

February 9, 2022

Richard Tomasetti, Chairman
Wilton Planning & Zoning Commission
Town Annex
238 Danbury Road
Wilton, CT 06897

RE: **210 Danbury Road – Request for Conditional Zoning Compliance Certificate**

Dear Chairman Tomasetti,

On behalf of our client, Global Partners, LP, we are requesting that the Planning and Zoning Commission approve a bond and issuance of a Conditional Zoning Compliance Certificate in order that we may reopen the service station and convenience store at 210 Danbury Road. There are five items that will need to be bonded.

1. Final Paving

Due to the cold weather, applying the HMA would not meet the specifications for a final installation and result in a drastically reduced lifespan. Therefore we propose to place the HMA base course and return to the site and complete the final paving once the local asphalt plants open for the year but in no case later than May 1, 2022.

2. Final Parking lot striping

Final striping of the parking lot cannot be completed until the permanent pavement is installed. The final striping will be completed as soon as the permanent pavement is installed but in no case later than May 1, 2022

3. Concrete sidewalk in right of way

The sidewalk will be completed when the ground has thawed, and the weather is sufficiently temperate to allow us to meet DOT specifications but in no case will it be delayed beyond May 1, 2022.

4. The required landscaping – 6 additional Japanese Holly bushes

We are unable to procure the required plants at this time. We propose to return and complete the additional planting as soon as the nurseries have their new spring stock in place but in no case later than May 1, 2020.

5. As-built final survey

The final survey cannot be completed until all the above items are complete. We propose to provide the final survey within two weeks of completion of all above items but in no case will it be delayed beyond May 15, 2022.

The following is a checklist of completed items from Special Permit SP 450 which were identified as incomplete and which we were required by the conditions of our Special Permit #485 to complete.

- Munion bars to be installed in glazing on storefront - **completed**
- Awning to be removed from side of building - **completed**
- Windows below awning to be infilled with brick - **completed**
- Vacuum and concrete island for same to be removed - **completed**
- Firewood for sale to be removed - **completed**
- Non-conforming signage to be removed - **completed**
- Propane tank exchange to be removed from site (bulk tanks for heating to remain) - **completed**
- Sidewalk to be installed in right of way (per plans from SP#485) – **to be bonded**
- Dumpster enclosure with concrete pad to be installed and dumpsters located within enclosure - **completed**
- Trailers behind building to be removed and building wall restored - **completed**
- HVAC equipment to be relocated to be code compliant - **completed**
- Line striping for parking and directional arrows to be implemented per approved plan (plan from SP#485) Line striping and directional arrows will be completed by February 14.
Restriping after final pavement is complete to be bonded
- Handicap ramp and sidewalk in front of store to be installed per approved plan (plan from SP#485) – **completed**
- Broken/missing pavement on entire site to be repaired. Temporary repairs will be completed prior to February 14. **Final pavement overlay for entire site to be bonded**
- Landscaping not completed, six additional plants required – **to be bonded**

Completed items from SP#485

All conditions of SP#485 have been completed except for Conditions 8, 9, and 10 as listed below

Remaining items from SP#485

- Condition 8. Prior to the issuance of a zoning compliance certificate, the applicant shall submit an as-built survey. **To be bonded**
- Condition 9. Prior to the issuance of a zoning compliance certificate the applicant shall submit a letter from the project engineer verifying conformance with the approved engineering plans and the approved Spill Protection, Control and Containment Plan. **To be completed prior to issuance of Conditional Zoning Compliance Certificate**
- Condition 10. All site improvements and conditions of approval, required in Special Permit #450, shall be installed according to the approved plans, prior to the issuance of a Certificate of Zoning Compliance. **Please refer to checklist above.**



In summary on behalf of our client, Global Partners, LP, we feel that the requested items for bonding accompanied with the completed work performed ensure that items remaining will be completed before the May 1, 2022 date as specified in the response. We are requesting that the Planning and Zoning Commission approve the bond and issuance of a Conditional Zoning Compliance Certificate in order that we may reopen the service station and convenience store at 210 Danbury Road. If you have any questions or concerns with our correspondence or supplemental materials please don't hesitate to contact me directly.

Very truly yours,

Alfred Benesch & Co.

A handwritten signature in blue ink, appearing to read "R. Scrittorale".

Ryan Scrittorale, P.E.
Project Manager



Alfred Benesch & Company
120 Hebron Avenue, Floor 2
Glastonbury, CT 06033
www.benesch.com
P 860-633-8341

February 4, 2022

Daphne White, Assistant Town Planner
Town Annex
238 Danbury Road
Wilton, CT 06897

RE: **Draft Bond Estimate for 210 Danbury Road**

Dear Ms. White:

Here is our estimate for the remaining scope of work as listed in our response to your comments from your email of 02.03.2022.

Provide final paving and pavement markings to include entire site overlay and restripe	\$38,755.00
Install 5' concrete sidewalk per DOT approved plan	\$8,150.00
Furnish and install remaining landscaping including 6 Japanese Holly 5'-6' per approved plan	\$3,500.00
Provide final as-built survey after completion of bonded work	\$2,000.00
Subtotal	\$50,405.00
Contingency (10%)	\$5,040.50
BOND TOTAL	\$55,445.50

Very truly yours,

Alfred Benesch & Co

Ryan Scrittorale, P.E.

PLANNING & ZONING
DEPARTMENT
Telephone (203) 563-0185
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TOWN HALL ANNEX
238 Danbury Road
Wilton, Connecticut 06897

RESOLUTION #1221-485SP
December 13, 2021

WHEREAS, the Wilton Planning and Zoning Commission received a special permit application (**SP #485**) from Global Partners LP, applicant to replace existing two underground gasoline tanks with two larger underground tanks within an Aquifer Protection Zone, under Section 29-9.D.5., for property located at 210 Danbury Road, in a General Business “GB” District, Assessor’s Map#57, Lot#65-1, consisting of 0.52 acres; owned by Power Test Realty Co. Limited Partnership and shown on plans entitled:

Fueling System Renovation (cover sheet), prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 4, 2021, scale as noted.

Improvement Location Survey, prepared for Global Partners LP, prepared by David A. Caricchio, land surveyor, dated March, 2021 and September 24, 2021, at a scale of 1”=20’, sheet #SV.01.

Demolition Plan, prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 2, 2021, no scale noted, sheet #C-0.

Site Plan, prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 2, 2021, scale of 1”=20’, sheet #C-1.

Tanker Movement Plan, prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 2, 2021, at a scale of 1”=20’, sheet #C-1.1.

