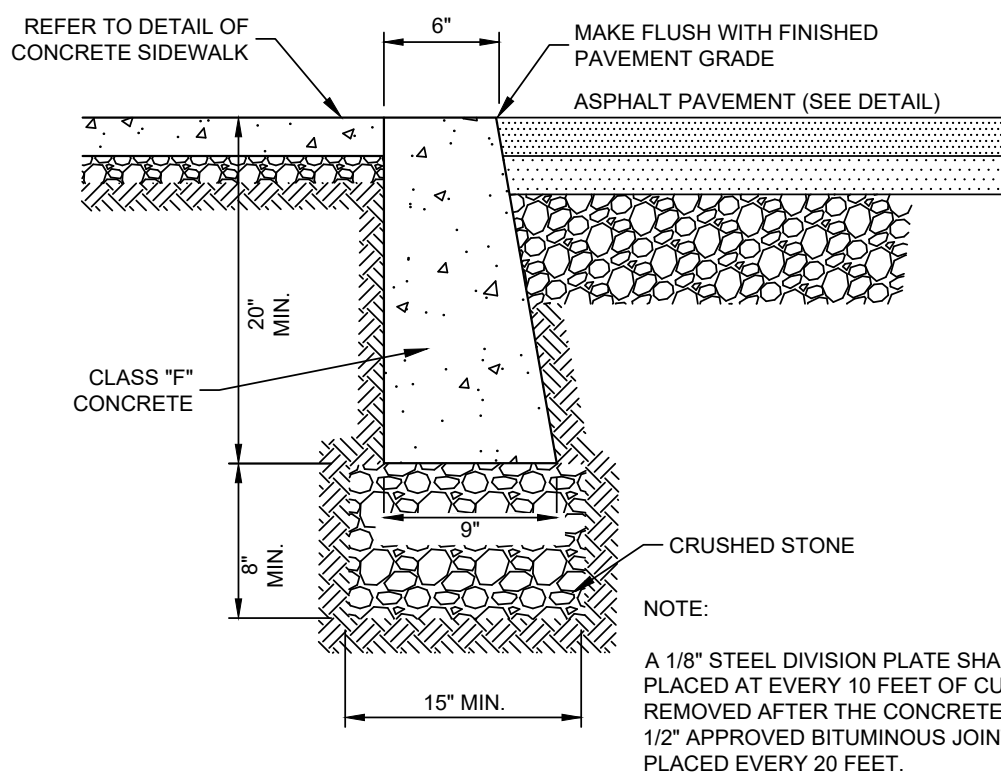
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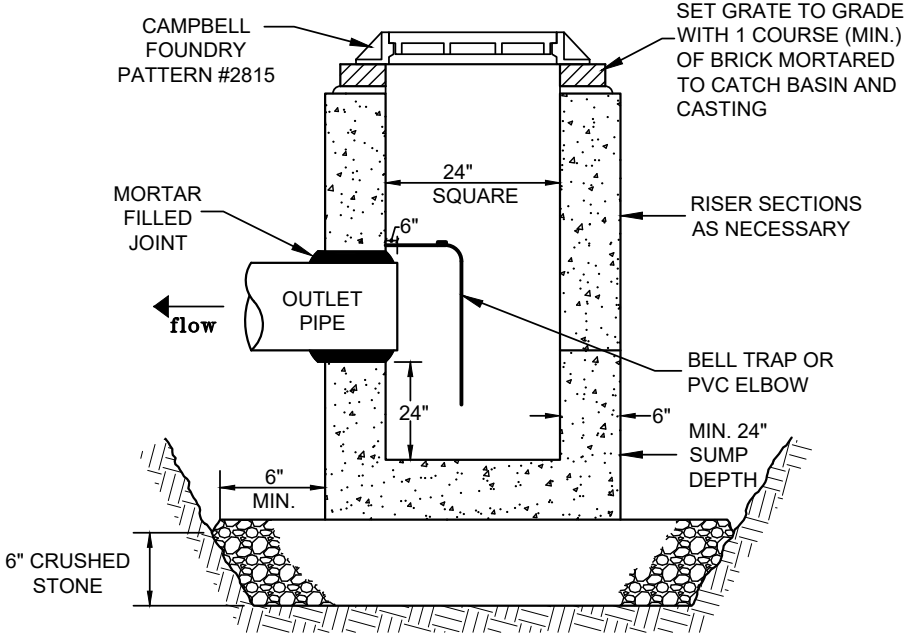
**REDNISS & MEAD**  
 CIVIL ENGINEERING  
 PLANNING & ZONING CONSULTING  
 FIRM INCORPORATED  
 22 Flax Street | Stamford, CT 06905  
 Tel: 203.327.0500 | Fax: 203.357.1118  
 www.rednissandmead.com

DATE: February 28, 2023  
 SHEET No: SE-2  
 Comm. No: 10556

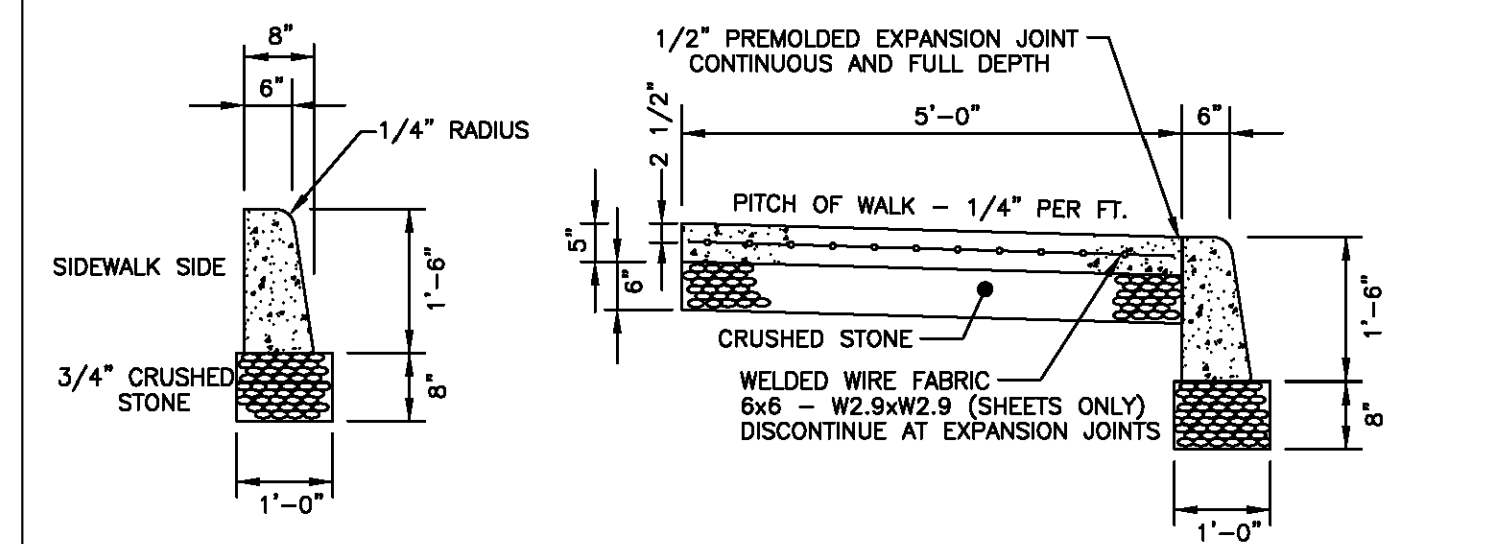
TEST PIT DATA			
Subsurface Soil Investigation		Soil Profile	
Test Pit #: 1	Date: 08/24/2022		
Inspector: PBS	Sanitarian: N/A		
Ledge at: N/A	Mottling at: N/A		
Water at: N/A	Roots at: 62"		
Depth: 70"	Soil Description		
0'-4"	Top Soil		
4'-70"	Light Brown Silty Sand w/ gravel and cobbles (Bank Run Gravel)		
Subsurface Soil Investigation		Soil Profile	
Test Pit #: 2	Date: 08/24/2022		
Inspector: PBS	Sanitarian: N/A		
Ledge at: N/A	Mottling at: N/A		
Water at: N/A	Roots at: N/A		
Depth: 66"	Soil Description		
0'-4"	Asphalt		
4'-12"	Processed Road Base		
12'-66"	Light Brown Silty Sand w/ gravel and cobbles (Bank Run Gravel)		
Subsurface Soil Investigation		Soil Profile	
Test Pit #: 3	Date: 08/24/2022		
Inspector: PBS	Sanitarian: N/A		
Ledge at: N/A	Mottling at: N/A		
Water at: N/A	Roots at: 50"		
Depth: 61"	Soil Description		
0'-6"	Top Soil		
6'-61"	Light Brown Silty Sand w/ gravel and cobbles (Bank Run Gravel)		



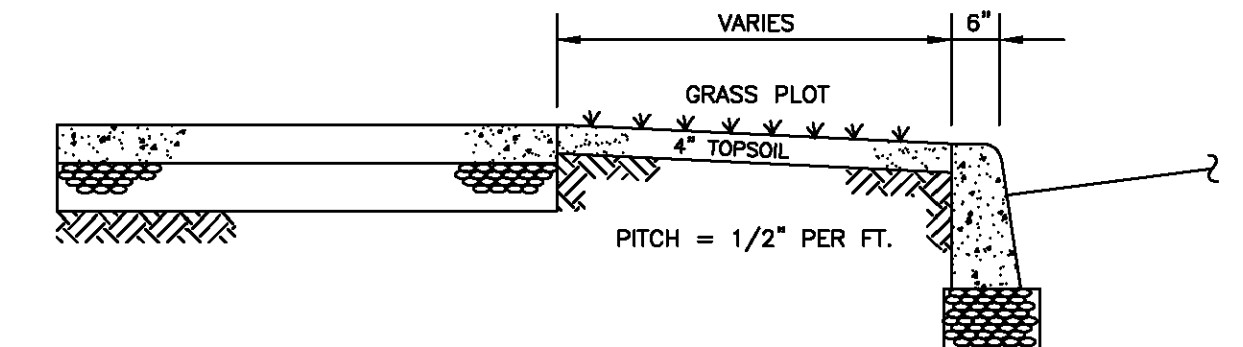
**FLUSH CONCRETE CURB**  
N.T.S.



**24" AREA DRAIN**  
N.T.S.

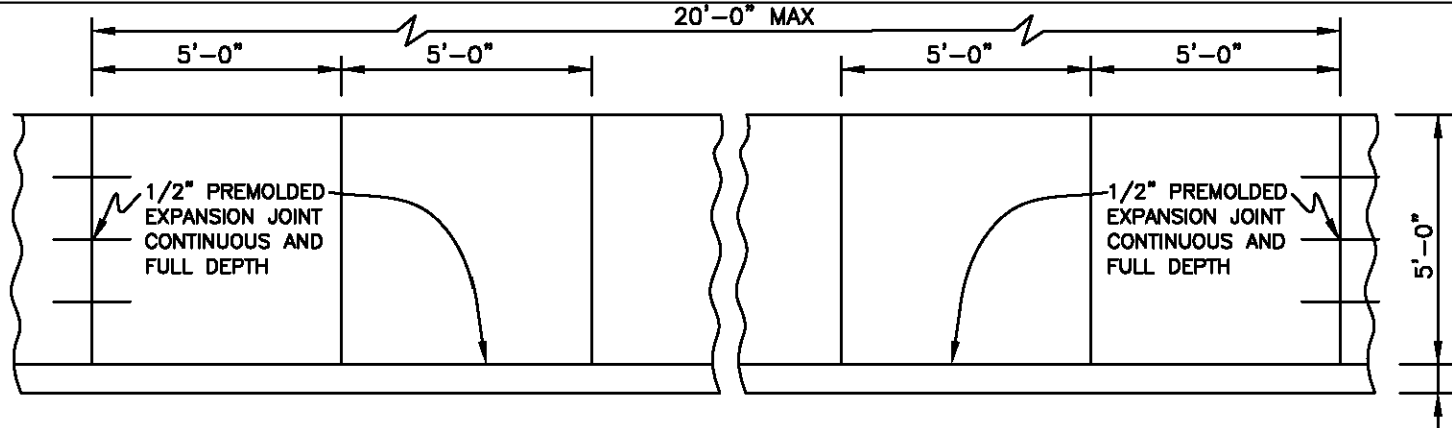


**STANDARD CURB & SIDEWALK**  
SCALE: 1/2" = 1'-0"

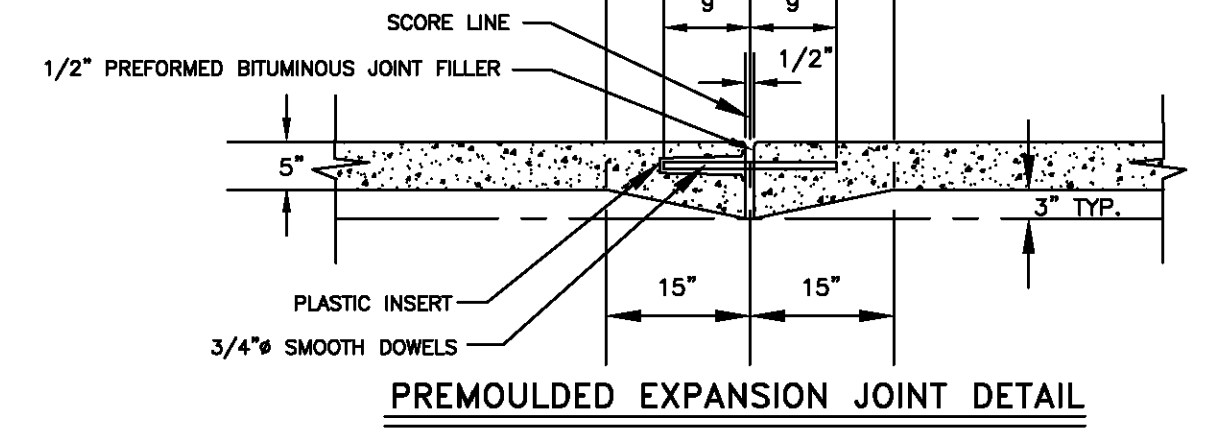


**GRASS PLOT**

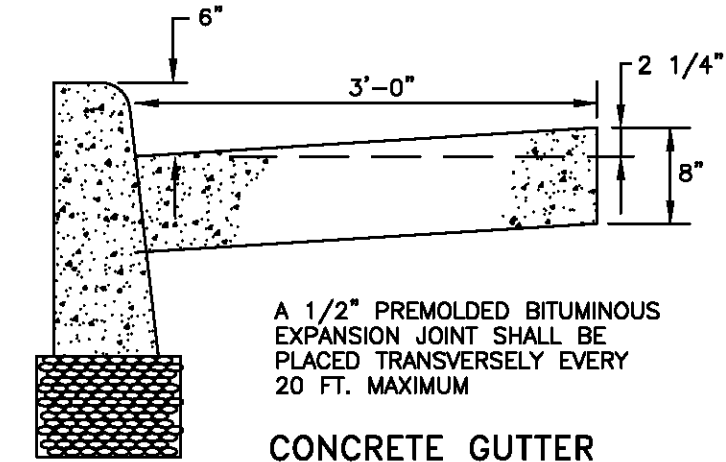
- NOTES:
1. ALL REINFORCING SHALL BE SUPPORTED ON CHAIRS OR OTHER POSITIVE TYPE SUPPORTS APPROXIMATELY ONE PER 25 SQ. FT.
  2. CONCRETE SHALL BE CLASS "C" CEMENT TYPE II, 3000 PSI
  3. AIR ENTRAINMENT SHALL BE BETWEEN 6 - 7%.



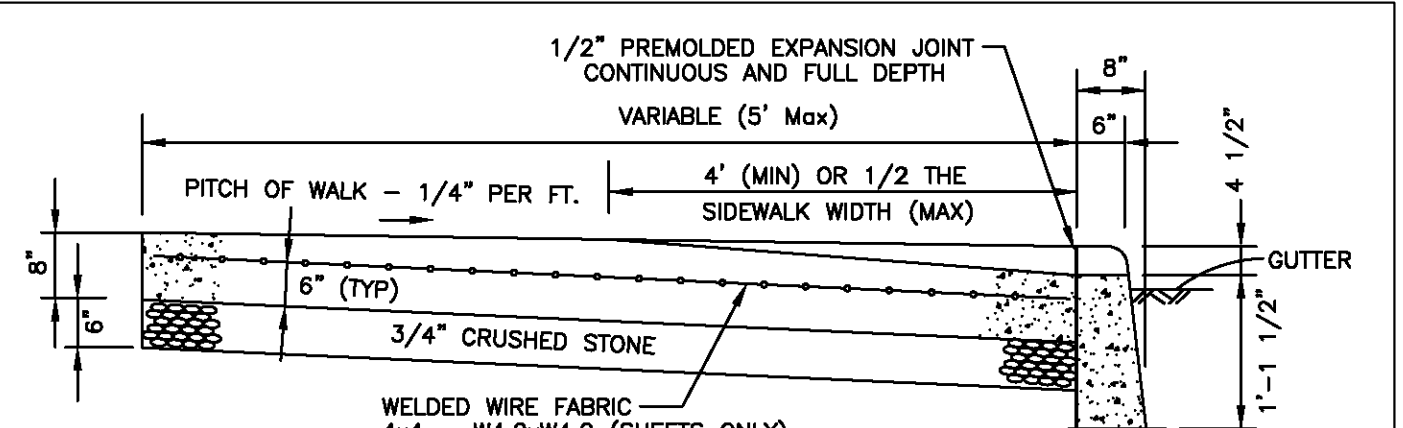
**PLAN OF A SECTION OF CONCRETE SIDEWALK**  
SCALE: 1/4" = 1'-0"



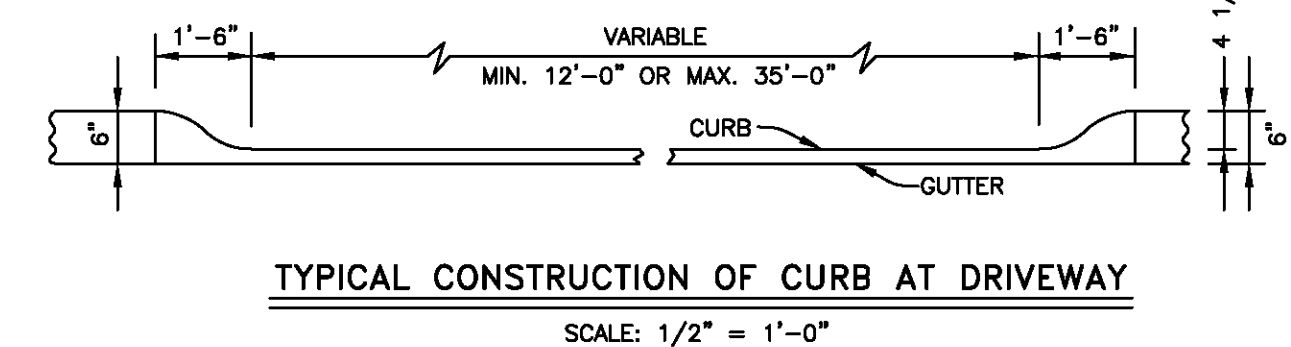
**PREFORMED EXPANSION JOINT DETAIL**  
SCALE: 1/2" = 1'-0"