Details, prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 2, 2021, not to scale, sheet #C-2.

CT DOT Details, prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 2, 2021, not to scale, sheet #C-2.1.

CT DOT Details, prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 2, 2021, not to scale, sheet #C-2.2.

CT DOT Details, prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 2, 2021, not to scale, sheet #C-2.3.

Piping Plan, prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 2, 2021, at a scale of 1"=10', sheet #UT-1.

Electrical Conduit Plan, prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 2, 2021, at a scale of 1"=10', sheet #UT-2.

UST Details, prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 2, 2021, scale as noted, sheet #UT-3.

UST Details, prepared for Global Partners LP, prepared by Ryan G. Scrittorale, engineer, dated September 22, 2021, last revised November 2, 2021, scale as noted, sheet #UT-4.

WHEREAS, the Planning and Zoning Commission conducted a public hearing on December 13, 2021, to receive comment from the applicant and the public and has fully considered all submitted evidence; and

WHEREAS, the Wilton Planning and Zoning Commission finds the replacement of existing underground tanks with new state-of-the-art tanks to be a superior alternative in terms of addressing environmental and ecological concerns and as such the Commission finds that the proposal has no adverse impact on the aquifer protection zone; and

WHEREAS, the Wilton Planning and Zoning Commission has determined that the application is in substantial compliance with the Wilton Zoning Regulations;

NOW THEREFORE BE IT RESOLVED that the Wilton Planning and Zoning Commission **APPROVES** Special Permit #485 for property located at 210 Danbury Road, effective December 21, 2021, subject to the following conditions:

General Conditions:

1. This Resolution does not replace requirements for the applicant to obtain any other permits or licenses required by law or regulation by the Town of Wilton, such as, but not limited to: Zoning Permit, Sign Permit, Building Permit, Certificate of Zoning Compliance; or from the State of Connecticut or the Government of the United States. Obtaining such permits or licenses is the responsibility of the applicant.

2. In accordance with Section 8-3.(i) of the Connecticut General Statutes, all work or physical improvements required and/or authorized by the approved Special Permit shall be completed within five years of the effective date of this resolution. This five-year period shall expire on December 21, 2026.
3. Two (2) completed revised sets, (collated and bound) shall be submitted to the Commission's office for endorsement as "Final Approved Plan" by the Town Planner, prior to the issuance of a Zoning Permit. Said plans shall include all revisions noted above and shall bear an ORIGINAL signature, seal and license number of the professional responsible for preparing each plan or portion of it. Said plans shall include the following notes:
 - a. "Pursuant to Section 8-3.(i) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on December 21, 2026."
 - b. "For conditions of approval for Special Permit #485, see Resolution #1221-485SP."
4. The applicant shall file a Land Record Information Form with the Town Clerk (form to be provided by the Planning and Zoning Department). A copy of the filed document shall be submitted to the Planning and Zoning staff prior to the issuance of a zoning permit.
5. All illegal existing signage shall be removed from the property prior to the issuance of a Zoning Permit.
6. A copy of this resolution and approved plans shall be given to the construction manager and shall be available on-site during installation of the underground tanks.
7. The replacement of any signage, or installation of any new signage, shall be subject to the approval of the Zoning Enforcement Officer. All signage, excluding signage authorized by variance and permit, shall comply with Section 29-8.A. of the Zoning Regulations.

Prior to the Issuance of a Certificate of Zoning Compliance:

8. Prior to the issuance of a zoning compliance certificate, the applicant shall submit an as-built survey.
9. Prior to the issuance of a zoning compliance certificate the applicant shall submit a letter from the project engineer verifying conformance with the approved engineering plans and the approved Spill Protection, Control and Containment

Plan.

10. All site improvements and conditions of approval, required in Special Permit #450, shall be installed according to the approved plans, prior to the issuance of a Certificate of Zoning Compliance.

- END RESOLUTION -

PLANNING & ZONING
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TOWN HALL ANNEX
238 Danbury Road
Wilton, Connecticut 06897

RESOLUTION #1118-34P
November 26, 2018

WHEREAS, the Wilton Planning and Zoning Commission received a special permit application (**SP #450**) from Black Gold Wilton, LLC, applicant, Power Test Realty Company, Limited Partnership, owner to convert an automotive service station with three repair bays to an automotive service station with a convenience mart for property located at 210 Danbury Road, consisting of 0.52 acres and located in the General Business “GB” zoning district and shown on plans entitled:

Property & Topographic Survey, prepared for Black Gold Enterprises, prepared by Charles J. Osborne III, land surveyor, dated May 31, 2018, at a scale of 1”=20’, sheet #1 of 1.

Site Plan, prepared for Black Gold Enterprises, prepared by Nicholas Yuschak Jr., landscape architect, dated July 5, 2018, revised November 7, 2018, at a scale of 1”=20’, sheet #C1.

Notes & Details, prepared for Black Gold Enterprises, prepared by Nicholas Yuschak Jr., landscape architect, dated July 5, 2018, revised November 7, 2018, not to scale, sheet #N1.

Notes & Details, prepared for Black Gold Enterprises, prepared by Nicholas Yuschak Jr., landscape architect, dated July 5, 2018, not to scale, sheet #N1.

Notes & Details, prepared for Black Gold Enterprises, prepared by CCA, LLC, engineers, dated July 5, 2018, revised November 7, 2018, not to scale, sheet #N1.

Notes & Details, prepared for Black Gold Enterprises, prepared by CCA, LLC, engineers, dated November 7, 2018, not to scale, sheet #N2.

Vicinity Map, prepared for Black Gold Enterprises, prepared by CCA, LLC, engineers, dated July 5, 2018, at a scale of 1”=200’, sheet #VM1.

Floor Plan Exterior Elevations, prepared for Interior Alterations New Food Mart, prepared by BBS Design, LLC, designers, dated January 4, 2018, at a scale as noted, sheet #EX-1.

Floor Plans Code Analysis General Notes, prepared for Interior Alterations New Food Mart, prepared by BBS Design, LLC, designers, dated March 3, 2018, at a scale as noted, sheet #A-1.

Exterior Elevations, prepared for Interior Alterations New Food Mart, prepared by BBS Design, LLC, designers, dated March 3, 2018, at a scale as noted, sheet #A-2.

Wall Sections Ceiling Details & Notes, prepared for Interior Alterations New Food Mart, prepared by BBS Design, LLC, designers, dated March 3, 2018, at a scale as noted, sheet #A-3.

WHEREAS, the Planning and Zoning Commission conducted a public hearing on November 13, 2018, continuing said public hearing to November 26, 2018 to receive comment from the applicant and the public and has fully considered all submitted evidence; and

WHEREAS, the Planning and Zoning Commission has reviewed the Zoning Board of Appeals variance # 93-11-36 which allowed an internally illuminated freestanding sign, 15 feet tall, and with 35 square feet of sign area; and

WHEREAS, the Wilton Planning and Zoning Commission has determined that the application is in substantial compliance with the Wilton Zoning Regulations;

NOW THEREFORE BE IT RESOLVED that the Wilton Planning and Zoning Commission **APPROVES** Special Permit **#450** to permit the conversion of an automotive service station with three repair bays to an automotive service station with a convenience mart for property located at 210 Danbury Road, effective November 30, 2018, subject to the following conditions:

General Conditions:

1. This Resolution does not replace requirements for the applicant to obtain any other permits or licenses required by law or regulation by the Town of Wilton, such as, but not limited to: Zoning Permit, Sign Permit, Building Permit, Certificate of Zoning Compliance; or from the State of Connecticut or the Government of the United States. Obtaining such permits or licenses is the responsibility of the applicant.
2. In accordance with Section 8-3.(i) of the Connecticut General Statutes, all work or physical improvements required and/or authorized by the approved Special Permit shall be completed within five years of the effective date of this resolution. This five-year period shall expire on November 30, 2023.
3. The applicant shall file a Land Record Information Form with the Town Clerk (form to be provided by the Planning and Zoning Department). A copy of the filed document shall be submitted to the Planning and Zoning staff prior to the issuance of a zoning

permit.

4. Two (2) completed revised sets, (collated and bound) shall be submitted to the Commission's office for endorsement as "Final Approved Plan" by the Town Planner, prior to the issuance of a Zoning Permit. Said plans shall include all revisions noted above and shall bear an ORIGINAL signature, seal and license number of the professional responsible for preparing each plan or portion of it. Said plans shall include the following notes:
 - a. "Pursuant to Section 8-3.(i) of the Connecticut General Statutes, all work in connection with this Special Permit shall be completed within five years after the approval of the plan. Said five-year period shall expire on November 30, 2023."
 - b. "For conditions of approval for Special Permit #450, see Resolution #1118-34P."

Site Specific Conditions:

5. No vending machines or ice chests shall be established outside the building nor shall any propane dispenser/exchange stations be established on the property.
6. A copy of this resolution shall be given to the construction manager and shall be available on site during construction.
7. The replacement of any signage, or installation of any new signage, shall be subject to the approval of the Zoning Enforcement Officer. All signage, excluding signage authorized by variance and permit, shall comply with Section 29-8.A. of the Zoning Regulations.
8. Three painted traffic flow arrows adjacent to the fuel dispensers shall be removed from the site plan. The site plan shall be modified to reflect these changes prior to the issuance of a zoning permit.
9. Garage bay doors shall be replaced with a combination of store front windows and lower wall panels in a grid pattern to reflect the previous garage bays. Doors shall be repositioned to provide balance and architectural symmetry along the front building elevation. The architectural plans shall be modified and submitted for staff review and approval prior to the issuance of a zoning permit.
10. The existing curb in front of the building shall be modified so as to become wheelchair accessible and in accordance with the State of Connecticut's building code.
11. The proposed HVAC equipment shall be located so as to comply with regulatory setback requirements.

12. The rear portion of the site shall be properly illuminated subject to staff review and approval using the fixture proposed by the applicant during the public hearing.

Prior to the Issuance of a Certificate of Zoning Compliance:

13. The Planning and Zoning Commission's staff reserves the right to require an as-built photometric plan demonstrating compliance with town lighting standards. Such plan, if required, shall be submitted prior to the issuance of a zoning compliance certificate.
14. A four foot wide concrete sidewalk shall be established along the property frontage; consistent with the site plan submitted by the applicant.
15. Prior to the issuance of a zoning compliance certificate, any and all unauthorized signage/advertising on the property shall be removed.

- END RESOLUTION -

ORIGINAL

TOWN WILTON	ROUTE NO. 7	PMT 2B-REV 8/00 (302-06-0386) DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY OPERATIONS STATE OF CONNECTICUT - ENCROACHMENT PERMIT	DATE OF ISSUE 12/14/2021	PERMIT NO. 3023015 Page 1 of 2
NAME OF HIGHWAY Danbury Road			DATE EFFECTIVE 12/14/2021	
LOCATION OF WORK OR BEGINNING AND ENDING POINTS 210 Danbury Road			DATE OF EXPIRATION 12/14/2022	AMT. OF SURETY BOND CERTIFY CHECK 60,000.00
TO: LIBERTY AUTO & ELECTRIC CO., INC 38 GURDON STREET BRIDGEPORT, CT 06606			SURETY COMPANY/BANK Western Surety	
			BOND NUMBER: 65711767	
			PERMIT IS NOT VALID UNTIL SIGNATURE COPY IS SIGNED AND RETURNED TO THE OFFICE. PLEASE RETURN AT ONCE.	
			FEE: 100.00 DATE REC'D: 12/14/2021 PO/WO NO:	

Permission is hereby granted to do the following work under the control and direction of the Department of Transportation, Bureau of Engineering and Highway Operations at the location designated hereon, subject to the statements made on the application for permit, and to the pertinent provisions of the current Highway Encroachment Permit Regulations manual, including amendments thereto.

This permit does not become effective until all necessary local and State licenses and permits are obtained by the Permittee or designated agent, and further the Permittee shall be subject to all Federal, State and local regulations.

This permit is issued in strict compliance with, but not limited by, the following specific requirements, referenced attachments, and the current edition of Department of Transportation's Standard Specifications for Roads, Bridges and Incidental Construction as applicable.