**CONCRETE GUTTER**  
SCALE: 3/4" = 1'-0"



**STANDARD DRIVEWAY & HEAVY DUTY DRIVEWAY**  
SCALE: 1/2" = 1'-0"



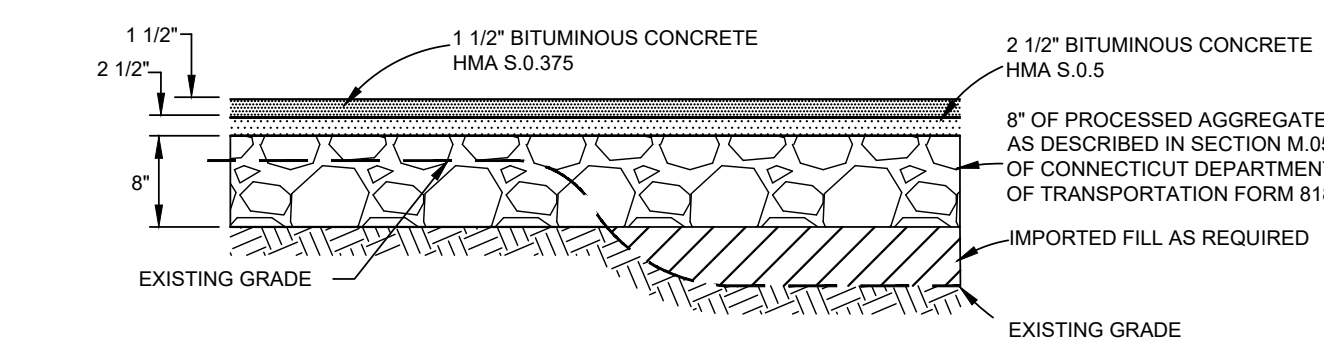
**TYPICAL CONSTRUCTION OF CURB AT DRIVEWAY**  
SCALE: 1/2" = 1'-0"

- GENERAL NOTES:
1. ALL REINFORCING SHALL BE SUPPORTED ON CHAIRS OR OTHER POSITIVE TYPE SUPPORTS APPROXIMATELY ONE PER 25 SQ. FT.
  2. CONCRETE SHALL BE CLASS "C" CEMENT TYPE II, 3000 PSI
  3. AIR ENTRAINMENT SHALL BE BETWEEN 6 - 7%.
  4. A 1/2" PREFORMED EXPANSION JOINT SHALL BE UTILIZED BETWEEN ALL RIGID STRUCTURES INCLUDING WALLS AND NEW SIDEWALK WORK.
  5. ADDITIONAL CONTROL JOINTS SHALL BE PLACED AS REQUIRED TO ELIMINATE ANY CONDITION WHICH WILL CAUSE STRESS VERTICES (EXAMPLE AT CORNERS OF STRUCTURES)

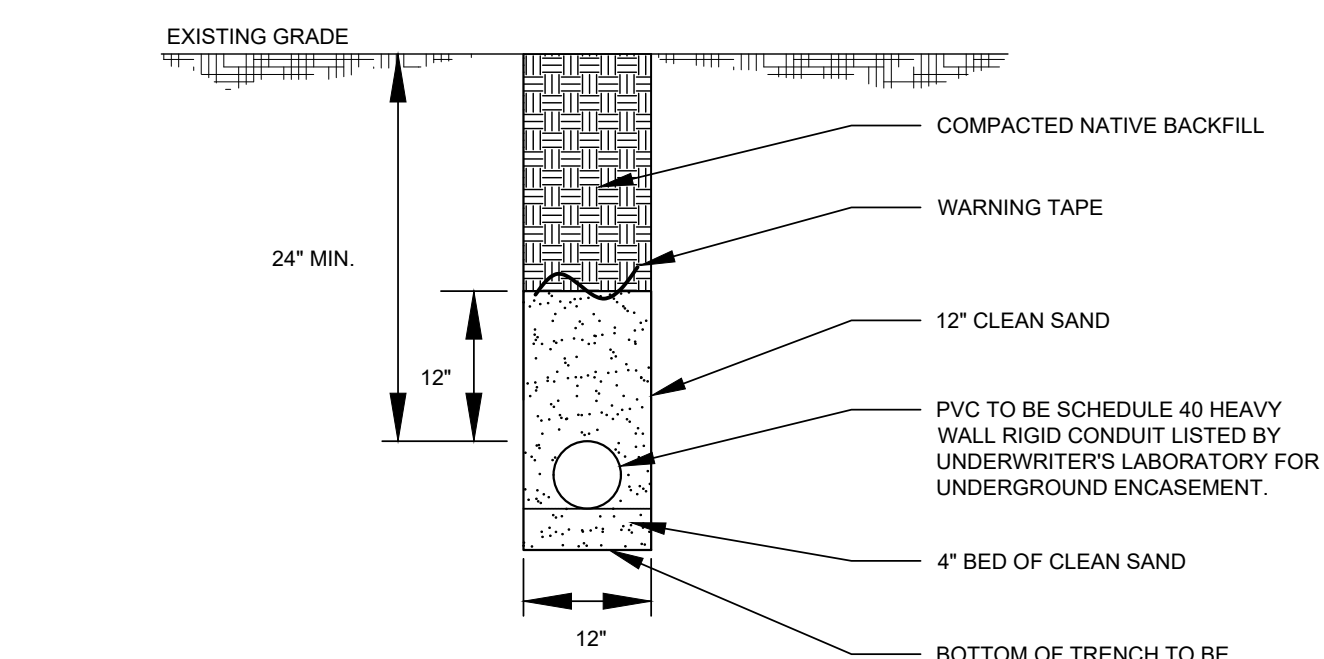
NO. DATE DESCRIPTION CK.			TOWN OF WILTON Department of Public Works SKETCHES & CALCULATIONS		Project No. & Name: STANDARDS Subject: SIDEWALKS & CURBING Made by: F. Smeriglio, PE Date: 2/20/19 Chk. by: F. Smeriglio, PE Date: 2/20/19 SW-2 Sheet No. 2 of 2	
--------------------------	--	--	---	--	--	--

**SIDEWALK & CURBING DETAILS**  
N.T.S.

TEST PIT DATA			
Recorded By: PBS		Date: 08/24/22	
Hole: 1	Project: 10556	Hole: 2	Project: 10556
Depth: 24"	Diameter: 8"	Depth: 24"	Diameter: 8"
9:00 AM	1:02 hrs	9:00 AM	1:00 hrs
Minimum Uniform Drop: 6/16 inches in 5 minutes		Minimum Uniform Drop: 8/16 inches in 5 minutes	
Percolation Rate = 1" drop in 13.33 minutes			
Time	Reading In Inches Total	Increment Drop In Inches	
10:02 AM	5 4/16	-	
10:07 AM	6 7/16	1 3/16	
10:12 AM	7 6/16	15/16	
10:17 AM	8 4/16	14/16	
10:22 AM	8 12/16	8/16	
10:27 AM	9 2/16	6/16	
10:32 AM	9 8/16	6/16	
10:37 AM	9 14/16	6/16	
10:42 AM	10 5/16	7/16	
10:47 AM	10 13/16	6/16	
10:52 AM	11 1/16	6/16	
10:57 AM	11 7/16	6/16	
11:02 AM	11 13/16	6/16	



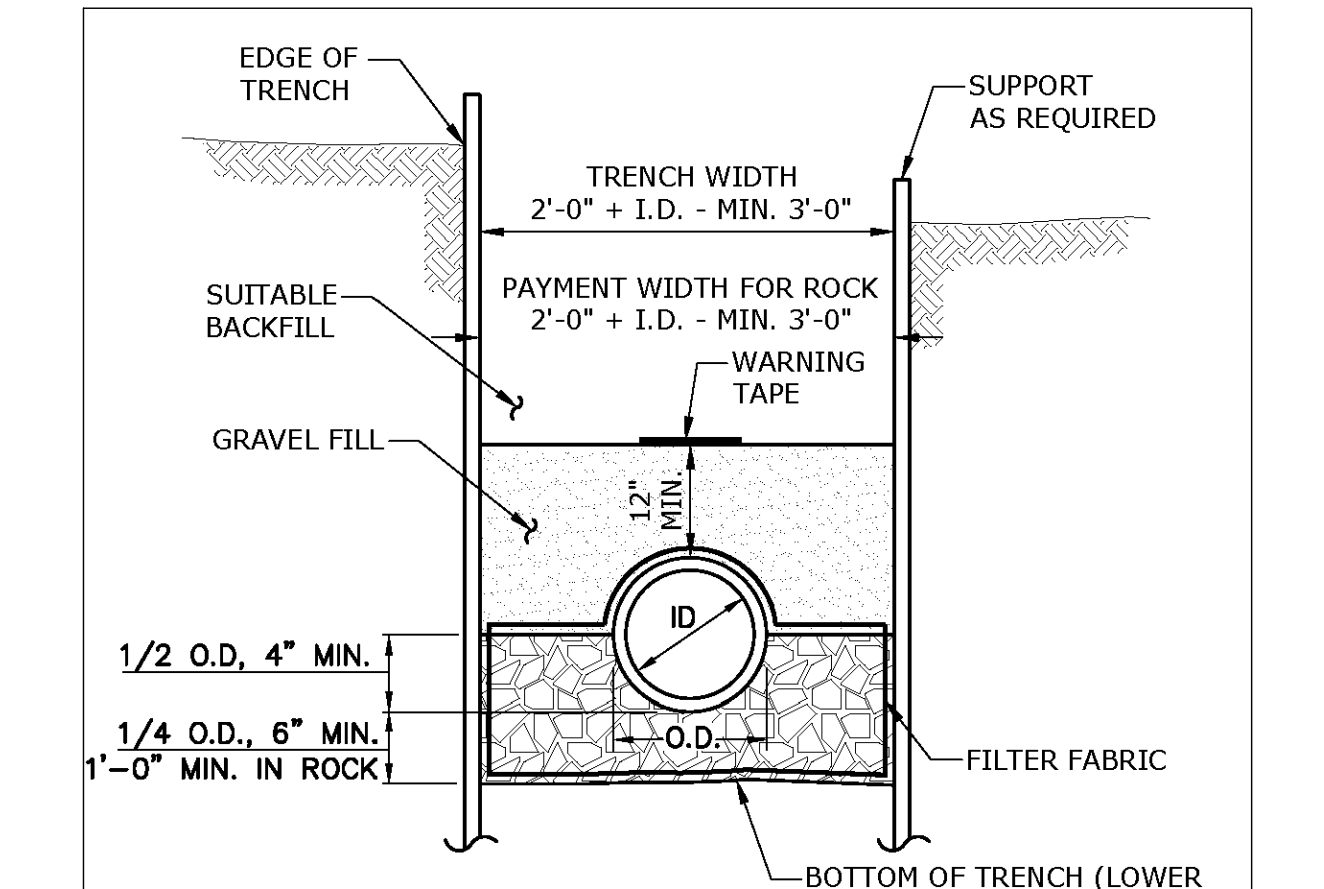
**PAVEMENT DETAIL**  
N.T.S.



**JUNCTION BOX**  
N.T.S.

- NOTES:
1. IF 24" OF COVER CANNOT BE OBTAINED OVER THE CONDUIT, CONDUIT SHALL BE CONCRETE ENCASED.
  2. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.

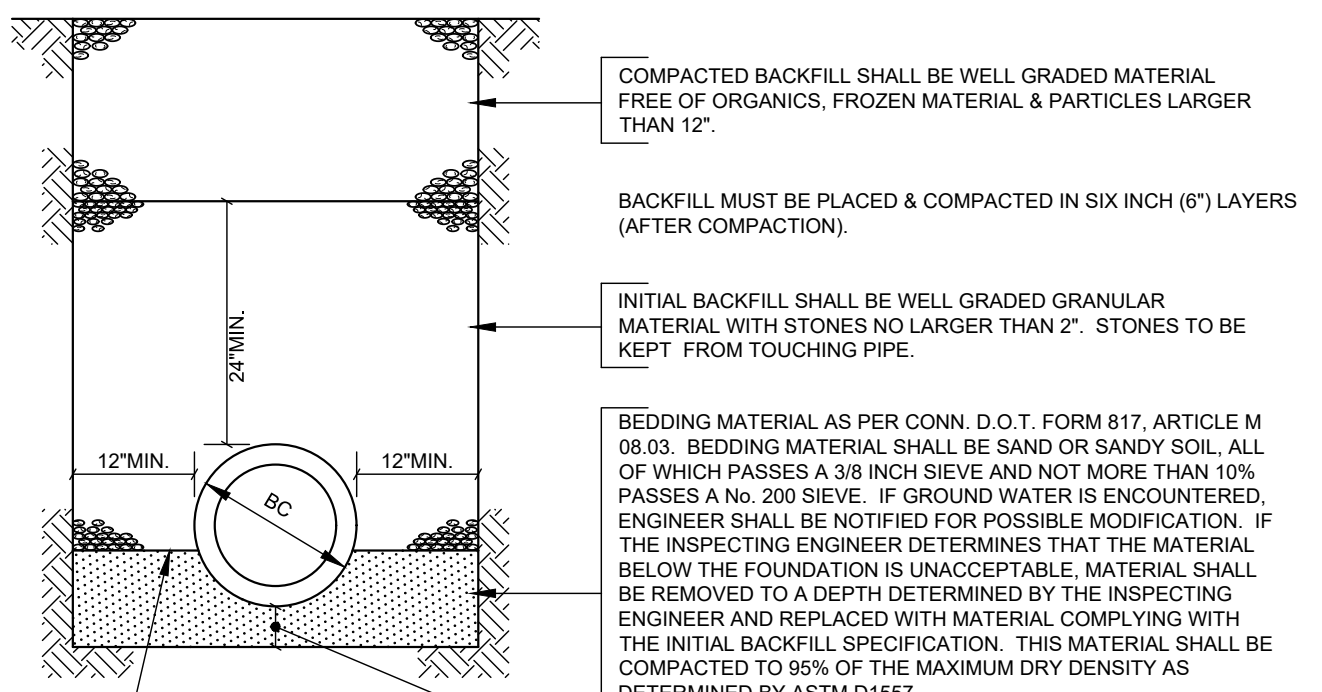
**LIGHTING CONDUIT TRENCH DETAIL (SAND BEDDING)**  
N.T.S.



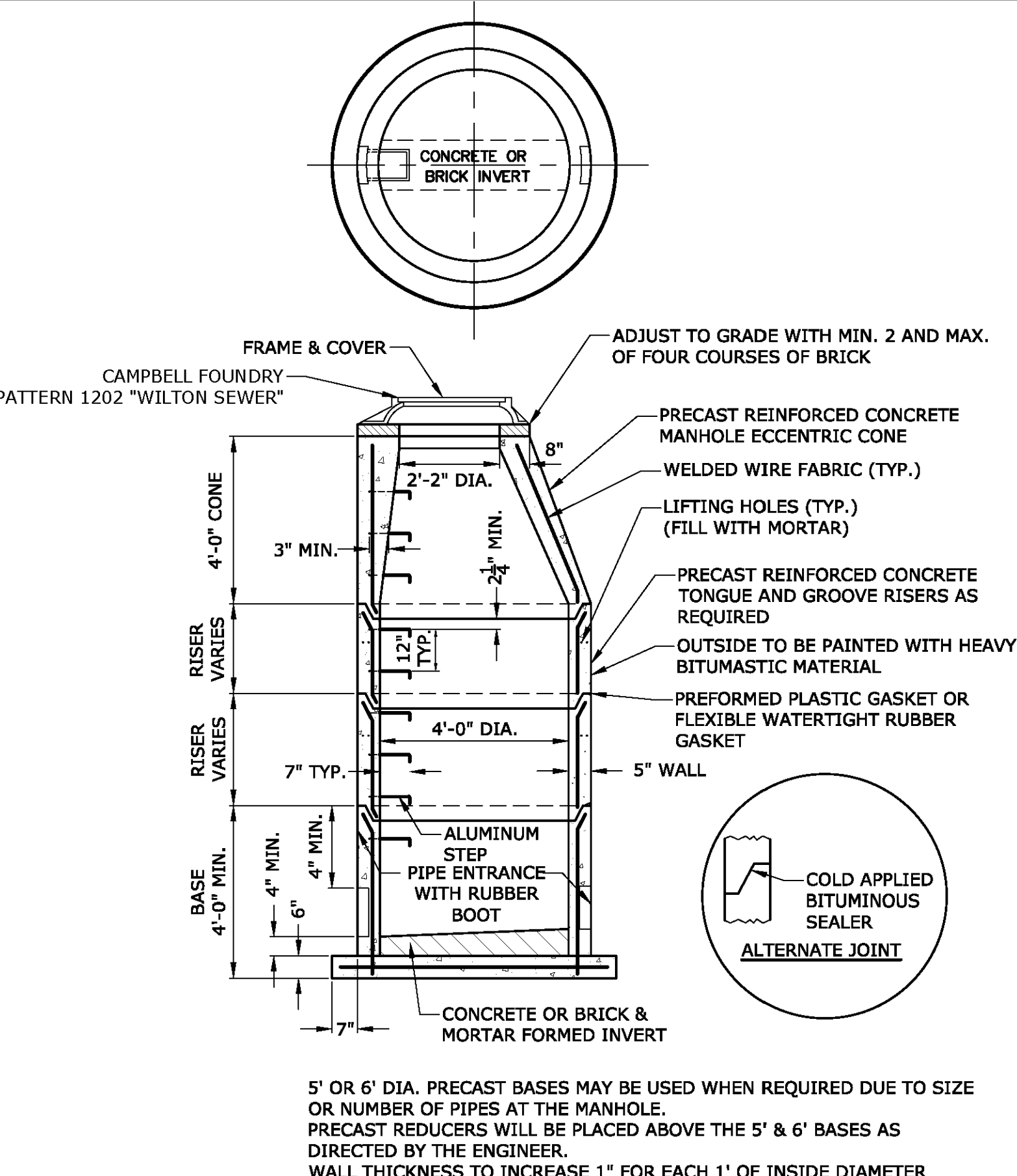
**SANITARY SEWER TRENCH DETAIL**  
N.T.S.

WATER STOP: 10' UPSTREAM OF STRUCTURES AND WHERE SHOWN, FOUNDATION MATERIAL, BEDDING, HAUNCHING, INITIAL BACKFILL, AND THE BOTTOM FOOT OF GENERAL BACKFILL, TO BE REPLACED WITH SMA 500 OR 800 SLAB PER UNIFIED SOIL CLASSIFICATION SYSTEM WITH MAXIMUM PARTICLE SIZE OF 1-1/2". FOR 3 LINEAR FEET OF TRENCH, WATER STOP TO BE KEPT INTO TRENCH BOTTOM AND WALLS A MINIMUM OF ONE FOOT. NO STONES LARGER THAN 6" SHALL BE WITHIN 12" OF THE PIPE.

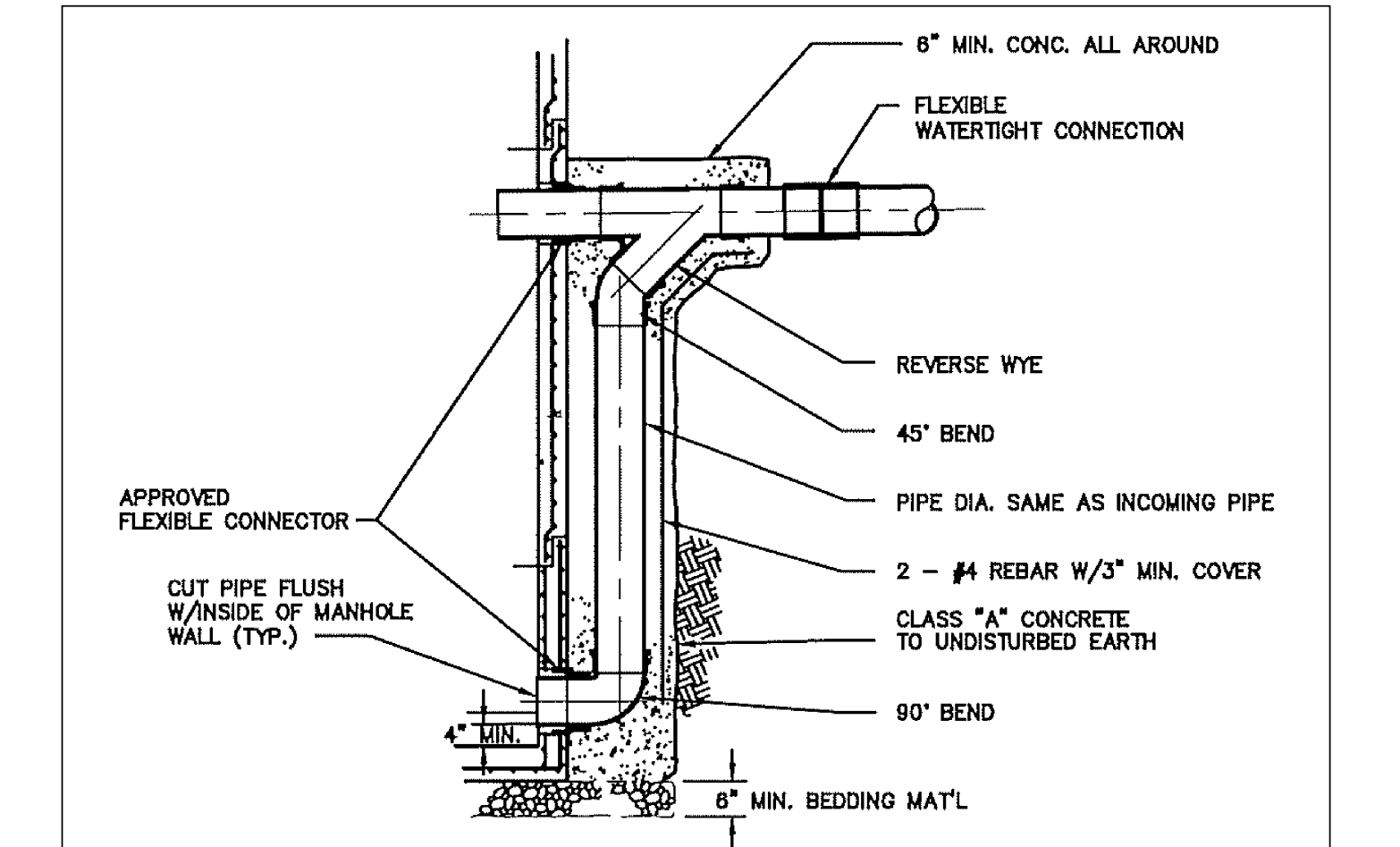
ALL FOUNDATION, INITIAL BACKFILL & BACKFILL MATERIAL TO BE APPROVED BY THE INSPECTING ENGINEER. ANY DEVIATION FROM THESE METHODS & MATERIALS MUST BE APPROVED IN WRITING BY THE INSPECTING ENGINEER. ALL MATERIAL TO BE COMPACTED TO 95% OF THE MAX. DRY DENSITY AS DETERMINED BY ASTM D1557, EXCEPT COMPACTED BACKFILL "NOT UNDER PAVEMENT" WHICH SHALL BE COMPACTED TO A DENSITY AT LEAST EQUAL TO THAT OF THE ADJACENT UNDISTURBED MATERIAL.



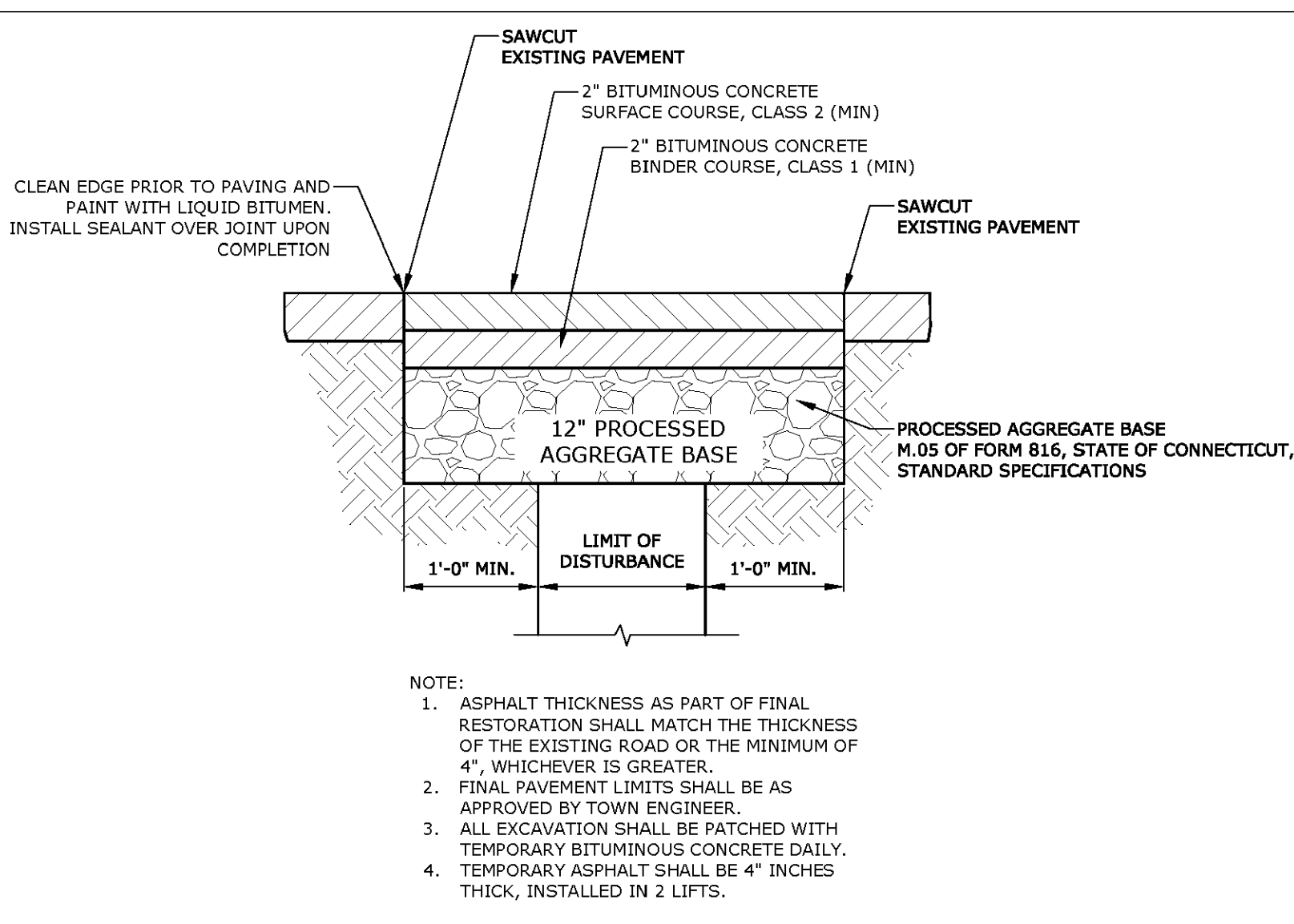
**PVC/RCP PIPE TRENCH BEDDING DETAIL (48" DIA. & UNDER)**  
N.T.S.



**PRECAST SANITARY DETAIL**  
N.T.S.



**DROP MANHOLE DETAIL**  
N.T.S.



**ASPHALT TRENCH REPAIR**  
N.T.S.

3	02/28/2023	REVISED PER BUILDING DESIGN
2	01/02/2023	REVISED PER DPW COMMENTS
1	09/30/2022	ORIGINAL ISSUE DATE
No.	Date	Revision

**DETAILS & SOIL DATA**  
DEPICTING  
**12 GODFREY PLACE**  
WILTON, CT  
PREPARED FOR  
**GREENWICH REALTY DEVELOPMENT, LLC**

SCALE: N.T.S.  
DRAWN BY: PBS CHECKED BY: CJF

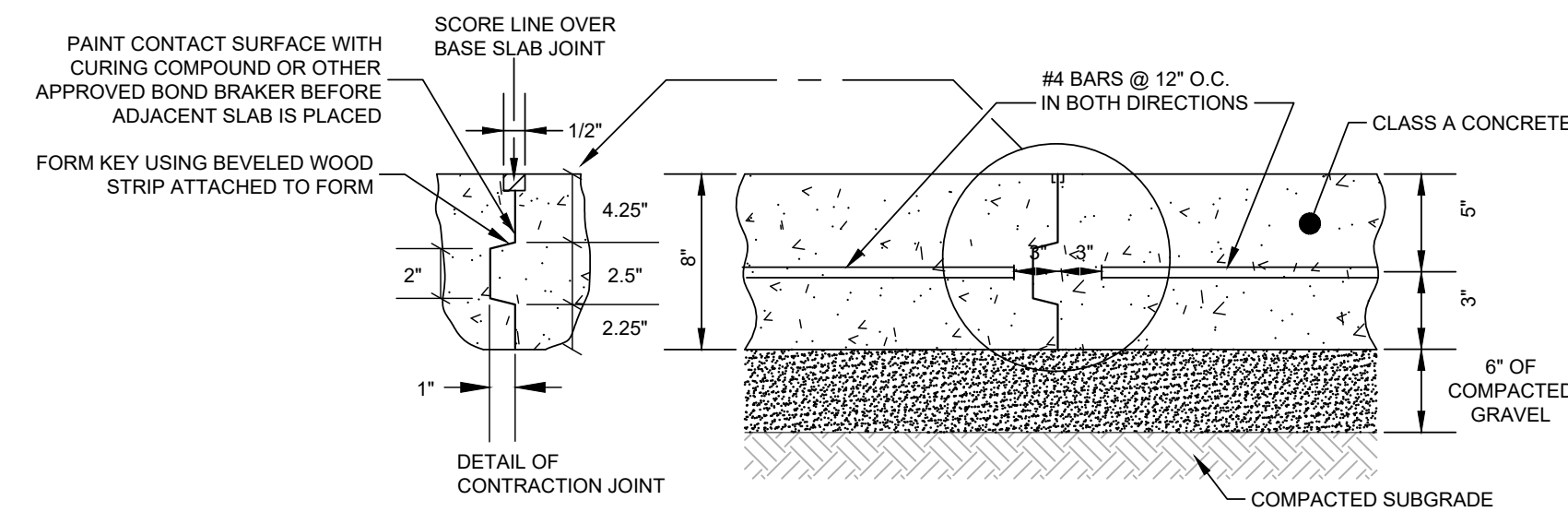
**REDNISS & MEAD**  
CRAG J. FLAHERTY CT. P.E. 21768  
February 28, 2023  
DATE

This document and copies thereof are valid only if they bear the signature and redlined seal of the designated licensed professional. Unauthorised alterations render any declaration herein null & void.

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CIVIL ENGINEERING  
PLANNING & ZONING CONSULTING  
PLUMBING

22 Flax Street | Stamford, CT 06905  
Tel: 203.327.0500 | Fax: 203.357.1118  
www.rednissandmead.com

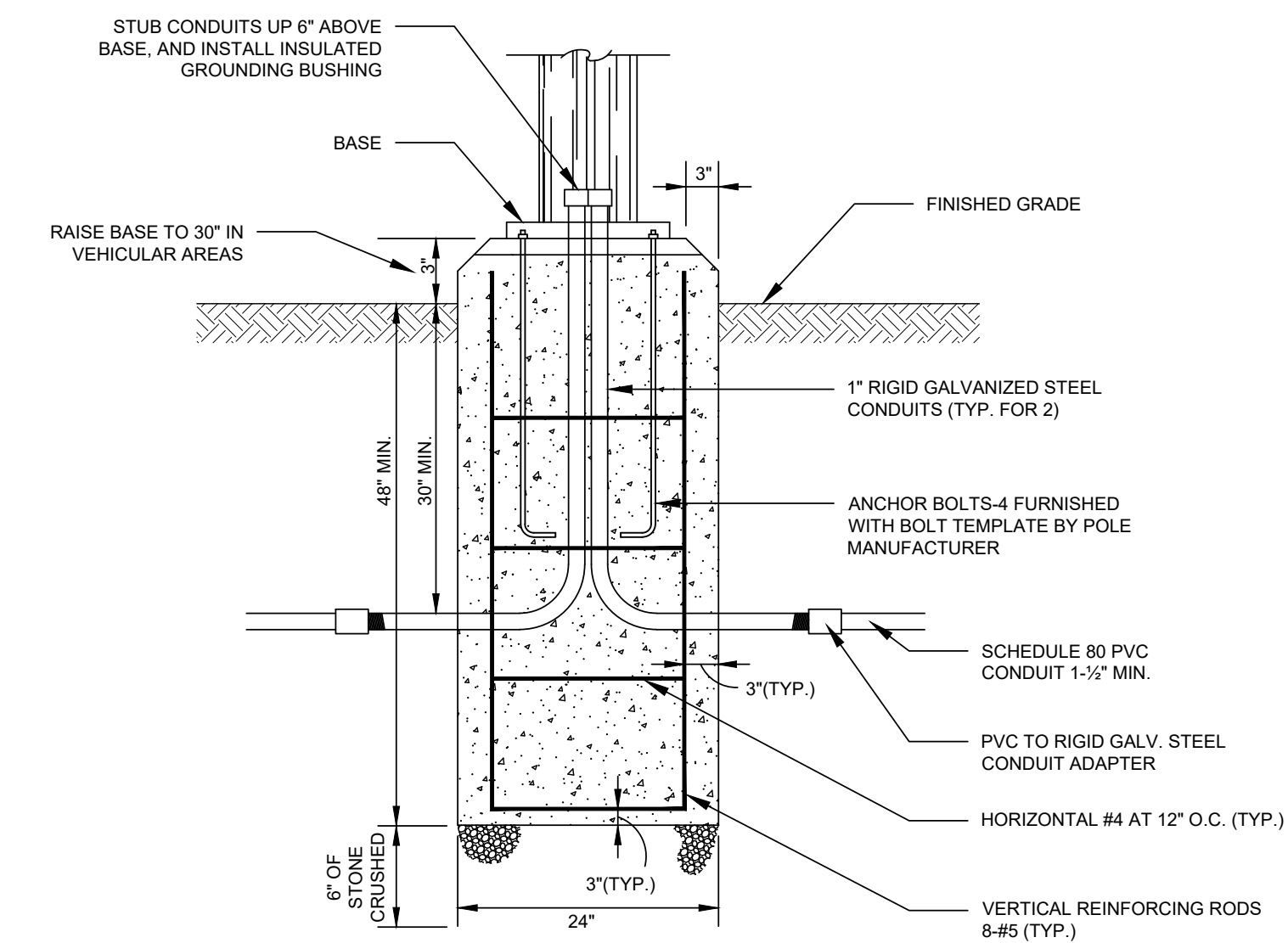
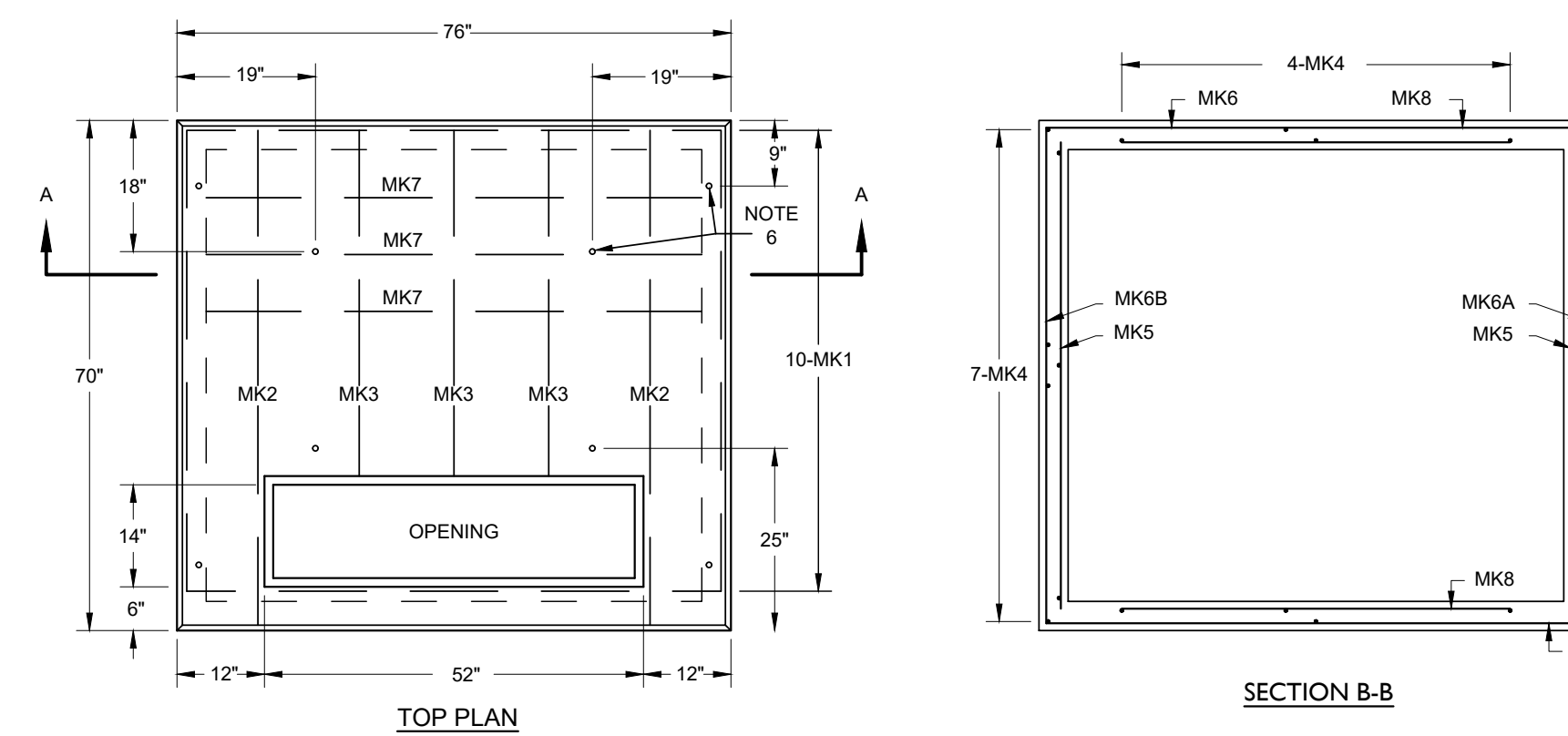
SHEET No. **SE-3**  
Comm. No.: 10556



- NOTES:**
1. CONCRETE TO BE CLASS 'A' CONFORMING TO CONDOT FORM 817 SECTION M.03.02.
  2. GRAVEL BASE SHALL CONFORM TO GRADATION A AS DEFINED IN CONDOT FORM 817 SECTION M.02.01.
  3. INSTALL AS PER THE AMERICAN CONCRETE INSTITUTE CODE.
  4. THE AREA SHALL BE COMPACTED TO AT LEAST 95% OF THE DRY DENSITY ACHIEVED BY AASHTO T180, METHOD D.
  5. CONTRACTION JOINT TO BE PLACED SO REMAINING SECTIONS OF CONCRETE ARE GENERALLY SQUARE OR AT LEAST EVERY 10'.
  6. EDGES OF CONCRETE TO BE TOOLED TO A 1/2" RADIUS.
  7. SIZE OF PAD TO BE VERIFIED PRIOR TO CONSTRUCTION.