The Department of Transportation Permit Inspector, Stephen Rice 860-202-3214, MUST BE NOTIFIED AND THE CALL BEFORE YOU DIG REQUEST NUMBER RECORDED 48 HOURS IN ADVANCE OF STARTING WORK ON THE PROJECT. REQUEST NO. _____

Permission is granted to work within the highway right of way to install ADA compliant sidewalks and pedestrian ramps, signage on breakaway posts, epoxy pavement markings, curbing, remove boulders, sprinklers tree, and signage from the CTDOT ROW as delineated on plans with last revisions dated 10/22/21 and the permit application received on 12/14/21. All work shall be in accordance with the current publication of the Department of Transportation "Standard Specifications for Roads, Bridges, and Incidental Construction," the latest Department Standard Details, and the following stipulations:

- A copy of this permit must be available on site at all times.
- Vehicular and pedestrian traffic must be adequately protected through the use of appropriate traffic control patterns. Uniformed police officers or personnel who are certified for traffic control to a level equivalent to the National Safety Council shall be utilized to direct traffic through the work area. All traffic control signing and appurtenances shall be in accordance with the latest edition of the "Manual on Uniform Traffic Control Devices" and must meet NCHRP 350 requirements.
- No work that will interfere with the flow of traffic will be permitted before 8:30 a.m. and after 4:00 p.m., Monday through Friday.
- Holiday Restrictions- No permit work within the highway right of way will be permitted the day before a legal holiday and no work shall be resumed until 12:00 noon the day following the holiday, unless otherwise approved or indicated. Weekends shall be considered as part of the holiday when the legal holiday falls on either Friday or Monday.
- All liability is assumed by the permittee. All areas disturbed as a result of this operation will be restored to the equivalency of their original condition or better at permittee's expense. The permittee will be billed in full by the Department for engineering and replacement costs of any area disturbed or destroyed by the permitted operations.
- The Department reserves the right to require the permittee to reimburse the State for all expenses incurred in connection with this permit including but not necessarily limited to inspection, State-owned equipment, supplies, etc. as outlined under regulation 13b-17-11.

The Permit Inspector must be notified upon completion of work for final inspection and approval.

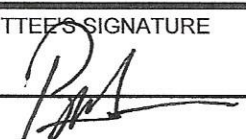
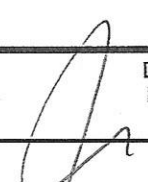
CALL Before you DIG! TOLL FREE, STATEWIDE 1-800-922-4455

Any and all liability for injury, damage or loss resulting from such work as may be undertaken under the terms of this permit is assumed by the Permittee. The Permittee is hereby designated responsible for all future maintenance of all installations or encroachments constructed under this Permit, which in the sole judgement of the State are not part of the highway appurtenances normally maintained by the State.

The Permittee hereby agrees to indemnify and hold harmless the State of Connecticut for any and all such injury, damage, or loss that may be incurred, either directly, or as a result of said work, and to reimburse the Department of Transportation for any expenses incurred due to the performance of any such work undertaken under the terms of this permit.

This permit is revocable at the discretion of the Department of Transportation Commissioner or designated representative.

ORIGINAL

TOWN WILTON	ROUTE NO. 7	PMT 2B-REV 8/00 (302-06-0386) DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY OPERATIONS STATE OF CONNECTICUT ENCROACHMENT PERMIT	DATE OF ISSUE 12/14/2021	PERMIT NO. 3023015 Page 2 of 2
NAME OF HIGHWAY Danbury Road			DATE EFFECTIVE 12/14/2021	
LOCATION OF WORK OR BEGINNING AND ENDING POINTS 210 Danbury Road			DATE OF EXPIRATION 12/14/2022	AMT. OF SURETY BOND CERTIFY CHECK 60,000.00
TO: LIBERTY AUTO & ELECTRIC CO., INC 38 GURDON STREET BRIDGEPORT, CT 06606			SURETY COMPANY/BANK Western Surety	
			BOND NUMBER: 65711767	
			PERMIT IS NOT VALID UNTIL SIGNATURE COPY IS SIGNED AND RETURNED TO THE OFFICE. PLEASE RETURN AT ONCE.	
			FEE: 100.00 DATE REC'D: 12/14/2021 PO/WO NO:	
<p>- Requirements of the permit are subject to change as field condition warrant. Any change will require a review and prior approval by the District Office.</p> <p>- The permittee shall certify that all fill materials proposed to be used on CTDOT property will meet the Connecticut Department of Energy & Environmental Protection (DEEP) GA PMC and Residential Direct Exposure Criteria unless the permittee has either a current Beneficial Use Determination (BUD) or a current Soil Management Plan (SMP) approved by DEEP. The BUD or SMP and its corresponding DEEP approval shall be attached to the permit application. The permittee shall comply with the BUD or the SMP (as applicable) and provide CTDOT with documentation, in form satisfactory to CTDOT, of permittee's compliance. CTDOT reserves the right to require permittee, at its sole cost and expense, to remove any fill materials that do not meet the required criteria from the site by permittee and the area restored with compliant fill materials. Nothing in this paragraph shall be construed to relieve the permittee of its responsibility that materials must also meet the structural and geotechnical requirements for their intended use in accordance with the Department's Standard Specifications.</p> <p>INSURANCE EXPIRES: 9/21/22 PRIOR TO THE INSURANCE EXPIRATION DATE, THE PERMITEE MUST SUBMIT AN UPDATED CERTIFICATE OF INSURANCE TO DOCUMENT APPROPRIATE CONTINUING INSURANCE COVERAGE.</p>				
PERMITTEE'S SIGNATURE 		DATE	DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY OPERATIONS BY Steve Moran	
			DISTRICT MAINTENANCE DIRECTOR 	

FUELING SYSTEM RENOVATION

GLOBAL SITE #5969

**210 DANBURY ROAD
WILTON, CT**

September 22, 2021

Rev. October 15, 2021

Rev. November 2, 2021

CT DOT PERMIT SET

OWNER

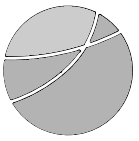
Prepared For:

GLOBAL PARTNERS LP

800 South Street Suite 500
PO Box 9161
Waltham, MA 02451-9161

CONSULTANT

Prepared By:



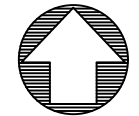
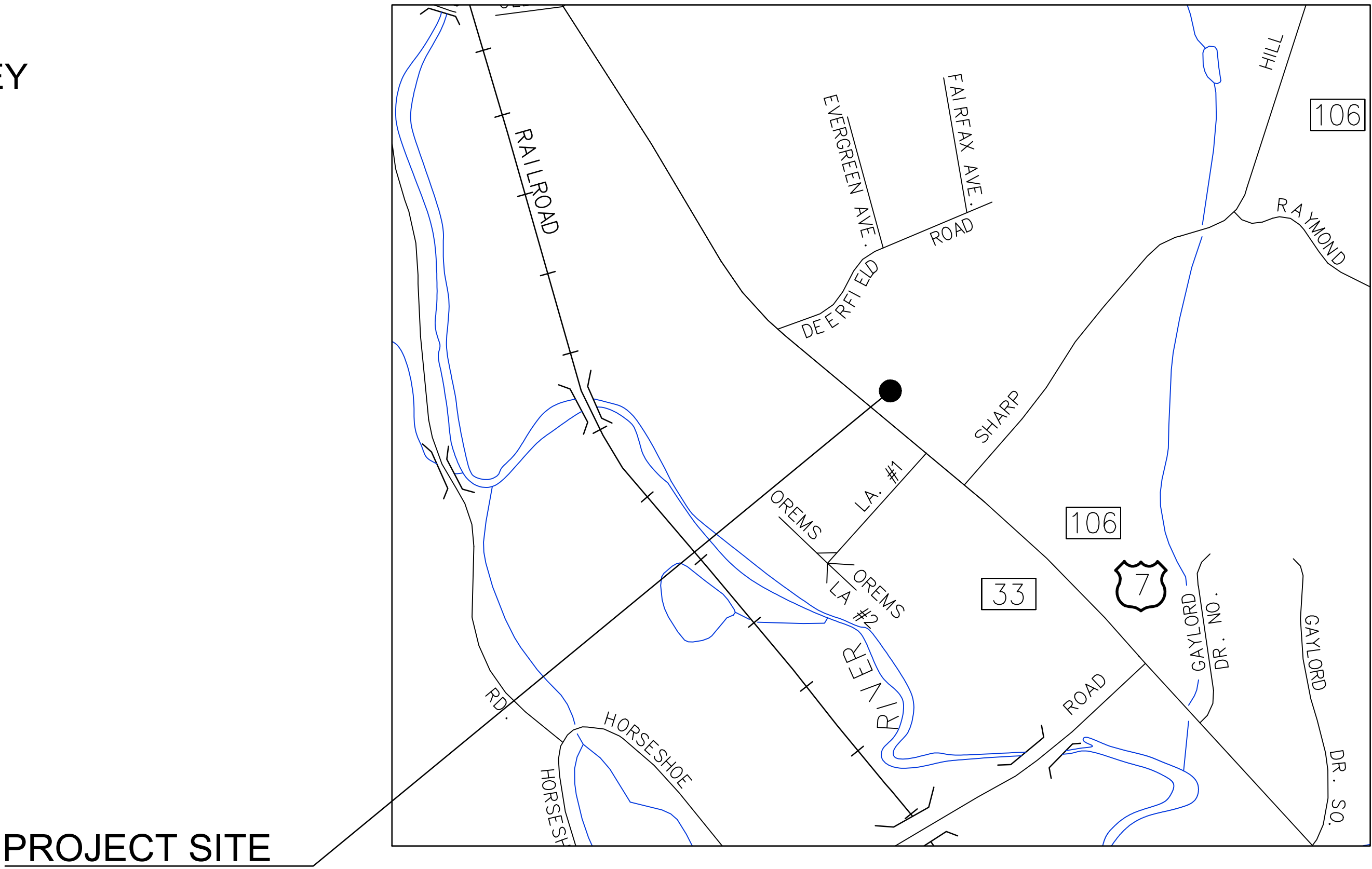
benesch

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www.Benesch.com

LIST OF DRAWINGS

CS	COVER SHEET
SV.01	IMPROVEMENT LOCATION SURVEY
C-0	DEMOLITION PLAN
C-1	SITE PLAN
C-1.1	TANKER MOVEMENT PLAN
C-2	DETAILS
C-2.1	CT DOT DETAILS
C-2.2	CT DOT DETAILS
C-2.3	CT DOT DETAILS

LOCATION MAP



SCALE: 1" = 1000'



<u>UTILITY SERVICES (UNDERGROUND OR OVERHEAD)</u>		
_____E_____	_____	ELECTRIC SERVICE
_____G_____	_____	GAS PIPES
_____SAN_____	_____	SANITARY SEWER PIPES

=====		

_____STM_____	_____	STORM WATER PIPES (LESS THAN 12")
_____T_____	_____	STORM WATER PIPES (12" OR LARGER)
_____W_____	_____	STEAM PIPES (SUPPLY & COND.)
_____COM_____	_____	TELEPHONE SERVICE
_____FP_____	_____	WATER PIPES
_____UG_____UG_____	_____	COMMUNICATION/FIBER OPTIC SERVICE
_____OH_____	_____	FIRE PROTECTION PIPES
		UNKNOWN UTILITY SERVICE
		OVERHEAD WIRES

CURBED ROADWAY

EDGE OF PAVED ROAD/DRIVE

BUILDING ROOFLINE (AERIAL PHOTOS)

RETAINING WALL

STOCKADE FENCE

CHAIN LINK/WIRE FENCE

TREE/VEGETATION LINE

STONE WALL





































SURFACE WATER (WATERCOURSE)

WETLANDS LIMIT

EDGE OF LANDSCAPING

INTERMEDIATE CONTOUR

INDEX CONTOUR

	CATCH BASIN
	ROUND DRAIN
	SQUARE DRAIN
	STORM DRAIN MANHOLE
	ELECTRIC MANHOLE
	SANITARY MANHOLE
	STEAM MANHOLE
	TELEPHONE MANHOLE
	WATER MANHOLE
	MANHOLE (OF UNKNOWN TYPE)
	HAND HOLE (S.G. / REC.)
o W.G.	WATER VALVE
o G.G.	GAS VALVE
	HYDRANT
	COMBO STANDPIPE
	GUY WIRE
	SIGN (SINGLE POST)
	SIGN (DOUBLE POST)
	BORING (AS DRILLED)
	BORING (AS STAKED)
x 427-3	SPOT ELEVATION
	WETLANDS FLAG
	PROPERTY MONUMENT
	UTILITY MONUMENT (SET 2' OFFSET)
	IRON PIPE OR REBAR FOUND
	IRRIGATION CONTROL BOX
	EMERGENCY PHONE
	TRAFFIC CONTROLLER CABINET
	UTILITY POLE
	UTILITY POLE W/ LIGHT
	STREET LIGHT
	LIGHT POST
	BOLLARD LIGHT
	BOULDER / ROCK
	CONIFER SHRUB
	DECIDUOUS SHRUB
	DECIDUOUS TREE (SAPLING)
	DECIDUOUS TREE
	CONIFER TREE