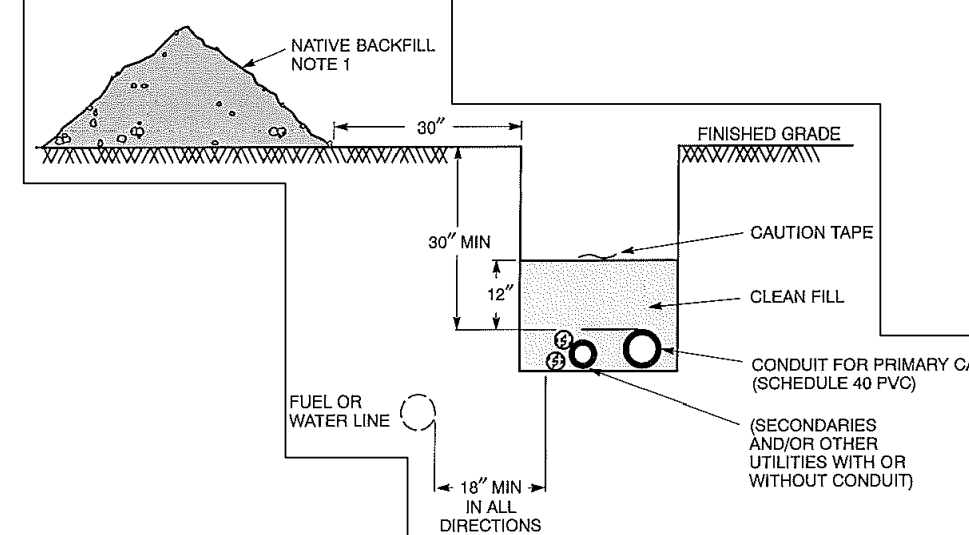
**CONCRETE PAD DETAIL**  
N.T.S.

BAR SCHEDULE										
MARK NO.	MK1	MK2	MK3	MK4	MK5	MK6	MK6A	MK7	MK8	MK9
SIZE	#6	#4	#4	#3	#4	#4	#4	#4	#4	#4
NO. OF BARS	10	2	3	22	8	7	1	1	2	7
DIMENSIONS	6"	9"	41"	20"	67"	74"	34"	38"	69"	20"



**LIGHT FIXTURE BASE DETAIL**  
N.T.S.

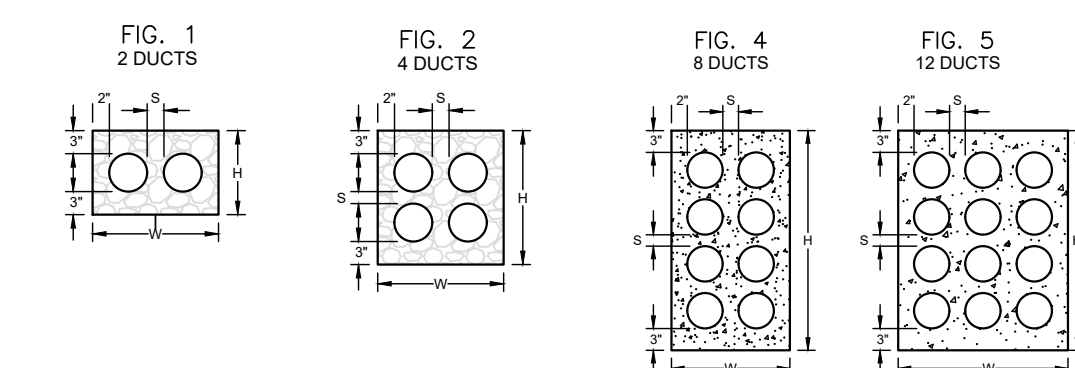
This detail is a generic detail obtained by the utility company and may not be representative but depicts appropriate separation distances.



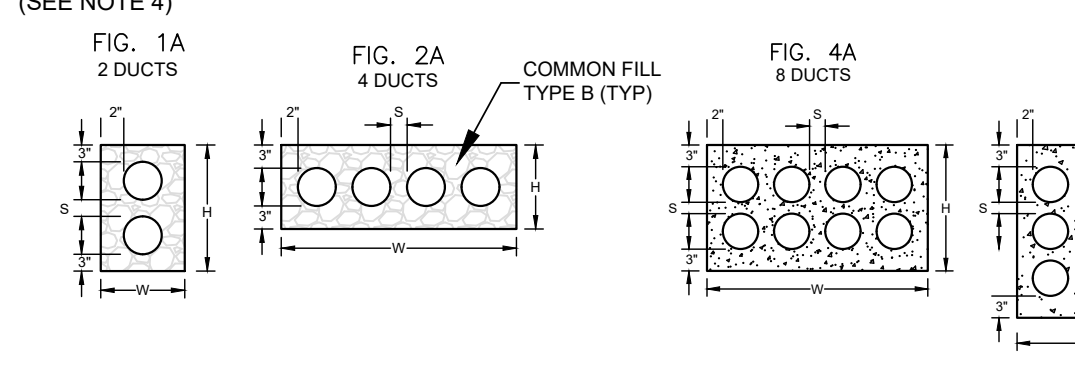
- BACKFILL:**  
MATERIAL FOR BACKFILLING SHALL BE EARTH MATERIALS ENTIRELY FREE FROM VEGETATION, TRASH, LUMBER, FROZEN, SOFT OR ORGANIC MATERIALS. NO STONES OR ROCK LARGER THAN THE SIZES LISTED BELOW WILL BE PERMITTED IN THE BACKFILL.
- COMMON FILL - TYPE A: NO STONES OR ROCKS LARGER THAN 1"
  - COMMON FILL - TYPE B: NO STONES OR ROCKS LARGER THAN 4"
- COMMON FILL MATERIAL MAY BE OBTAINED FROM THE TRENCH EXCAVATION PROVIDED IT HAS BEEN APPROVED BY THE ENGINEER AND HAS BEEN TESTED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
1. ALL MATERIALS TO BE USED FOR BACKFILL, INCLUDING COMMON FILL AND BEDDING MATERIALS, SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACING THE MATERIALS IN THE TRENCH. ALL BACKFILL AND BEDDING MATERIALS WHETHER OBTAINED FROM THE TRENCH EXCAVATION OR FROM AN OFF-SITE SOURCE MUST BE TESTED AS DIRECTED BY THE ENGINEER.
  2. SAMPLES OF THE MATERIALS SHALL BE SUBMITTED TO AN APPROVED TESTING AGENCY FOR ANALYSIS. THE TEST RESULTS AND REPORT STATING THAT THE MATERIALS MEET THE REQUIREMENTS THESE SPECIFICATIONS AND THE SPECIFICATIONS OF FEDERAL, STATE AND LOCAL AUTHORITIES (WHERE APPLICABLE) SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACING THE MATERIALS IN THE TRENCH.

- NOTES:**
1. Minimum cover from top of a conduit bank to the pavement or earth surface to be 36".
  2. Duct bank shall extend beyond the property line and capped. Exact location of termination are per field direction. Allow for 20' deviation from locations shown on this plan.
  3. Ducts shall be Schedule 40 pipe. Use premanufactured spacers between conduits as necessary. Bends shall be sweeps, 4" radius. Duct telephone bands meeting GTE 8343, United CHS-71 and NEMA TC-10 Specifications.
  4. Slope of conduit to drain toward manhole or away from structures.
  5. All work shall be performed according to utility company requirements.
  6. Ensure that the bottom of the trench is well-tamped and free of rocks.
  7. Install the conduit, guage and all couplings.
  8. Install secondaries and other utility conduits or conduits in the trench.
  9. Backfill with 12 inches clean fill not to contain stones larger than 4 inches in maximum diameter.
  10. Install cable warning.
  11. Fill in remainder of the trench with native backfill.
  12. Install pull line, including 10 feet of slack, and secure to conduit plug at each end of conduit run.
  13. All underground conduit to schedule 40 PVC conduit.
  14. Actual utility layout may vary depending on final utility company coordination. Coordination of final layout shall be the contractor's responsibility.
  15. All underground utilities crossing a roadway shall be concrete encased.
  16. Concrete encasement shall be color red within the limits of the slope right-of-way.

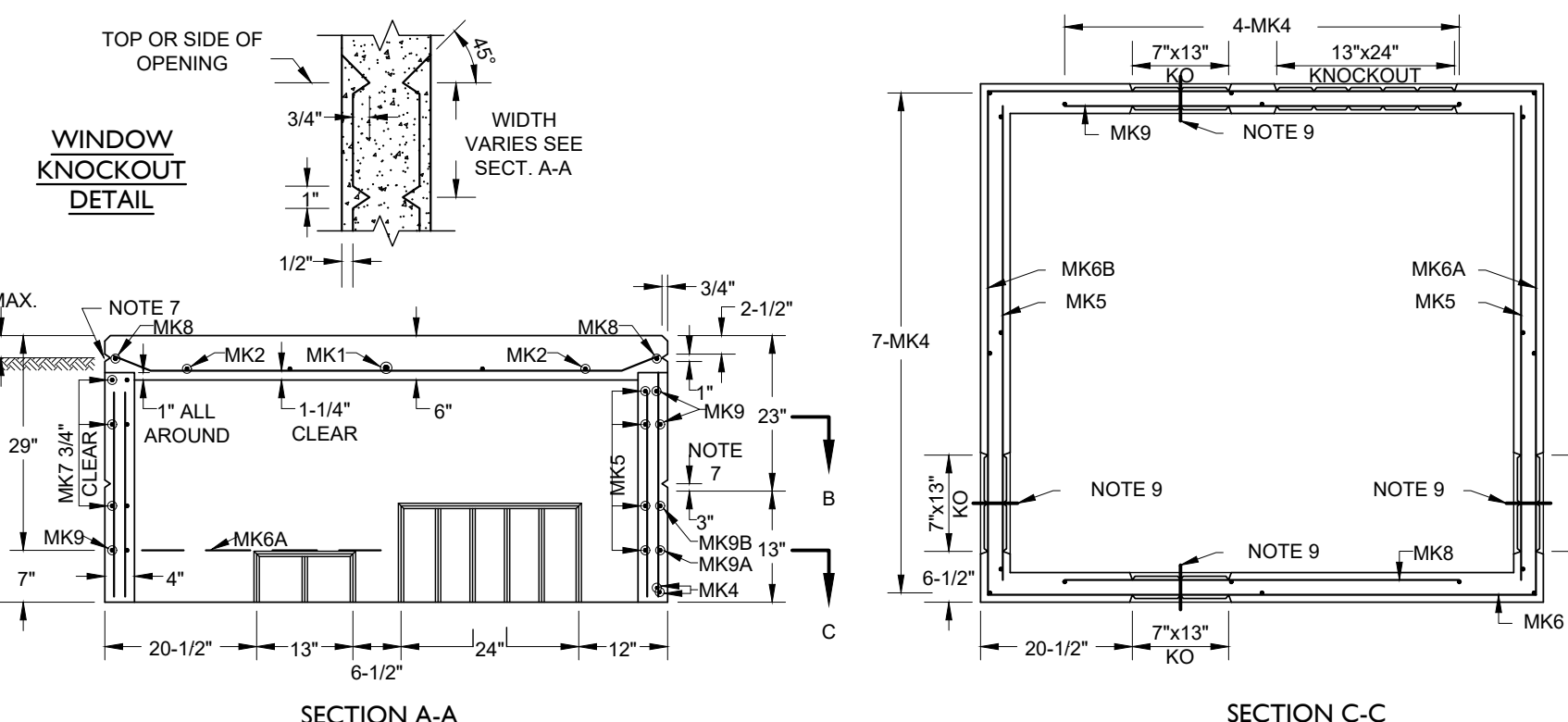
PREFERRED:



ALTERNATE:



**CONDUIT BANK CONSTRUCTION**  
N.T.S.



- NOTES:**
1. ROOF DESIGN LOAD: 4000 LBS. SPREAD OVER ON FOOT SQUARE AREA ANYWHERE ON ROOF.
  2. WALLS: SOIL PRESSURE OF EQUIVALENT FLUID PRESSURE OF 33 PCF. SURCHARGE OF 2.5 FEET OF SOIL, WEIGHING 120 PCF.
  3. CONCRETE: 4000 PSI AT 28 DAYS, ENTRAINED AIR 6-9%.
  4. STEEL: ASTM A615-1987A, GRADE 40.
  5. ALL CONCRETE AND REINFORCEMENT IN ACCORDANCE WITH ACI 318-1988.
  6. FOR LIFTING TOP OR BOTTOM SECTIONS, CAST IN FOUR 1/2 INCH DIAMETER DAYTON SUREGRIP (OR APPROVED EQUAL) COIL LOOP INSERTS GALVANIZED, WITH T21 PLASTIC SETTING PLUGS. INSERTS ARE TO BE SECURED IN PLACE WITH REBAR.  
TOP: CATALOG TYPE B16, 1/2 INCH DIAM. x 4 INCHES LONG  
BOTTOM: CATALOG TYPE B16, 1/2 INCH DIAM. x 6 INCHES LONG
  7. PROVIDE 3 INCH LONG GROOVE (1/2 INCH x 1 INCH) FOR LIFTING SLING AT EACH CORNER, EACH SIDE.
  8. MANUFACTURER'S IDENTIFICATION AND MONTH/YEAR WHEN MANUFACTURED SHALL BE LEGIBLY MARKED IN ON CONCRETE IN THE SIDE.
  9. ZINC ALLOY INSERTS 1/2 INCH - 10 INCHES x 3 INCHES FOR CABLE PULLING TO BE LOCATED 4 INCHES ABOVE (7 INCH x 13 INCH) KNOCKOUTS (4).

**PAD-PRECAST CONCRETE-THREE PHASE TRANSFORMER**  
N.T.S.

**GENERAL**

1. The customer (contractor) shall be responsible for service trench, conduit, concrete encasement and conduit inspections.
2. NU shall be responsible for sealing the inside of the conduit.
3. NU shall not be responsible for any leak between the conduit and the wall.

**SERVICE TRENCH**

Trench location, as specified by NU, shall be in as direct a line as possible without reverse curves from the distribution facility to the customer service entrance.

Trench shall be excavated and backfilled by the customer.

Corrosive fill such as cinders shall not be used.

The backfill within 6 inches of conduit shall not contain any large or sharp rocks or other objects that might damage conduit.

The trench shall have a 24-inch minimum cover over supply conduit to finish grade, except where ledge is encountered, then the cover may be reduced to 18 inches if steel is used.

The trench shall have a 4-inch-per-100-foot downward pitch toward distribution facility, if physically possible.

Maintain a 12-inch minimum separation from other facilities except for communication conduit which may have 3 inches of concrete separation.

CONDUIT - Conduit shall be as specified by NU but supplied and installed by customer.

**CONCRETE ENCASUREMENT**

Concrete shall be 2,000 psi, 28 day strength with 1/2-inch maximum aggregate. A stiff field mix of 1 part cement, 3 parts sand, 5 parts stone (1-3:5) will be acceptable.

Encasement shall be 3 inches top and bottom, 2 inches sides and 1-1/2 inches between conduits (except 2 inches between 6-inch conduit). All dimensions are minimum.

When steel conduit and PVC conduit are joined the encasement shall be extended 1 foot onto the steel conduit.

**CONDUIT INSPECTION**

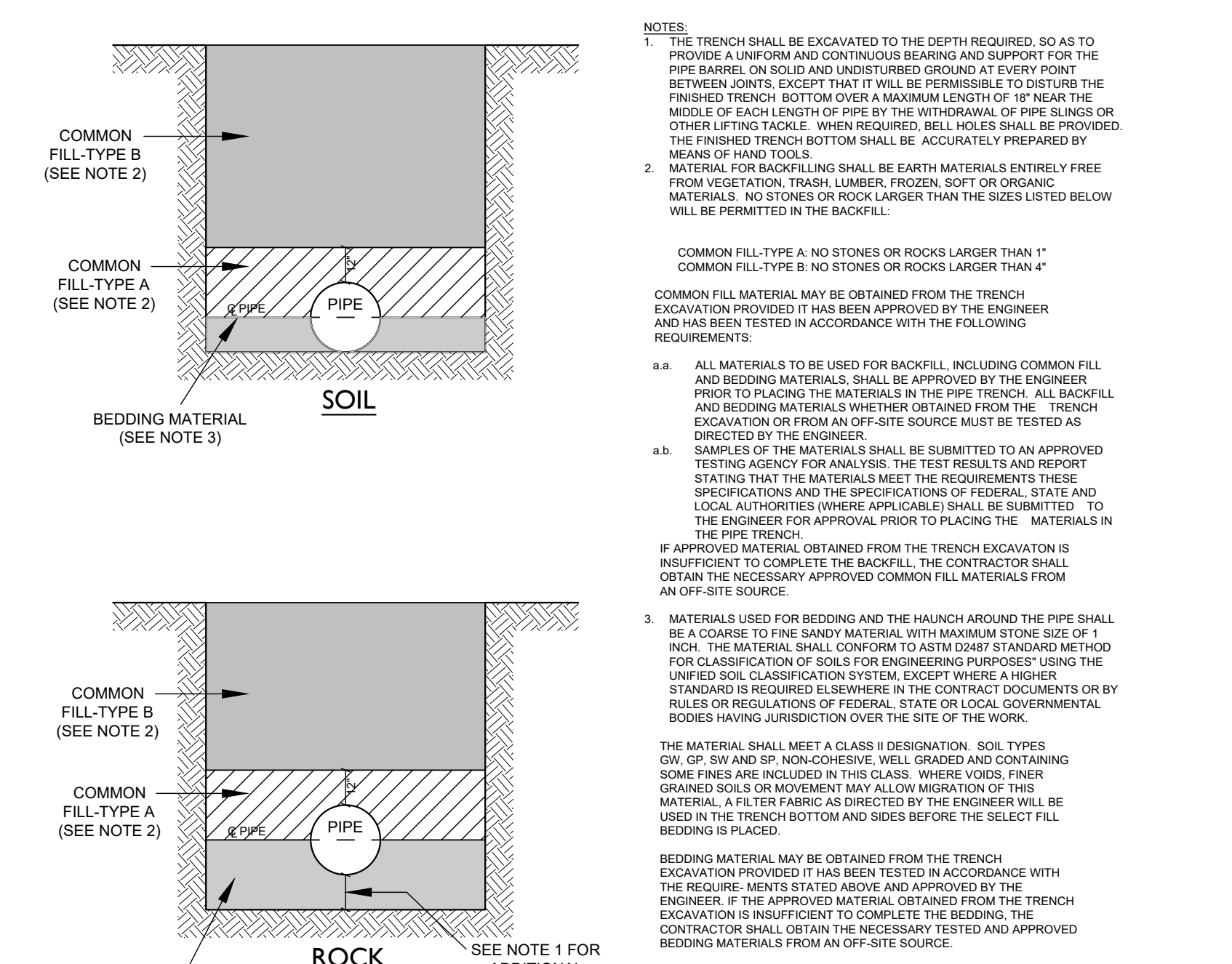
Conduit(s) shall be cleaned with a wire brush of the same diameter as the conduit.

2. A test shall be made by pulling a 17-inch-long flexible mandrel through the conduit, equal to diameter of the conduit. NU reserves the right to witness the cleaning and testing.
3. A 1/4-inch-diameter nylon pull line shall be placed in the conduit, including 10 feet of slack, and secured to a plastic conduit plug at each end of the conduit run.

**CONDUIT SEALING**

Conduit occupied with cable is to be sealed by NU at the customer service entrance with jute and duct sealing putty. The water-pull in bare standard neutral cable will be sealed by splicing a piece of covered cable onto the bare neutral using a watertight connector (See DTR 73.251-252).

Empty conduit shall be sealed at the customer service entrance with a plastic plug to prevent the possible entry by water or gas. If physical conditions require conduit to slope toward the customer's facilities additional seals will be required at the distribution facilities, i.e., manhole or other types of UG structures.



**TRENCH BACKFILL MATERIALS**  
(WATER LINE)  
N.T.S.

No.	Date	Revision
3	02/28/2023	REVISED PER BUILDING DESIGN
2	01/02/2023	REVISED PER DPM COMMENTS
1	09/20/2022	ORIGINAL ISSUE DATE

**DETAILS**  
DEPICTING  
**12 GODFREY PLACE**  
WILTON, CT  
PREPARED FOR  
**GREENWICH REALTY**  
DEVELOPMENT, LLC

SCALE: N.T.S.  
DRAWN BY: PBS  
CHECKED BY: CJF

**REDNISS & MEAD**  
LAND SURVEYING  
CIVIL ENGINEERING  
PLANNING & ZONING CONSULTING  
PLUMBING

CRANG J. FLAHERTY CT. P.E. 21149  
February 28, 2023  
DATE

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SHEET No: **SE-4**  
Comm. No: 10556

**EVERSOURCE CONDUIT**  
**INSTALLATION DETAIL**  
N.T.S.

For a discussion of the types of conduit and their applications, see DTR 44.351.

Sweeps in the conduit run, achieved by forcing a gradual bend in a length of Type EB PVC conduit, shall have a minimum radius of 15 feet. Manufactured bends in the conduit run shall have a minimum radius of 48 inches. This requirement does not include the bends used at riser poles or equipment pads where the bend radius shall be a minimum of 24 inches, with 36 inches preferred.

There must be a seal between conduit and building wall.

	Steel Galv	IMC	PVC Schedule 40	PVC Type EB*
Direct-Buried (DB)	X	X	X	X
Disturbed Earth (i.e., Filled Area)	X	X	-	X
Delta Primary (i.e., 4.8 kV)	X	X	-	X

\*Must be encased in concrete



# WILTON CENTER LOFTS

12 GODFREY PLACE WILTON, CT



### DRAWING INDEX

Dwg No.	Title	Issued For:			
		DATE	Planning & Zoning	Planning & Zoning	Planning & Zoning
T100	Title Sheet	X	X	X	X
<b>Civil Engineer Drawings</b> <i>Redniss &amp; Mead</i>					
PSTS	Property & Topographic Survey		X		X
SE-1	Site Development Plan		X		X
SE-2	Sedimentation & Erosion Control Plan		X		X
SE-3	Details & Soil Data		X		X
SE-4	Details		X		X
<b>Landscape Drawings</b> <i>Granoff Architects</i>					
L100	Landscape Plan		X	X	X
<b>Architectural Drawings</b> <i>Granoff Architects</i>					
AS100	Architectural Site Plan & Zoning Information		X	X	X
AS101	Context Images		X	X	X
A100	Ground Floor Plan		X	X	X
A101	First Floor Plan		X	X	X
A102	Second Floor Plan		X	X	X
A103	Penthouse Floor Plan		X	X	X
A104	Roof Plan		X	X	X
A200	Ground Floor Exterior Lighting Plan		X	X	X
A201	First Floor Exterior Lighting Plan		X	X	X
A202	Second Floor Exterior Lighting Plan		X	X	X
A203	Penthouse Floor Exterior Lighting Plan		X	X	X
A300	Building Elevations (West & East)		X	X	X
A301	Building Elevations (North & South)		X	X	X
A302	Exterior Renderings		X	X	X
A302A	Exterior Renderings		X	X	X
A302B	Exterior Renderings		X	X	X
A303	Exterior Materials		X	X	X
A304	Signage		X	X	X
A400	Building Sections		X	X	X
L-1	Ground Floor Photometric Calculation		X	X	X
L-2	First & Second Floor Photometric Calculation		X	X	X
L-3	Penthouse Floor Photometric Calculation		X	X	X

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 rb@granoffarchitects.com



SITE LOCATION

**PROPERTY LOCATION MAP**

NTS

SUBMITTALS/REVISIONS

#	DATE	DESCRIPTION	BY:
1	09.30.2022	P&Z SUBMISSION	CC
2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30g)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: **22013**

DRAWN BY: **CC/GC** PROJ. MANAGER: **RG**

DATE: **02/07/2023** SCALE: AS NOTED

DRAWING TITLE  
**COVER SHEET**

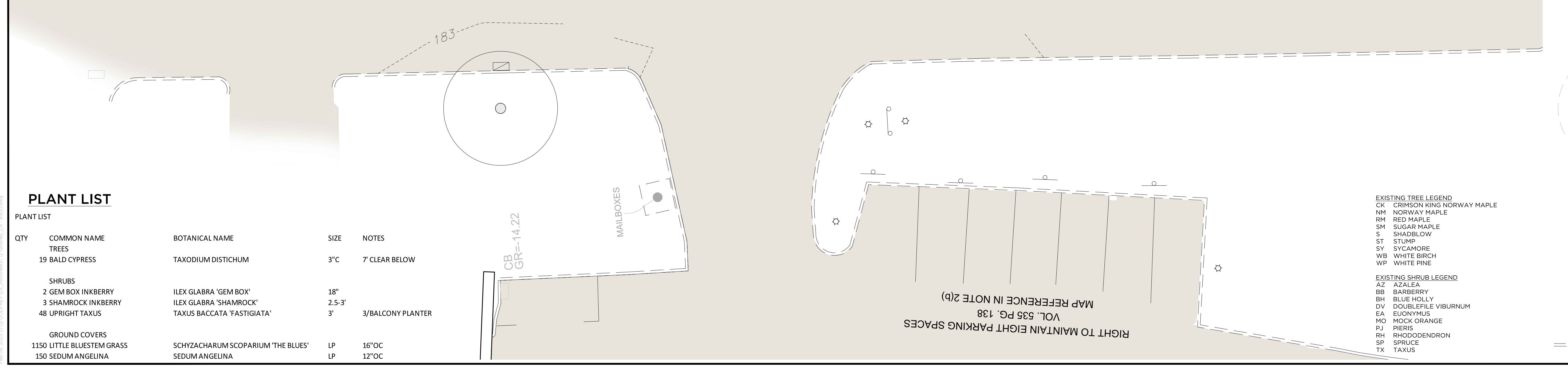
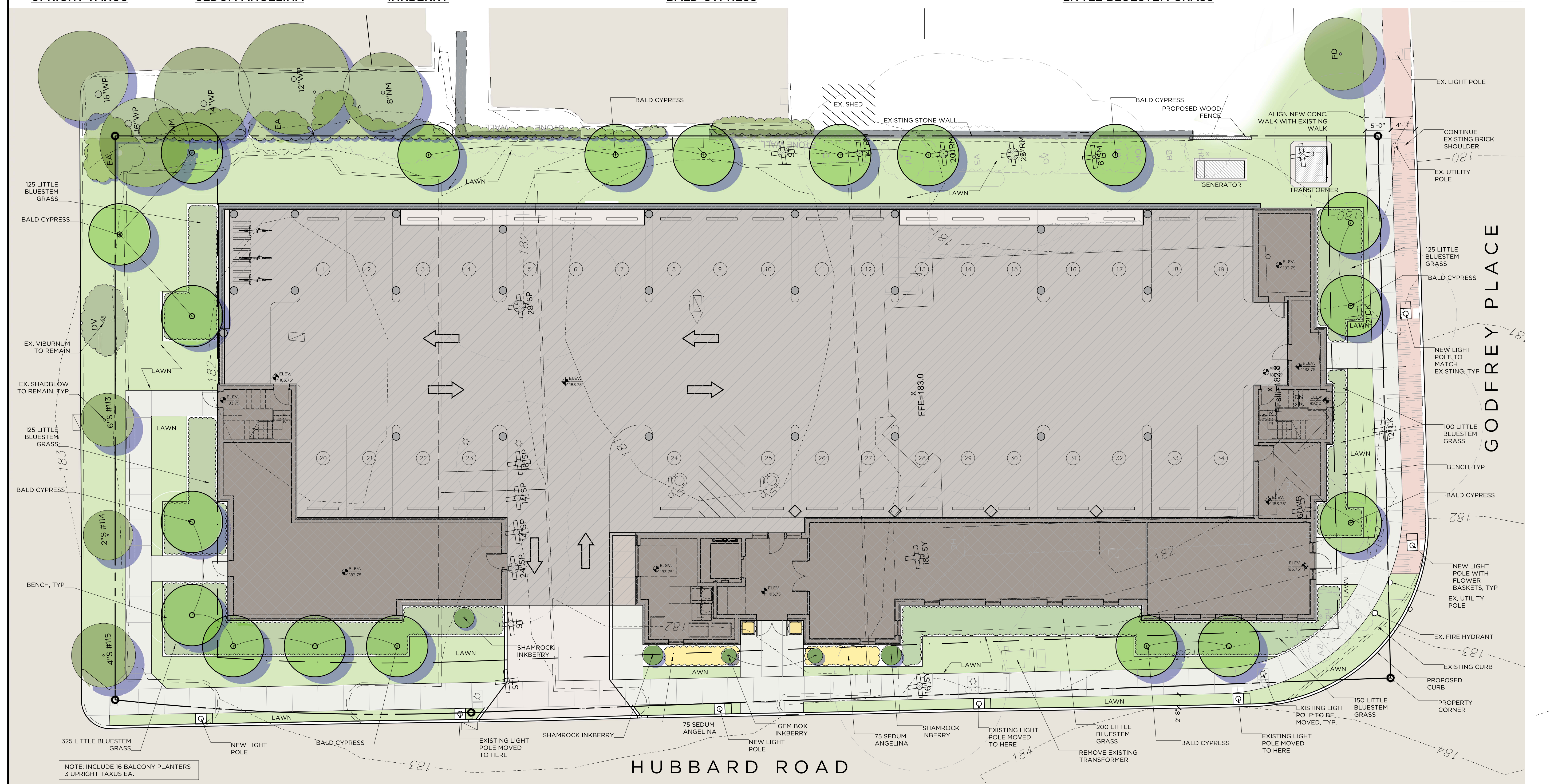
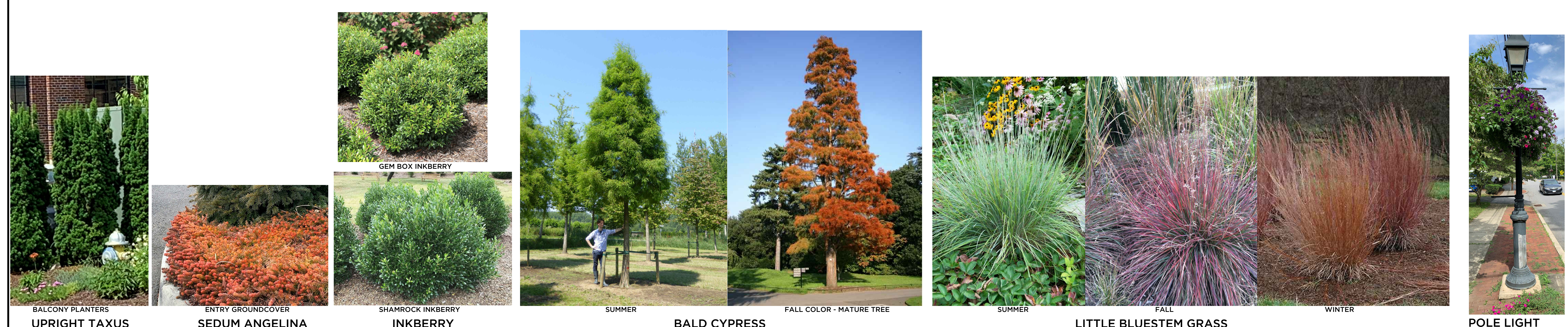
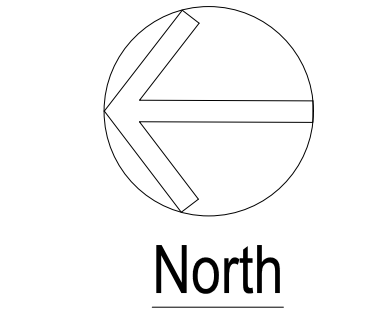
DRAWING NO.  
**T100**

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Map Date: 2023-2-12 2:12 pm File Path: \\granoff\projects\2023\Wilton Center Lofts\T100 COVER SHEET.dwg

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REVISIONS

#	DATE	REVISION DESCRIPTION	BY:
1	09.27.22	REVISED GENERATOR, TRANSFORMER	
2	12.20.22	REVISED - GENERATOR, AC, ADD'L TREES & PARK BENCHES, NATIVE PLANTS	
3	01.23.23	SUBMITTAL P&Z	
4	02.06.23	REVISED	

PHASE

**PROGRESS PRINT  
 NOT FOR CONSTRUCTION**

**09/09/2022**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: 22013  
 DRAWN BY: RB      PROJ. MANAGER: RG  
 DATE: **09.09.22**      SCALE: **1" = 10'**

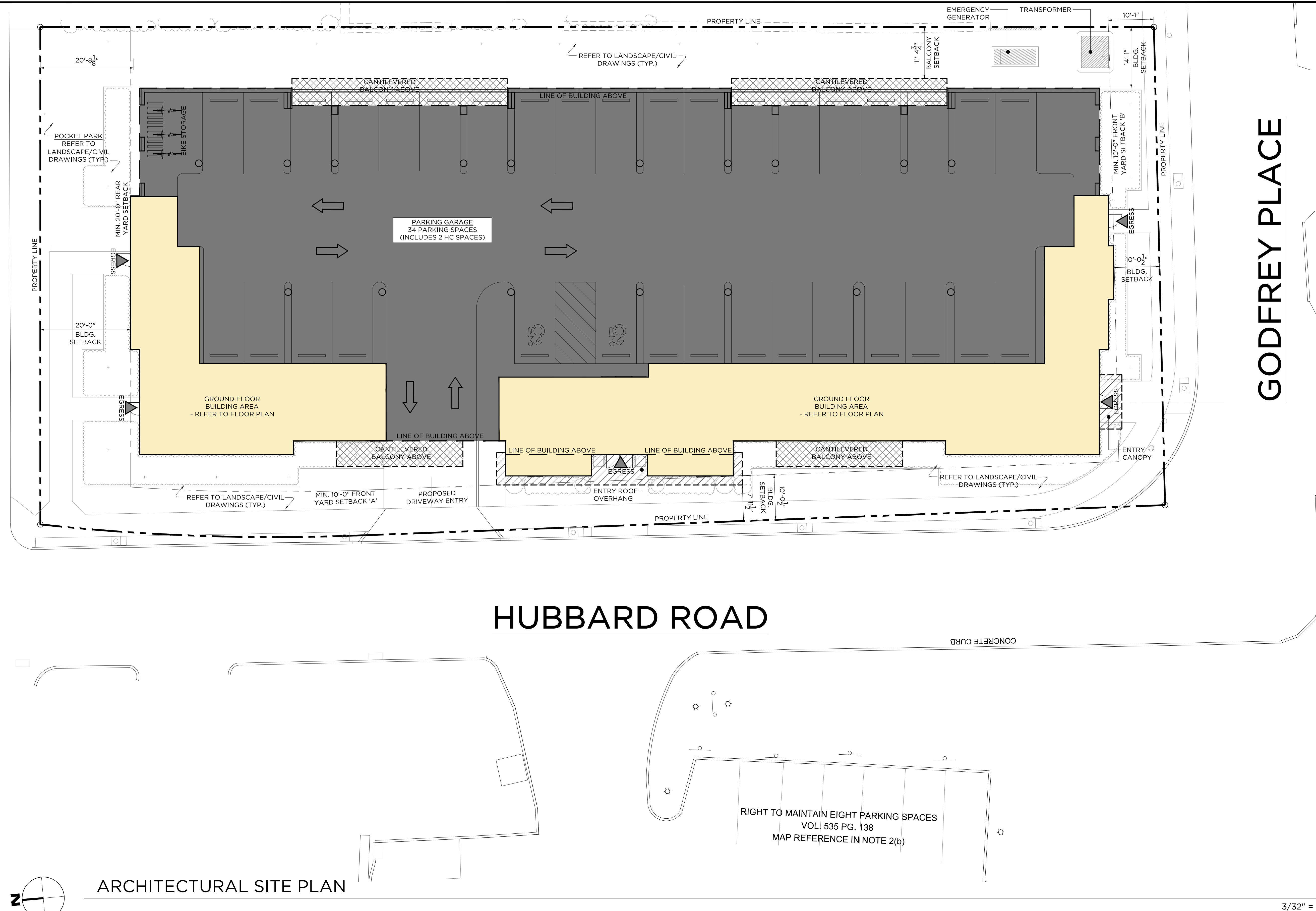
DRAWING TITLE:  
**LANDSCAPE PLAN**

DRAWING NO.  
**L100**

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LANDSCAPE ARCHITECT:  
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**HUBBARD ROAD**

**GODFREY PLACE**

ARCHITECTURAL SITE PLAN

3/32" = 1'-0"

**WILTON CENTER LOFTS BUILDING & ZONING INFORMATION**

WILTON CENTER LOFTS ZONING CHART		
ZONING DISTRICT: WC WILTON CENTER		
ITEM	REQUIRED	PROPOSED
FRONT YARD SETBACK 'A' (MIN./MAX.)	10' / 20'	10' - 0"
FRONT YARD SETBACK 'B' (MIN./MAX.)	10' / 20'	10' - 0"
SIDE YARD SETBACK	0' MIN.	11' - 0"
REAR YARD SETBACK	20' MIN.	20' - 0"
PARKING/LOADING SETBACK	0' MIN.	14' - 1"
BUILDING HEIGHT (STORIES/FEET)	3 STORIES/42' MIN.	5/62' - 5"
BUILDING COVERAGE (%)	30% MAX.	64%*
SITE COVERAGE (%)	80% MAX.	75%*
LOT SIZE	N/A	27,246 SF
LOT FRONTAGE	N/A	N/A
LOT WIDTH	N/A	N/A
FLOOR AREA RATION (F.A.R.)	0.5 MAX.	2.50

WILTON CENTER LOFTS FLOOR AREA CALCULATIONS			
FLOOR	NON-RENTABLE AREA (SF)	RENTABLE AREA (SF)	TOTAL GROSS FLOOR AREA (SF)
GROUND	3,954.0	661.0	4,615.0
FIRST	1,729.0	14,583.7	16,312.7
SECOND	1,729.0	14,583.7	16,312.7
THIRD	1,729.0	14,583.7	16,312.7
PENTHOUSE	1,722.5	12,826.5	14,549.0
<b>TOTAL</b>	<b>10,863.5</b>	<b>57,238.6</b>	<b>68,102.1</b>