A/C	AIR CONDITION
AT	ARTERIAL TELEPHONE & TELEGRAPH COMPANY
B.T.	BUT
B.U.K.	BUTT
C.B.	CATCH BASIN
COM	COMMUNICATION
CON.	CONFER
CONC.	CONCRETE
CNG	CONNECTICUT NATURAL GAS
CL	CENTERLINE
CL.F.	CROWN LINK FENCE
CLAP	CONNECTICUT LIGHT & POWER COMPANY
CO	CONTROL POINT
DEC.	DEQUILLING
DMH	DRAINAGE MANHOLE
E.	EAST OR ELECTRIC
EL	ELECTRIC
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
F.L.	FLOW LINE
FND.	FOUND
GRAN.	GRANITE
G.S.	GRANITE STONE CURB
HELCO	HEAVY ELECTRIC COMPANY
HYD.	HYDRAUNT
H.H.	HAND HOLE
L.P.	LIGHT POLE
MH	MANHOLE
M.	METER
M.W.	MONTWELL
N	NORTH
NAD	NORTH AMERICAN DATUM
NAD	NORTH AMERICAN VERTICAL DATUM
NE	NORTHEAST
N/F	NOW OR FORMERLY
NW	NORTHWEST
P.C.	PER VIVUL CULVERT
P.V.	POSS INDICATOR VALVE
RET.	RETAINING
RCP	REINFORCED CONCRETE PIPE
R.L.	RAIL LEADER
S	SOUTH OR SUPPLY
SE	SOUTHEAST
SW	SOUTHWEST
SAN.	SANITARY
SMH	SANITARY MANHOLE
SNET	SOUTHERN NEW ENGLAND TELEPHONE
SQ.	SQUARE
STM	STEAM
TMH	TELEPHONE MANHOLE
TEL.	TELEPHONE
TOP	TOP OF FRAME
UNK.	UNKNOWN
W	WATER OR WEST
W.G.	WATER GATE

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20 AND THE "MINIMUM STANDARDS OF ACCURACY, CONTENT & CERTIFICATION FOR SURVEYS AND MAPS," AS AMENDED OCTOBER 26, 2018.
 - 1.1. THE TYPE OF SURVEY IS A PROPERTY/BOUNDARY, AND GENERAL LOCATION SURVEY.
 - 1.2. THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY.
 - 1.3. THE ACCURACIES ARE AS FOLLOWS:

2. THE COORDINATES AND ELEVATIONS DEPICTED ON THE PLAN REPRESENT THE NAD '83 AND THE NAVD '88 DATUMS. COORDINATES WERE ESTABLISHED ON THE SITE BASED UPON GPS OBSERVATIONS TAKEN ON FEBRUARY 2021 USING TRIMBLE GNSS RTK R10 RECEIVERS AND SOLUTIONS PROVIDED THROUGH THE KEYNET NETWORK.

3. UNDERGROUND UTILITIES (IF DEPICTED) HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND ALFRED BENESCH & COMPANY DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCES OF WHICH ARE UNKNOWN TO ALFRED BENESCH & COMPANY. THE SIZE, LOCATION AND ORIENTATION OF SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION. CALL "CALL BEFORE YOU DIG" 1-800-922-4455.


4. THE SUBJECT PROPERTY'S CURRENT DEED CAN BE FOUND IN VOLUME 482 PAGE 154 OF THE TOWN OF WILTON LAND RECORDS.
5. THE PROPERTY IS LOCATED IN THE "GB ZONE PER TOWN.
6. TOTAL PARCEL AREA IS 23,022 SQ. FT. =0.529 AC.

7. SOME SITE FEATURES MAY HAVE BEEN MISSED DUE TO SNOW COVERAGE AT THE TIME OF THE SURVEY. SOME FEATURES DEPICTED HEREON WERE DIGITIZED FOR AERIAL PHOTOGRAPHS AND ARE DEPICTED IN GREY DASHED LINES.

1. RESUBDIVISION MAP 218 DANBURY ROAD ZONE:R-1A WILTON CONNECTICUT PREPARED FOR KOLLOPE MEAD DECEMBER 15, 2005 REVISED 10-10-06, -27-06, 6-08-07, & 8-07-07 SCALE 1"=20' BY STAKER LAND SURVEYING INC.

2. MAP OF PROPERTY PREPARED FOR RALPH ARGANESE WILTON, CONNECTICUT SCALE 1"=40' APRIL 10, 1980 BY RYAN AND FAULDS LAND SURVEYORS



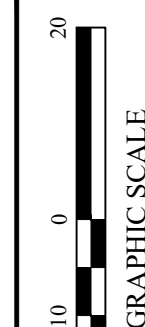

DAVID A. CARICCHIO, P.I.S. No. 70036
ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
(not valid without original signature and embossed seal)

SCALE: HORZ.: 1" = 20'
VERT.:
SURVEY DATUM: HORZ.: NAD 1983
VERT.: NAVD 1988

GRAPHIC SCALE

A horizontal graphic scale bar with a central zero point. To the left of zero are markings for 10 and 20 feet. To the right of zero are markings for 10 and 20 feet. The bar is divided into alternating black and white segments, with the 10-foot segments being longer than the 20-foot segments.

SCALE: HORZ.: 1" = 20'

SCALE: HORZ.:
VERT.:

Alfred Benesch & Company
120 Hebron Avenue - 2nd Floor
Glastonbury, Connecticut 06033
Phone (860) 633-8341, Fax: (860) 633-1068
www.benesch.com

Prepared By:

IMPROVEMENT LOCATION SURVEY

PREPARED FOR
GLOBAL PARTNERS LP

210 DANBURY ROAD (ROUTE 7)

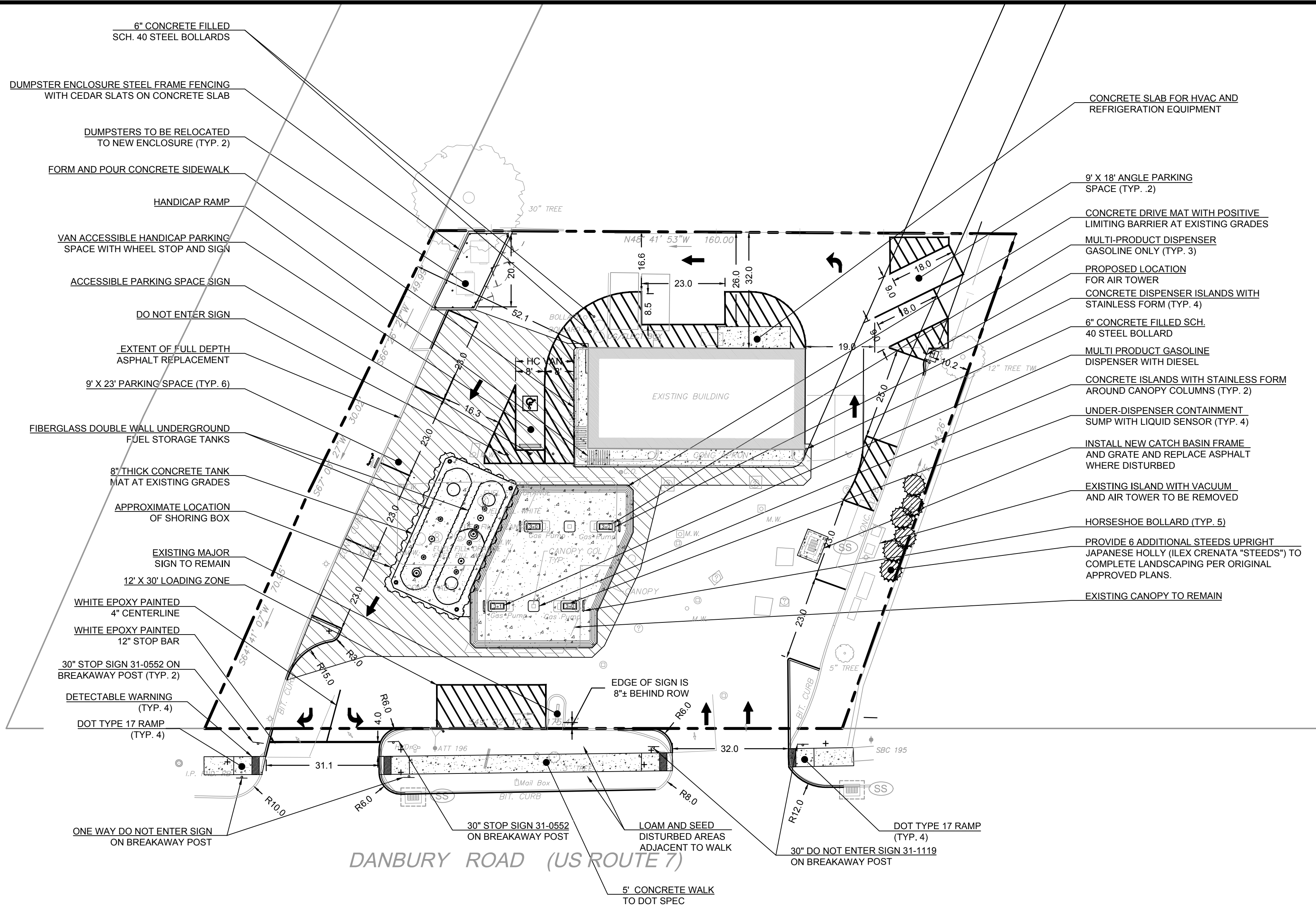
000S\70582.33_Wilton_UST\Survey\ACAD\70582.33 Base.dwg

PROJ. No.: 70582.33
DATE: MARCH 2021

SV.01

File Location/Name - Y:\Glastonbury
Date of Plot: April 20, 2021 - 11:25 AM

DRAWING NO.:
C-0



LEGEND

CONCRETE DRIVE	
AREA OF NEW BITUMINOUS PAVING	
CONCRETE WALK	

ACCESSIBILITY NOTES

- SLOPES ALONG THE ACCESSIBLE ROUTE SHALL BE LESS THAN 1:20 (5%) AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN 1/4 INCH.
- SLOPES ALONG THE HANDICAP ACCESSIBLE RAMP SHALL NOT EXCEED 1:12 (8.3%) AND THE CROSS SLOPE SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVEL SHALL NOT BE GREATER THAN 1/4 INCH.
- LANDINGS SHALL NOT HAVE A SLOPE GREATER THAN 1:50 (2%) IN ANY DIRECTION.
- SLOPES WITHIN THE HCP PARKING SPACE SHALL NOT EXCEED 1:50 (2%) IN ANY DIRECTION.

SIGN LEGEND

31-0552, 30", BRIGHT WHITE REFLECTIVE SHEETING (2 TOTAL)	
31-1119, 30"x30" (3 TOTAL)	

PROJECT NARRATIVE

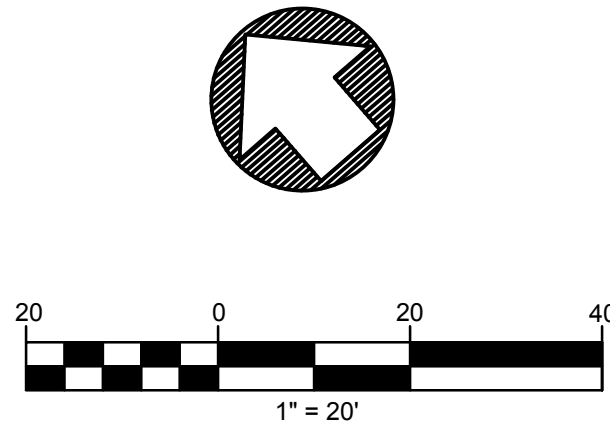
- THE PURPOSE OF THIS PROJECT IS TO UPGRADE THE FUEL DELIVERY SYSTEM TO PROVIDE ENHANCED CONTAINMENT AND MONITORING OF THE BELOW-GROUND COMPONENTS THROUGH:
 - REMOVAL OF EXISTING IN-GROUND STORAGE TANKS AND ALL RELATED UNDERGROUND PIPING.
 - REMOVAL OF EXISTING PRODUCT LINES TO DISPENSERS.
 - DEMOLITION OF THE FUELING ISLAND DRIVE MAT.
 - DEMOLITION OF THE CONCRETE TANK MAT.
 - DEMOLITION OF EXISTING DISPENSER ISLANDS.
 - INSTALLATION OF NEW, DOUBLE WALL FIBERGLASS IN-GROUND GASOLINE STORAGE TANKS - TOTAL CAPACITY 24,000 GALLONS.
 - INSTALLATION OF NEW UNDER-DISPENSER CONTAINMENT SUMPS.
 - INSTALLATION OF NEW PRODUCT LINES FROM IN-GROUND STORAGE TANKS TO DISPENSERS.
 - INSTALLATION OF NEW VENT LINES.
 - INSTALLATION OF NEW DISPENSER ISLANDS.
 - INSTALLATION OF ENHANCED ELECTRONIC MONITORING FOR TANKS, PRODUCT PIPING AND UNDER DISPENSER CONTAINMENT.
 - REPLACEMENT OF EXISTING ASPHALT AND CONCRETE PAVING, AT EXISTING GRADES, AS REQUIRED TO EFFECT ABOVE.
- IN ADDITION TO THE ABOVE SCOPE FOR UPGRADE OF THE FUELING SYSTEM THE FOLLOWING UPGRADES TO THE SITE WHICH WERE REQUIRED BY PLANNING AND ZONING DEPARTMENT RESOLUTION #1118-34P DATED NOVEMBER 26, 2018 WILL BE COMPLETED.
- PERMANENTLY REMOVE FROM THE SITE ANY PROPANE EXCHANGE LOCKER(S) , AND FIREWOOD SALES UNITS.
 - INSTALL LINE STRIPING FOR PARKING SPACES, LOADING ZONE AND EXCLUSION ZONES AS SHOWN ON PLAN.
 - INSTALL NEW SIDEWALK FROM NORTH CORNER OF BUILDING TO SOUTHEAST CORNER AND THEN TO SOUTHWEST CORNER. INCLUDE HANDICAP RAMP AT SOUTHWEST CORNER AS SHOWN ON PLAN.
 - INSTALL TRAFFIC FLOW ARROWS, STOP BARS AND LANE STRIPING AS SHOWN ON PLAN.
 - INSTALL 4' CONCRETE SIDEWALK ACROSS WIDTH OF PROPERTY IN THE ROW AS SHOWN ON PLAN.
 - INSTALL A CONCRETE PAD WITH FENCED DUMPSTER ENCLOSURE AS SHOWN ON PLAN.
 - INSTALL LANDSCAPING AS SHOWN ON ORIGINAL APPROVED PLANS.