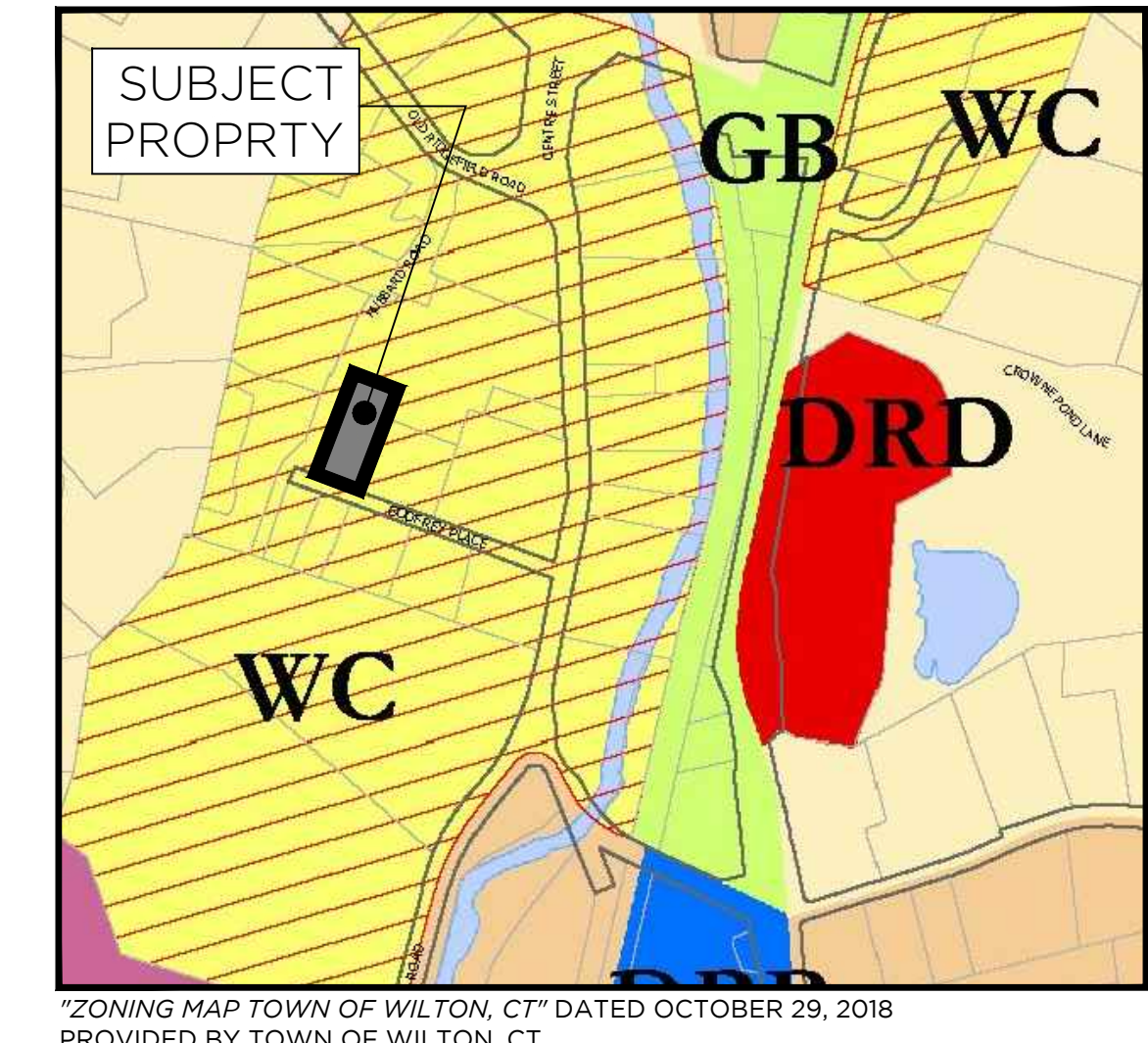
FLOOR AREA RATIO (F.A.R.) = TOTAL GROSS FLOOR AREA / LOT AREA  
 FLOOR AREA RATIO (F.A.R.) = 68,240.9 SF / 27,246.6 SF  
**FLOOR AREA RATIO (F.A.R.) = 2.50**

WILTON CENTER LOFTS UNIT MIX CHART						
UNIT TYPE	SF	QUANTITY				TOTAL
		1ST FLOOR	2ND FLOOR	3RD FLOOR	PENTHOUSE	
1BR-A	829.2	2	2	2	0	6
1BR-B (DEN)	921.3	2	2	2	0	6
1BR-C (DEN)	1,249.6	0	0	0	1	1
2BR-A	1,177.3	4	4	0	0	8
2BR-B (DEN)	1,474.4	1	1	1	0	3
2BR-C (DEN)	1,582.3	1	1	1	0	3
2BR-D (DUPLICATE)	1,465.8	0	0	4	0	4
2BR-E (DEN)	1,409.5	0	0	0	1	1
3BR-A (DUPLICATE)	2,330.5	0	0	4	0	4
3BR-B	1,504.1	0	0	0	2	2
3BR-C	1,658.4	2	2	0	0	4
<b>TOTAL</b>		<b>12</b>	<b>12</b>	<b>14</b>	<b>4</b>	<b>42</b>

PROPOSED AFFORDABLE DWELLING UNITS (8-30g)		
* MINIMUM 30% ADU'S REQUIRED (8-30g): (42) UNITS x 30% = (12.6) + (13) ADU'S + (13) ADU'S PROPOSED: SEE BELOW FOR ADU MIX		
UNIT TYPE	NUMBER OF PROPOSED ADU'S	80% MAX. MEDIAN INCOME
1BR-A	1	1
1BR-B (DEN)	1	1
1BR-C (DEN)	0	0
2BR-A	1	1
2BR-B (DEN)	1	0
2BR-C (DEN)	0	1
2BR-D (DUPLICATE)	1	1
2BR-E (DEN)	0	0
3BR-A (DUPLICATE)	1	1
3BR-B	1	0
3BR-C	0	0
<b>TOTAL: 13 UNITS</b>	<b>7</b>	<b>6</b>

NOTE: FINAL ADU MIX TO BE APPROVED BY AHJ.

UNIT TYPE			PARKING COUNT	
UNIT TYPE	TOTAL	PERCENT	LOCATION	COUNT
1BR	6	14.29%	ON-SITE	34*
1BR (DEN)	7	16.67%	OFF-SITE	8
2BR	8	19.05%	TOTAL	42
2BR (DEN)	7	16.67%	* INCLUDES (2) H.C. SPACES & (8) E.V. CHARGING STATIONS	
2BR (DUPLICATE)	4	9.52%	SPACES/UNIT	1.00
3BR	6	14.29%		
3BR (DUPLICATE)	4	9.52%		
<b>TOTAL</b>	<b>42</b>	<b>100.00%</b>		



ZONING MAP

SITE PLAN LEGEND	
[Yellow fill]	GROUND FLOOR BUILDING AREA
[Grey fill]	COVERED GARAGE AREA
[Cross-hatch pattern]	CANTILEVERED BALCONY ABOVE
[Diagonal lines pattern]	ENTRY ROOF OVERHANG/CANOPY ABOVE
[Triangle symbol]	BUILDING EGRESS EXIT POINT

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3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30g)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
 NOT FOR CONSTRUCTION

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: 22013  
 DRAWN BY: CC/GC PROJ. MANAGER: RG  
 DATE: 02/07/2023 SCALE: AS NOTED

DRAWING TITLE  
**ARCHITECTURAL SITE PLAN & ZONING INFORMATION**

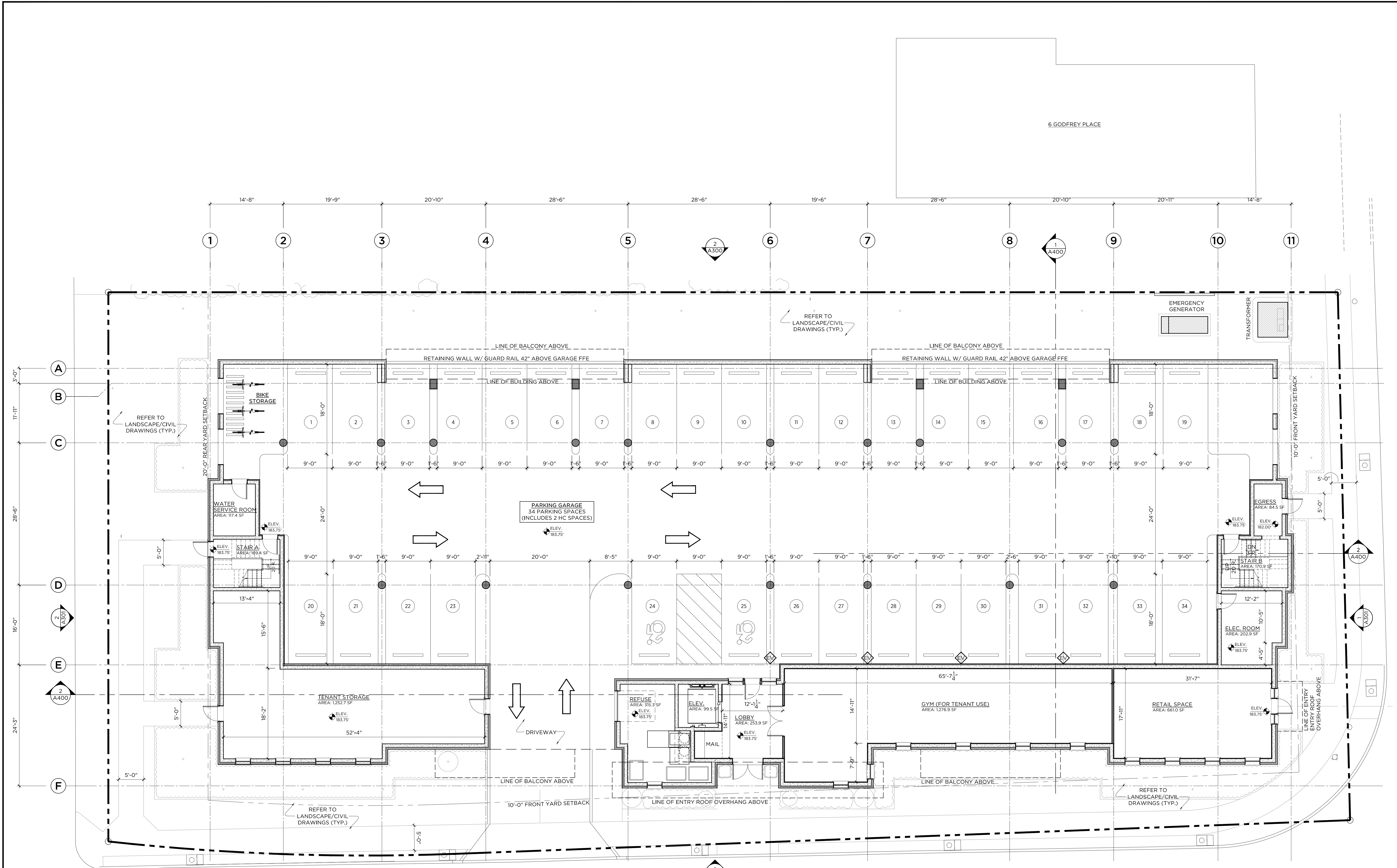
DRAWING NO.  
**AS100**

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GROUND LEVEL FLOOR PLAN

1/8" = 1'-0"

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3	01.23.2023	P&Z REVISIONS	CC
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PHASE  
**P&Z SUBMISSION (8-30G)**  
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PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: 22013  
 DRAWN BY: CC/GC PROJ. MANAGER: RG  
 DATE: 02/07/2023 SCALE: AS NOTED

DRAWING TITLE  
**GROUND FLOOR PLAN**

DRAWING NO.  
**A100**

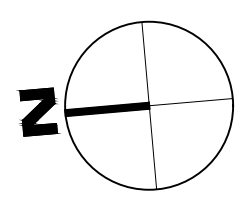
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TYPICAL FIRST & SECOND LEVEL FLOOR PLAN



PLAN LEGEND	
<span style="background-color: #c8e6c9; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	INDICATES ADU (8-30g) - REFER TO CHART ON SHEET AS100

1/8" = 1'-0"

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3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30g)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: 22013  
 DRAWN BY: CC/GC PROJ. MANAGER: RG  
 DATE: 02/07/2023 SCALE: AS NOTED

DRAWING TITLE  
**TYPICAL FIRST & SECOND FLOOR PLAN**

DRAWING NO.  
**A101**

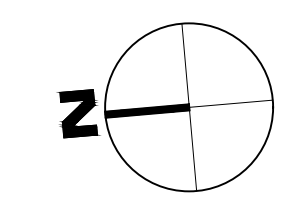
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**THIRD LEVEL FLOOR PLAN**



PLAN LEGEND	
	INDICATES ADU (8-30g)
	REFER TO CHART ON SHEET AS100

1/8" = 1'-0"

SUBMITTALS/REVISIONS			
#	DATE	DESCRIPTION	BY:
1	09.30.2022	P&Z SUBMISSION	CC
2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30g)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

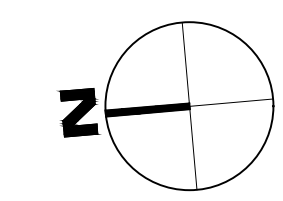
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DRAWING TITLE  
**THIRD FLOOR PLAN**

DRAWING NO.  
**A102**

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**PENTHOUSE LEVEL FLOOR PLAN**

PLAN LEGEND	
	INDICATES ADU (8-30g)
	REFER TO CHART ON SHEET AS100

1/8" = 1'-0"

SUBMITTALS/REVISIONS			
#	DATE	DESCRIPTION	BY:
1	09.30.2022	P&Z SUBMISSION	CC
2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30g)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: 22013  
 DRAWN BY: CC/GC PROJ. MANAGER: RG  
 DATE: 02/07/2023 SCALE: AS NOTED

DRAWING TITLE  
**PENTHOUSE FLOOR PLAN**

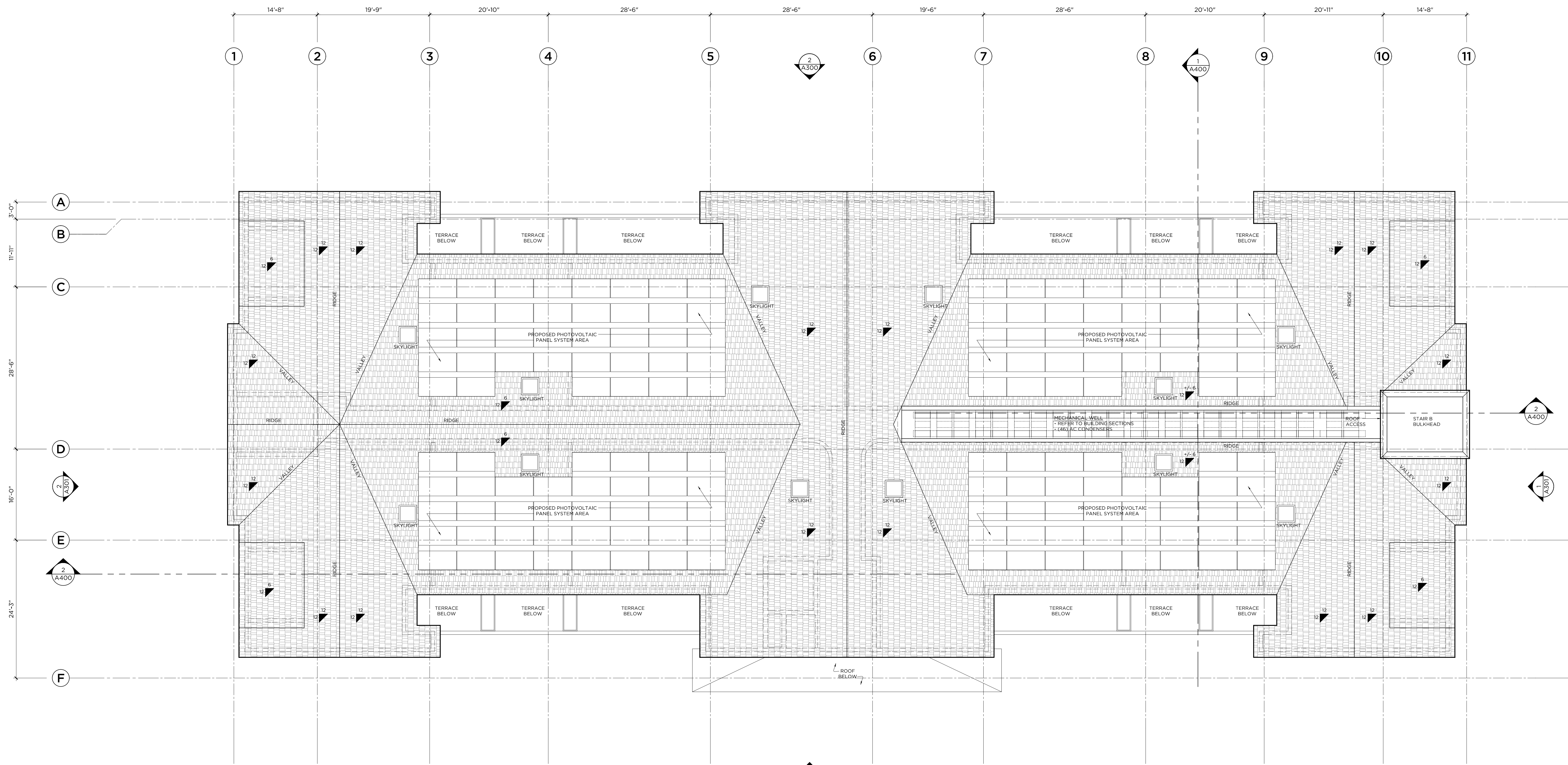
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**ROOF PLAN**

1/8" = 1'-0"

SUBMITTALS/REVISIONS

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2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
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PHASE  
**P&Z SUBMISSION (8-30G)**  
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PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
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JOB NO.: **22013**

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DATE: **02/07/2023** SCALE: AS NOTED

DRAWING TITLE  
**ROOF PLAN**

DRAWING NO.  
**A104**

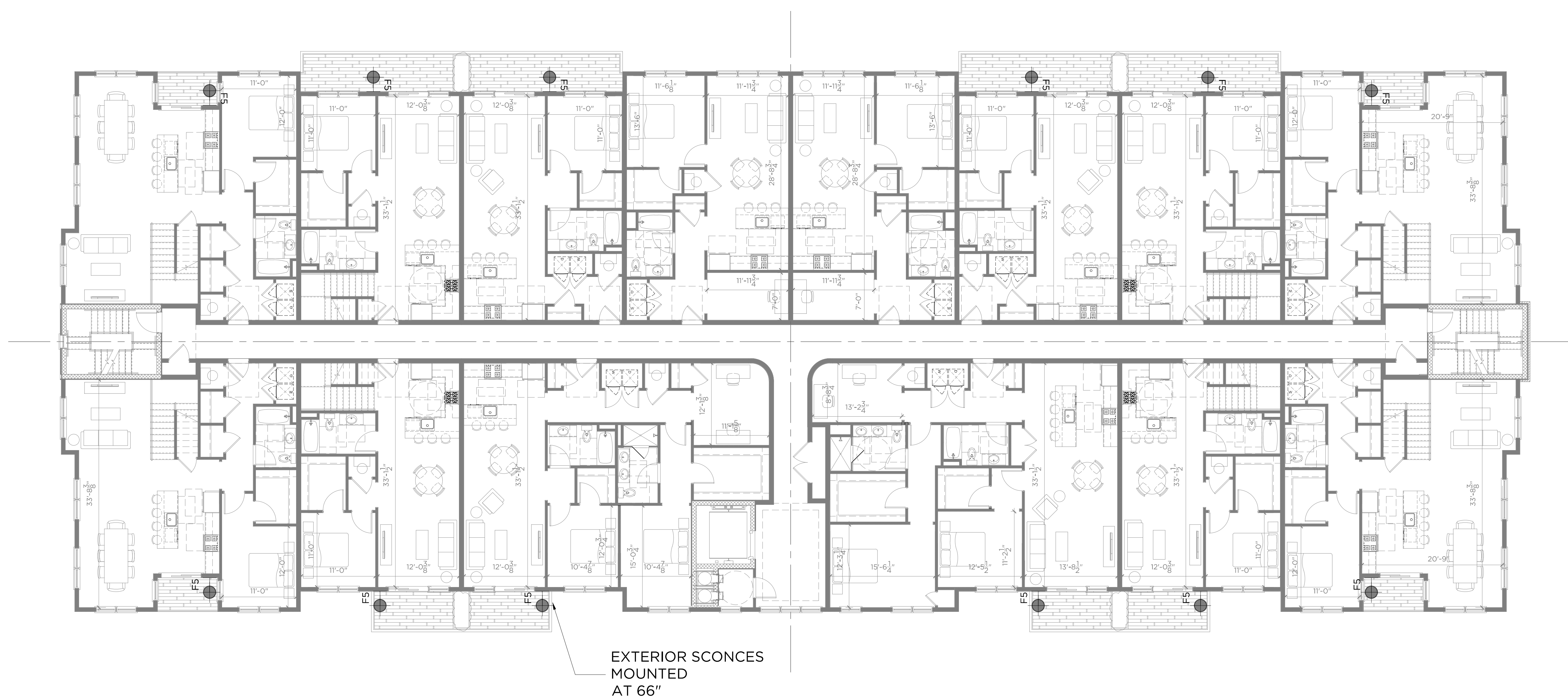
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Map 04\_2023\_12\_22\_08h11m-wilton\_P&Z\_Design Documents\01\_Architectural\Sheet Files\A104-PA-ANS.dwg



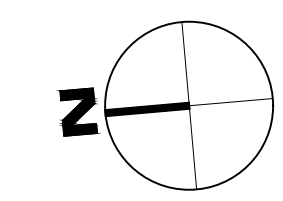
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**LIGHTING FIXTURE LEGEND**  
(FIXTURES AS SHOWN BY CASE - SEE MEP DRAWINGS FOR LOCATIONS)

KEY	TYPE	MODEL	REMARKS
1	EXTERIOR RECESSED 2X4 LED		
2	EXTERIOR DOWNLIGHT		
3	EXTERIOR DOWNLIGHT (ADJUSTABLE)		
4	EXTERIOR UP/DOWN WALL SCENE (LARGE)		
5	EXTERIOR UP/DOWN WALL SCENE (SMALL)		



**FIRST FLOOR EXTERIOR LIGHTING PLAN**

1/8" = 1'-0"

**SUBMITTALS/REVISIONS**

#	DATE	DESCRIPTION	BY:
1	09.30.2022	P&Z SUBMISSION	CC
2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30G)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: **22013**

DRAWN BY: **CC/GC** PROJ. MANAGER: **RG**

DATE: **02/07/2023** SCALE: AS NOTED

DRAWING TITLE  
**FIRST FLOOR EXTERIOR LIGHTING PLAN**

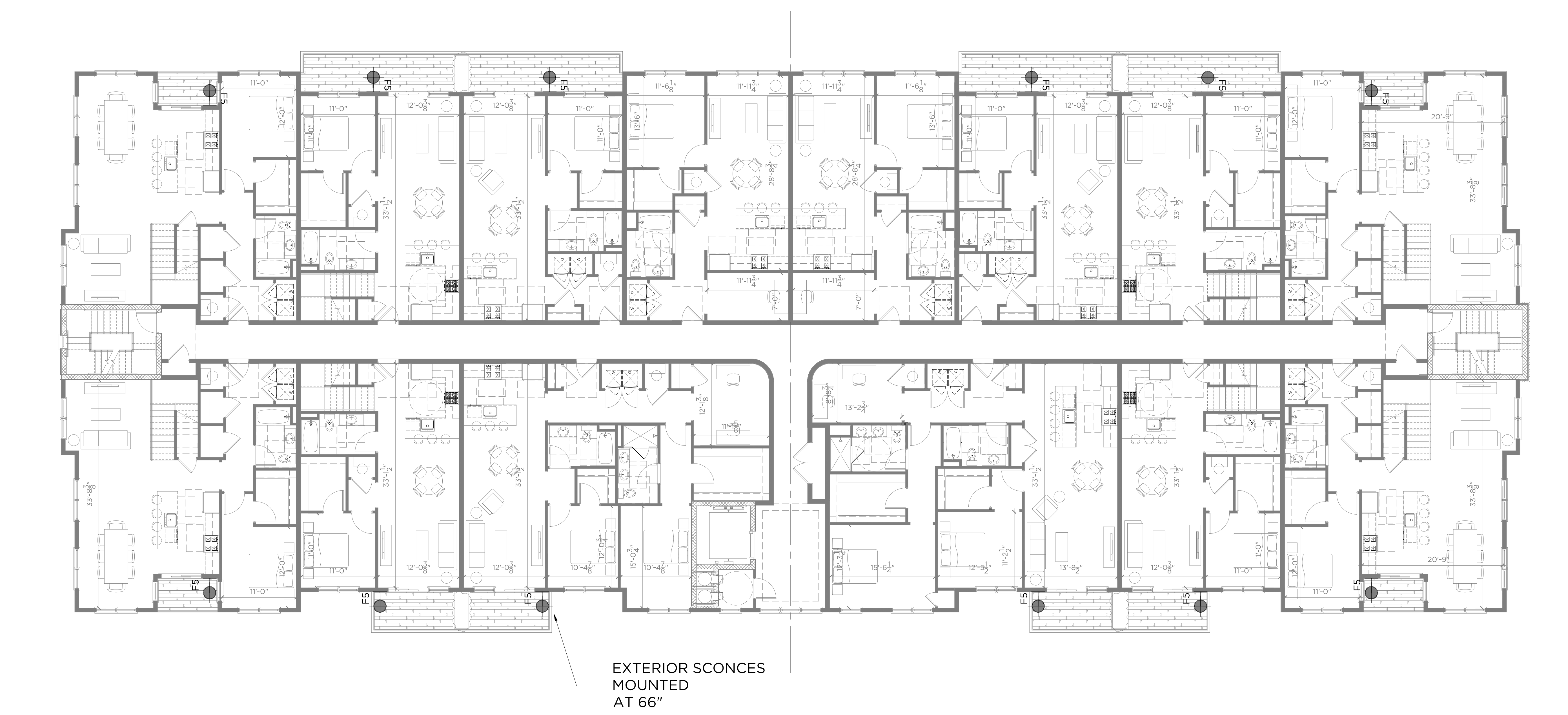
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Map 06\_2023\_2102\_20230105\_001\_001.dwg (2023/01/05 10:00:00 AM) - R:\Projects\2023\Wilton Center Lofts\2023\_01\_05\_10\_00\_00.dwg

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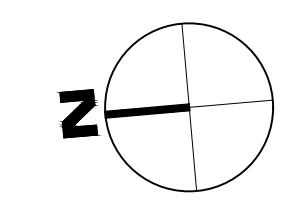
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EXTERIOR SCONES  
 MOUNTED  
 AT 66"

**LIGHTING FIXTURE LEGEND**  
(FIXTURES AS SHOWN BY CODE - SEE NOT DRAWING FOR LOCATIONS)

KEY	TYPE	MODEL	REMARKS
1	EXTERIOR RECESSED 2X4 LED		
2	EXTERIOR DOWNLIGHT		
3	EXTERIOR DOWNLIGHT (ADJUSTABLE)		
4	EXTERIOR UP/DOWN WALL SCENE (LARGE)		
5	EXTERIOR UP/DOWN WALL SCENE (SMALL)		



**SECOND FLOOR EXTERIOR LIGHTING PLAN**

1/8" = 1'-0"

**SUBMITTALS/REVISIONS**

#	DATE	DESCRIPTION	BY:
1	09.30.2022	P&Z SUBMISSION	CC
2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30g)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: **22013**

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DATE: **02/07/2023** SCALE: AS NOTED

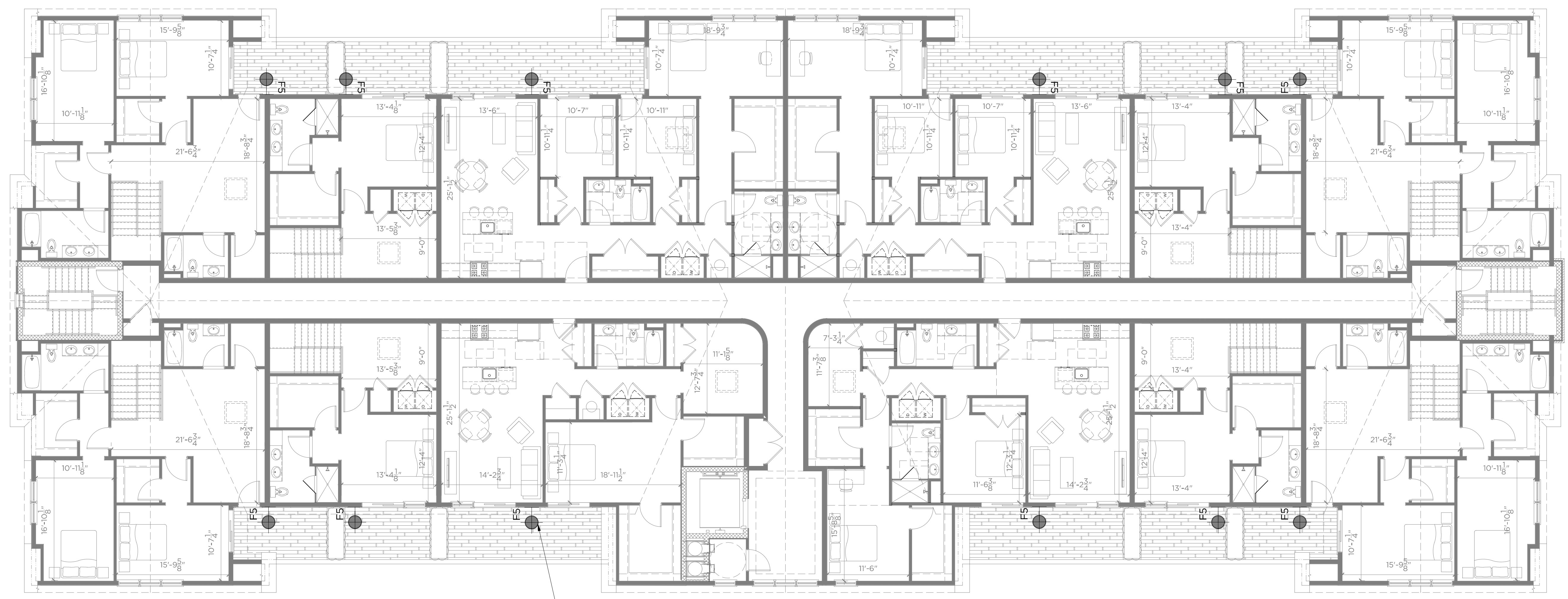
DRAWING TITLE  
**SECOND FLOOR EXTERIOR LIGHTING PLAN**

DRAWING NO.

**A202**

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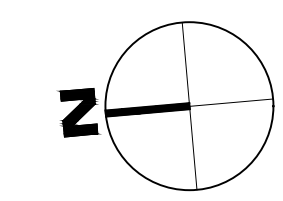
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 GREENWICH, CT 06830  
 (203) 625-9460 ext. 16  
 rb@granoffarchitects.com



EXTERIOR SCANCES  
 MOUNTED  
 AT 66"

**LIGHTING FIXTURE LEGEND**  
(FOR USE AS SHOWN UNLESS NOTED OTHERWISE)

KEY	TYPE	MODEL	REMARKS
⬇️	EXTERIOR RECESSED JIB LED		
⊙	EXTERIOR DOWNLIGHT		
⊙	EXTERIOR DOWNLIGHT (ADJUSTABLE)		
⊙	EXTERIOR UPDOWN WALL SCIENCE GUARD		
⊙	EXTERIOR UPDOWN WALL SCIENCE GRILLAY		



**PENTHOUSE EXTERIOR LIGHTING PLAN**

1/8" = 1'-0"

**SUBMITTALS/REVISIONS**

#	DATE	DESCRIPTION	BY:
1	09.30.2022	P&Z SUBMISSION	CC
2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30g)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: **22013**  
 DRAWN BY: **CC/GC** PROJ. MANAGER: **RG**  
 DATE: **02/07/2023** SCALE: AS NOTED

DRAWING TITLE  
**THIRD FLOOR EXTERIOR LIGHTING PLAN**

DRAWING NO.  
**A203**

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Map 02\_2023\_212 penthouse exterior lighting plan.dwg

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1 WEST ELEVATION (FRONT 'A')

1/8"=1'-0"



2 EAST ELEVATION (SIDE)

1/8"=1'-0"

**EXTERIOR MATERIALS LEGEND**

ITEM #	COMPONENT	MATERIAL AND FINISH	NOTES
1	METAL ROOFING	ASPHALT SHINGLE ROOF	CHARCOAL
2	HALF ROUND GUTTER SYSTEM	HALF ROUND GUTTER W/ DOWNSPOUTS - PAINTED WHITE TO MATCH TRIM	
3	1x FASCIA BOARD	1x POLY ASH (BORAL 'TRUEXTERIOR' OR SIM.) FASCIA BOARD - PAINTED (COLOR - T.B.D.)	
4	12" FRIEZE BOARD	1x POLY ASH (BORAL 'TRUEXTERIOR' OR SIM.) FASCIA BOARD - PAINTED (COLOR - T.B.D.)	
5	POLY ASH NICKEL GAP SIDING	PREFINISHED (TRUEXTERIOR OR APPROVED EQ.) W/ 7" EXPOSURE (COLOR: T.B.D.)-VERTICAL	WHITE- VERTICAL ORIENTATION
6	POLY ASH NICKEL GAP SIDING	PREFINISHED (TRUEXTERIOR OR APPROVED EQ.) W/ 7" EXPOSURE (COLOR: T.B.D.)-HORIZONTAL	WHITE- HORIZONTAL ORIENTATION
7	TRANSITION TRIM	3/4x6 POLY ASH TRIM BOARD (BORAL 'TRUEXTERIOR' OR SIM.) - PAINTED (COLOR - T.B.D.)	
8	WINDOW TRIM	3/4x6 POLY ASH TRIM BOARD (BORAL 'TRUEXTERIOR' OR SIM.) - PAINTED (COLOR - T.B.D.)	
9	POLY ASH RAILING SYSTEM	RAILING SYSTEM (BORAL 'TRUEXTERIOR' OR SIM.) - PAINTED (COLOR - T.B.D.)	
10	5 1/2" CORNER TRIM BOARD	POLY ASH TRIM BOARD (BORAL 'TRUEXTERIOR' OR SIM.) - PAINTED (COLOR - T.B.D.)	
11	18" WATERABLE TRIM BOARD	1x POLY ASH (BORAL 'TRUEXTERIOR' OR SIM.) FASCIA BOARD - PAINTED (COLOR - T.B.D.)	
12	SLOPED MASONRY CAP	CAST-STONE MASONRY	
13	CONCRETE BASE	STUCCO/CEMENT PARGE	GREY
14	ALUMN. RAILING SYSTEM HORIZ.		
15	POLY ASH BRACKETS		
16	POLYASH V-GROOVE SOFFIT	PREFINISHED (TRUEXTERIOR OR APPROVED EQ.) POLYASH BEADBOARD V-GROOVE SOFFIT	
17	METAL CHIMNEY CAP		
18	EXT. WALL SCONCE 4"	RECTANGULAR EXTERIOR WALL SCONCE SEE LIGHTING PLAN FOR DETAILS	GREY
19	EXT. WALL SCONCE 6"	RECTANGULAR EXTERIOR WALL SCONCE SEE LIGHTING PLAN FOR DETAILS	GREY

SUBMITTALS/REVISIONS

#	DATE	DESCRIPTION	BY:
1	09.30.2022	P&Z SUBMISSION	CC
2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30g)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: **22013**

DRAWN BY: **CC/GC** PROJ. MANAGER: **RG**

DATE: **02/07/2023** SCALE: AS NOTED

DRAWING TITLE  
**WEST & EAST ELEVATION**

DRAWING NO.

**A300**

CONSULTANTS  
 CIVIL ENGINEER:  
**REDNISS & MEAD**  
 22 FIRST STREET  
 STAMFORD, CT 06905  
 (203) 327-0500 ext. 15174  
 p.shurr@rednissmead.com

LANDSCAPE ARCHITECT:  
**GRANOFF ARCHITECTS**  
 330 RAILROAD AVENUE  
 GREENWICH, CT 06830  
 (203) 625-9460 ext. 16  
 rb@granoffarchitects.com



1 SOUTH ELEVATION (FRONT 'B')

1/8"=1'-0"



2 NORTH ELEVATION (REAR)

1/8"=1'-0"

**EXTERIOR MATERIALS LEGEND**

ITEM #	COMPONENT	MATERIAL AND FINISH	NOTES
1	METAL ROOFING	ASPHALT SHINGLE ROOF	CHARCOAL
2	HALF ROUND GUTTER SYSTEM	HALF ROUND GUTTER W/ DOWNSPOUTS - PAINTED WHITE TO MATCH TRIM	
3	1x FASCIA BOARD	1x POLY ASH (BORAL 'TRUEXTERIOR' OR SIM.) FASCIA BOARD - PAINTED (COLOR - T.B.D.)	
4	12" FRIEZE BOARD	1x POLY ASH (BORAL 'TRUEXTERIOR' OR SIM.) FASCIA BOARD - PAINTED (COLOR - T.B.D.)	
5	POLY ASH NICKEL GAP SIDING	PREFINISHED (TRUEXTERIOR OR APPROVED EQ.) W/ 7" EXPOSURE (COLOR: T.B.D.)-VERTICAL	WHITE- VERTICAL ORIENTATION
6	POLY ASH NICKEL GAP SIDING	PREFINISHED (TRUEXTERIOR OR APPROVED EQ.) W/ 7" EXPOSURE (COLOR: T.B.D.)-HORIZONTAL	WHITE- HORIZONTAL ORIENTATION
7	TRANSITION TRIM	3/4x6 POLY ASH TRIM BOARD (BORAL 'TRUEXTERIOR' OR SIM.) - PAINTED (COLOR - T.B.D.)	
8	WINDOW TRIM	3/4x6 POLY ASH TRIM BOARD (BORAL 'TRUEXTERIOR' OR SIM.) - PAINTED (COLOR - T.B.D.)	
9	POLY ASH RAILING SYSTEM	RAILING SYSTEM (BORAL 'TRUEXTERIOR' OR SIM.) - PAINTED (COLOR - T.B.D.)	
10	5 1/2" CORNER TRIM BOARD	POLY ASH TRIM BOARD (BORAL 'TRUEXTERIOR' OR SIM.) - PAINTED (COLOR - T.B.D.)	
11	18" WATERABLE TRIM BOARD	1x POLY ASH (BORAL 'TRUEXTERIOR' OR SIM.) FASCIA BOARD - PAINTED (COLOR - T.B.D.)	
12	SLOPED MASONRY CAP	CAST-STONE MASONRY	
13	CONCRETE BASE	STUCCO/CEMENT PARGE	GREY
14	ALUMN. RAILING SYSTEM HORIZ.		
15	POLY ASH BRACKETS		
16	POLYASH V-GROOVE SOFFIT	PREFINISHED (TRUEXTERIOR OR APPROVED EQ.) POLYASH BEADBOARD V-GROOVE SOFFIT	
17	METAL CHIMNEY CAP		
18	EXT. WALL SCONCE 4"	RECTANGULAR EXTERIOR WALL SCONCE SEE LIGHTING PLAN FOR DETAILS	GREY
19	EXT. WALL SCONCE 6"	RECTANGULAR EXTERIOR WALL SCONCE SEE LIGHTING PLAN FOR DETAILS	GREY

SUBMITTALS/REVISIONS

#	DATE	DESCRIPTION	BY:
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2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30g)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: 22013

DRAWN BY: CC/GC PROJ. MANAGER: RG

DATE: 02/07/2023 SCALE: AS NOTED

DRAWING TITLE

**SOUTH & NORTH ELEVATIONS**

DRAWING NO.

**A301**

CONSULTANTS  
 CIVIL ENGINEER:  
**REDNISS & MEAD**  
 22 FIRST STREET  
 STAMFORD, CT 06905  
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 p.shurr@rednissmead.com  
 LANDSCAPE ARCHITECT:  
**GRANOFF ARCHITECTS**  
 330 RAILROAD AVENUE  
 GREENWICH, CT 06830  
 (203) 625-9460 ext. 16  
 rb@granoffarchitects.com



■ RENDERING-WEST ELEVATION



■ RENDERING-MAIN ENTRY WEST ELEVATION

SUBMITTALS/REVISIONS			
#	DATE	DESCRIPTION	BY:
1	09.30.2022	P&Z SUBMISSION	CC
2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30G)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: **22013**

DRAWN BY: **CC/GC** PROJ. MANAGER: **RG**

DATE: **02/07/2023** SCALE: AS NOTED

DRAWING TITLE  
**EXTERIOR RENDERINGS**

DRAWING NO.

**A302**



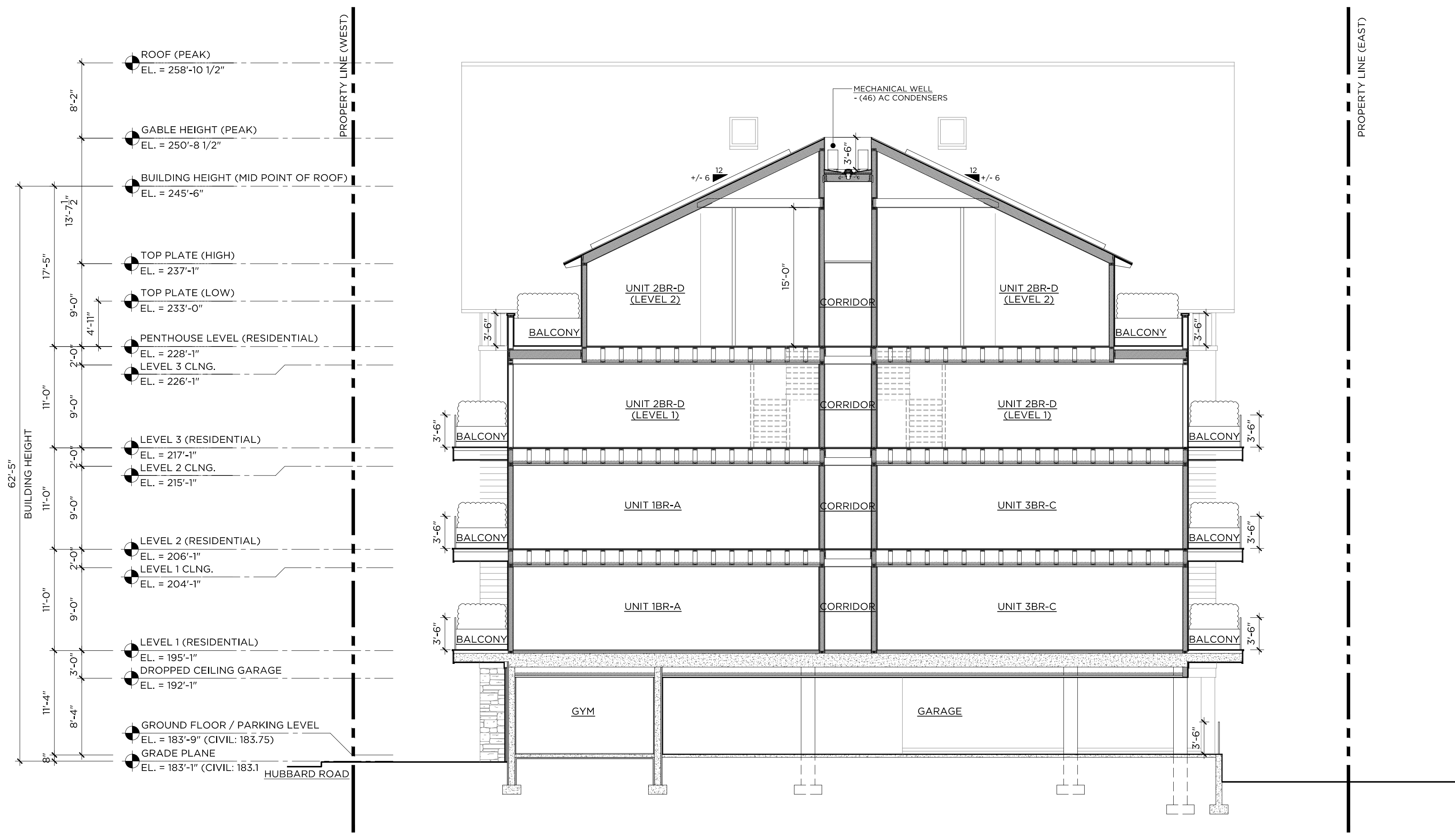






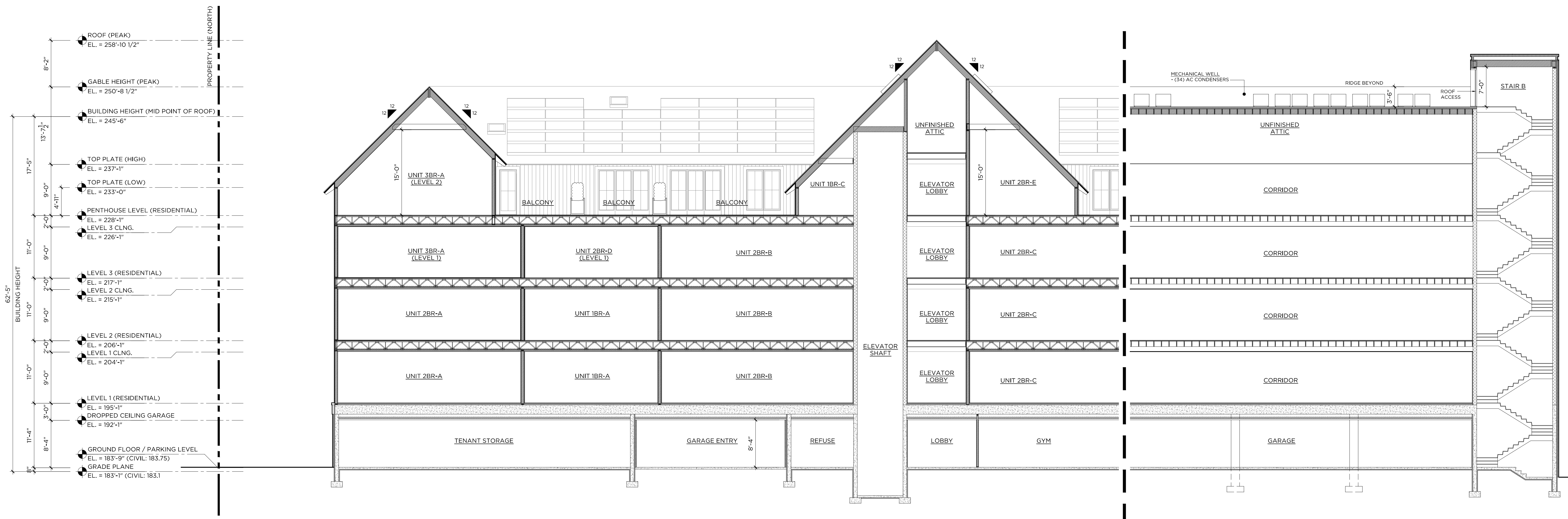
CONSULTANTS  
 CIVIL ENGINEER:  
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 22 FIRST STREET  
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LANDSCAPE ARCHITECT:  
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 GREENWICH, CT 06830  
 (203) 625-9460 ext. 15  
 rb@granoffarchitects.com



**1** BUILDING SECTION A

1/8"=1'-0"



**2** BUILDING SECTION B

1/8"=1'-0"

SUBMITTALS/REVISIONS			
#	DATE	DESCRIPTION	BY:
1	09.30.2022	P&Z SUBMISSION	CC
2	12.27.2022	P&Z REVISIONS	CC
3	01.23.2023	P&Z REVISIONS	CC
4	02.07.2023	P&Z SUBMISSION (8-30g)	CC

PHASE  
**P&Z SUBMISSION (8-30G)**  
**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**WILTON CENTER LOFTS**

PROJECT ADDRESS:  
 12 GODFREY PLACE  
 WILTON, CT 06897

JOB NO.: 22013  
 DRAWN BY: CC/GC PROJ. MANAGER: RG  
 DATE: 02/07/2023 SCALE: AS NOTED

DRAWING TITLE  
**BUILDING SECTIONS**

DRAWING NO.  
**A400**

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EXTERIOR SCONCES  
MOUNTED  
AT 72"

DOWNLIGHTS MOUNTED  
AT +/- 10'-6"

Reflectances:  
Ceiling: 80%  
Walls: 50%  
Floor: 20%

Qty	Label	Watts	Arrangement	LF	Description
3	F2	13.3	Single	0.810	Lighthouse T3RF-T-01-00-GSL-860-30-8014-x-x Recessed in Ceiling
8	F4	6	Single	0.900	Design Plan BR40062-0-1-L-x BOF # 6PT AFG
60	F1	25.06	Single	0.900	Columbia CFP22-40_33_2835 (2800) Recessed in Ceiling

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Height
Exterior Calc	Fc	0.89	15.2	0.0	N.A.	N.A.	0
Garage Floor	Fc	13.32	20.4	1.6	8.33	12.75	0

Project:  
12 Godfrey

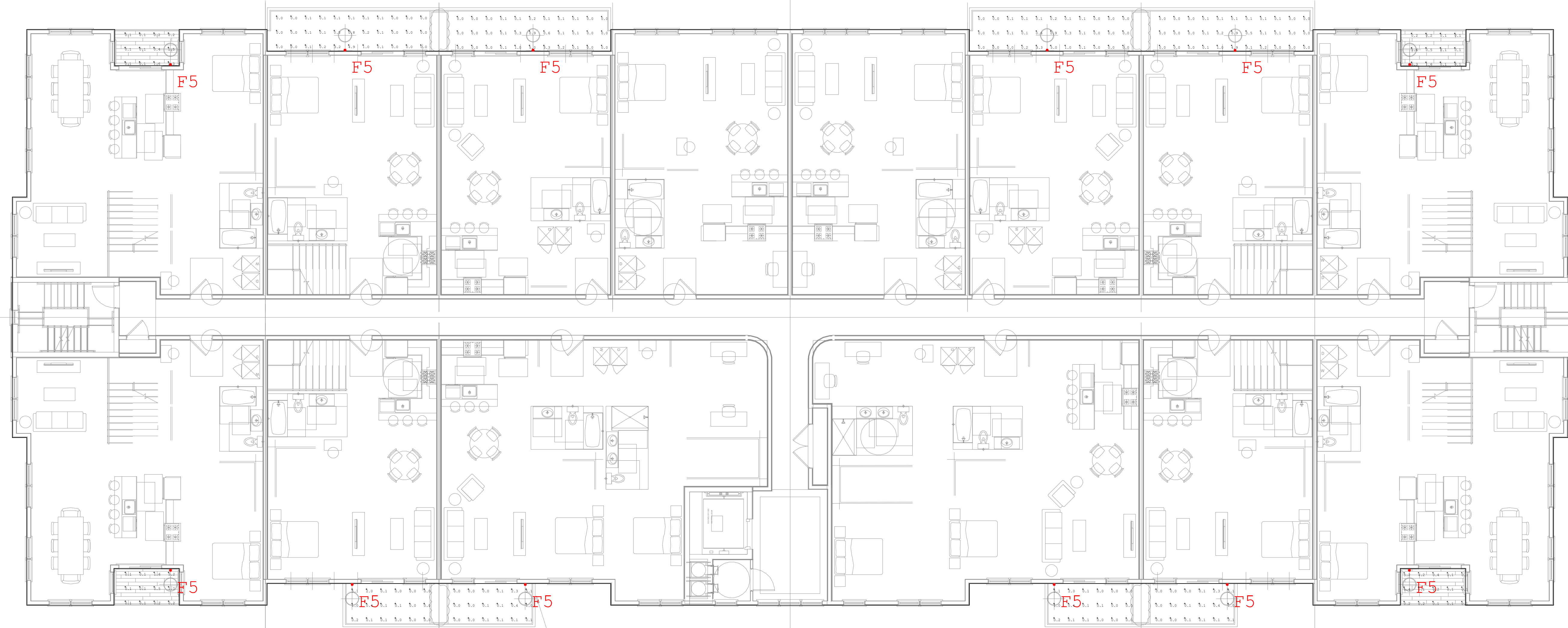
Contact:  
Cliff Gilbert  
Specifications - Southern CT  
(203) 788-0814  
cgilbert@illuminate.com

Detail: Photometric Calculation  
Date: 10/3/2022  
Revision: ---  
Scale: 1/8" = 1'-0"  
Drawn By: CK

Drawing Number:  
**L-1**

illuminate  
263 Winn Street  
Burlington, MA 01803  
(781) 935-8500  
333 Pleasant Valley Road  
South Windsor, CT 06074  
(860) 282-0597

Sheet 1 of 1



EXTERIOR SCONCES  
MOUNTED  
AT 66"

Luminaire Schedule				
Qty	Label	Watts	Arrangement	Description
12	F5	2	Single	0.900 Design Plan BR20022-5-L-L-W BOP @ 5FT 6IN AFF

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Balconies	Fc	0.51	5.3	0.0	N.A.	N.A.

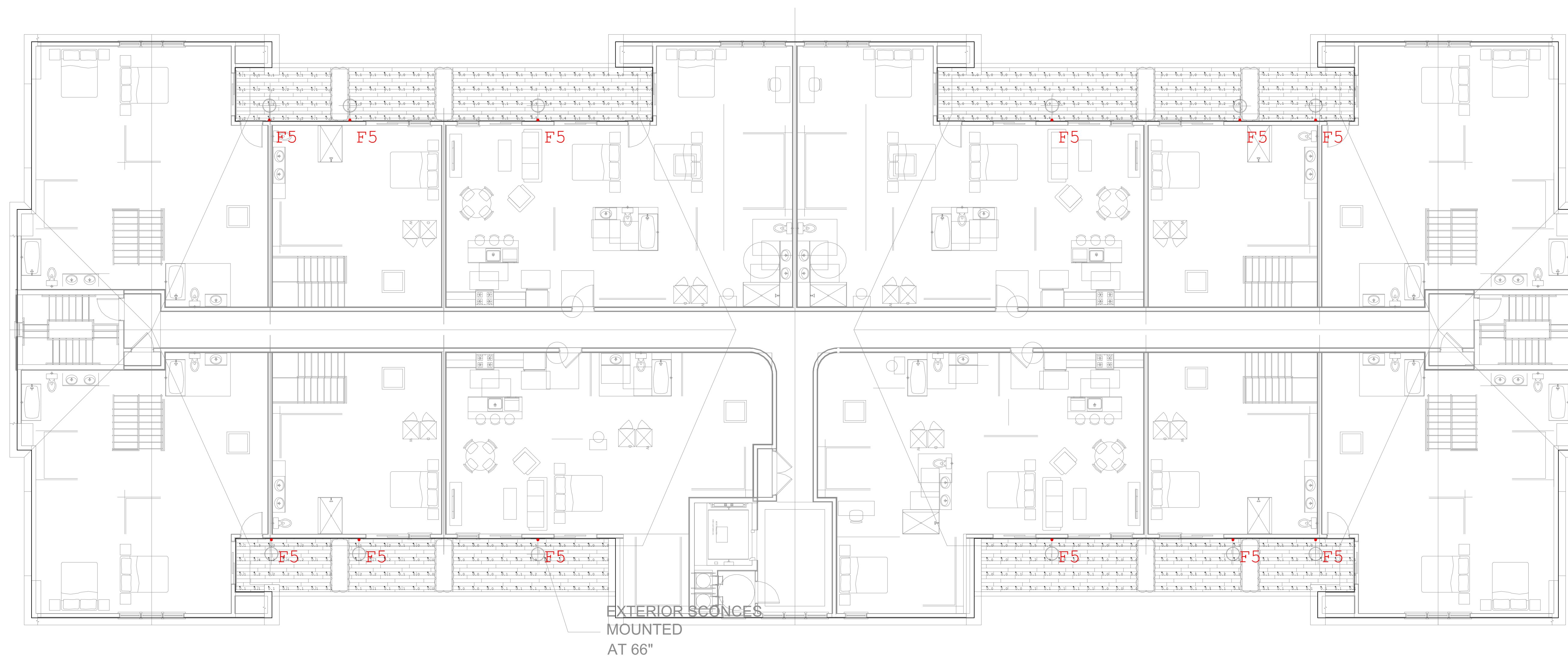
Project:  
12 Godfrey

Contact:  
Cliff Gilbert  
Specifications - Southern CT  
(203) 788-0814  
cgilbert@illuminate.com

Detail: Photometric Calculation  
Date: 10/3/2022  
Revision: ---  
Scale: 1/8" = 1'-0"  
Drawn By: CK

**illuminate**  
263 Winn Street  
Burlington, MA 01803  
(781) 935-8500  
333 Pleasant Valley Road  
South Windsor, CT 06074  
(860) 282-0597

Drawing Number:  
**L-2**  
Sheet 1 of 1




Luminaire Schedule				
Qty	Label	Watts	Arrangement	Description
12	F5	2	Single	0.900 Design Plan BR20022-S-1-L-K BOF 8 5FP 6IN APF

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Balconies	#	0.37	0.2	0.0	N.A.	N.A.

EXTERIOR SCONCES  
MOUNTED  
AT 66"

Project: 12 Godfrey		Detail: Photometric Calculation	
Contact: Cliff Gilbert Specifications - Southern CT (203) 788-0814 cgilbert@illuminate.com	Date: 10/3/2022 Revision: --- Scale: 1/8" = 1'-0" Drawn By: CK	Drawing Number:  <b>L-3</b>  Sheet 1 of 1	
 263 Winn Street Burlington, MA 01803 (781) 935-8500 333 Pleasant Valley Road South Windsor, CT 06074 (860) 282-0597			