INSTALLATION REQUIREMENTS

- INSTALLATION MUST ADHERE TO:
 - CT DEEP "REGULATIONS OF CONNECTICUT STATE AGENCIES, UNDERGROUND STORAGE TANK REGULATIONS, SECTIONS 22a-449(d)-1, AND SECTIONS 22a-449(d) 101-113"
 - NFPA 30 "FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE"
 - NFPA 30A "CODE FOR MOTOR FUEL DISPENSING FACILITIES AND REPAIR GARAGES"
 - NFPA 10 "STANDARD FOR PORTABLE FIRE EXTINGUISHERS"
 - CONNECTICUT STATE BUILDING CODE
 - FEDERAL UST REGULATIONS, SEE 40 CFR, PARTS 280 & 281 AS REVISED 10/2015
 - NFPA 70 2017 EDITION
 - PETROLEUM EQUIPMENT INSTITUTE GUIDELINES "RECOMMENDED PRACTICES FOR INSTALLATION OF UNDERGROUND LIQUID STORAGE SYSTEMS"
 - APPLICABLE LOCAL CODES
 - MANUFACTURER'S RECOMMENDATIONS
 - CONTRACTOR MUST COMPLETE ALL MANUFACTURER'S CHECK SHEETS AND PROVIDE COPIES TO OWNER AT COMPLETION OF WORK
- CONTRACTOR MUST USE PERSONNEL CERTIFIED BY ALL EQUIPMENT SUPPLIERS AS QUALIFIED TO PERFORM THE REQUIRED SCOPE OF WORK
- POST CONSTRUCTION FACILITY TESTING BY AN INDEPENDENT TESTING FIRM APPROVED BY OWNER TO INCLUDE:
 - PRE-BURIAL THIRD PARTY TESTING OF STP AND DISPENSER SUMPS PER CT DEEP REGS.
 - PRECISION TESTING OF PRODUCT LINES
 - PRESSURE DECAY TESTING OF SYSTEM
 - ALL RESULTS TO BE DOCUMENTED AND DOCUMENTS PROVIDED TO OWNER AND, AS REQUIRED, TO REGULATORY AUTHORITIES.

NOTES:

- ALL NEW CONCRETE SURFACES TO BE TREATED WITH VEXCON-STARSEAL PS CLEAR SEALER PER MANUFACTURER'S INSTRUCTIONS.
 - PROVIDE 1.5" BITUMINOUS OVERLAY FOR ENTIRE SITE EXCLUSIVE OF NEW BITUMINOUS AND CONCRETE SURFACES.
 - AREAS OF BITUMINOUS TO BE REPLACED VS MILLED AND PAVED WILL BE DETERMINED BY OWNER.
- THE PERMITTEE SHALL CONTACT MS. JENNIFER CARO, DEPARTMENT'S DISTRICT SURVEY UNIT, AT 203-389-3104 OR JENNIFER.CARO@CT.GOV PRIOR TO ANY CONSTRUCTION WITHIN THE STATE RIGHT-OF-WAY.
 - IF ANY CTDOT BOUNDARY/SURVEY MARKERS GET DISTURBED OR DAMAGED DURING CONSTRUCTION, THE DEPARTMENT WILL FURNISH NEW MONUMENTS, WHICH THE PERMITTEE WILL BE REQUIRED TO INSTALL AT THE DIRECTION OF THE DISTRICT 3 SURVEY UNIT AND ACCORDING TO CTDOT SPECIFICATION.



PLAN REFERENCE

EXISTING SITE INFORMATION FROM PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY", PREPARED FOR GLOBAL PARTNERS, LP, 210 DANBURY ROAD (ROUTE 7), WILTON, CT, SCALE 1" = 20', MARCH, 2021, BY ALFRED BENESCH & CO, 120 HEBRON AVENUE - 2ND FLOOR, GLASTONBURY, CT 06033

Prepared by:

benesch

Alfred Benesch & Company
120 Hebron Avenue
Glastonbury, Connecticut 06033
860-633-8341

Prepared for:

GLOBAL PARTNERS LP
800 South ST Suite 200
PO BOX 9161
Waltham, MA 02454-9161

**PROPOSED FUELING
SYSTEM RENOVATION**

SITE 5969

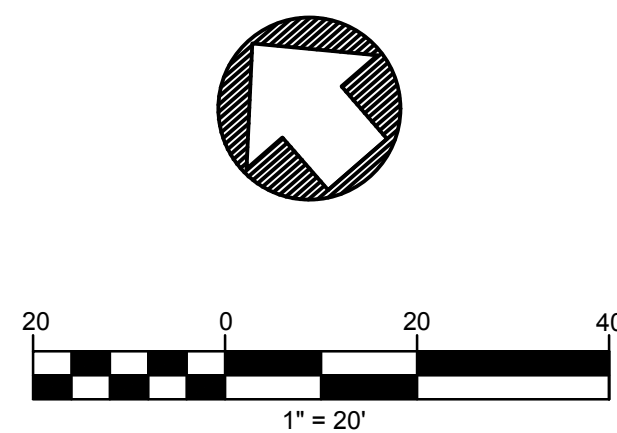
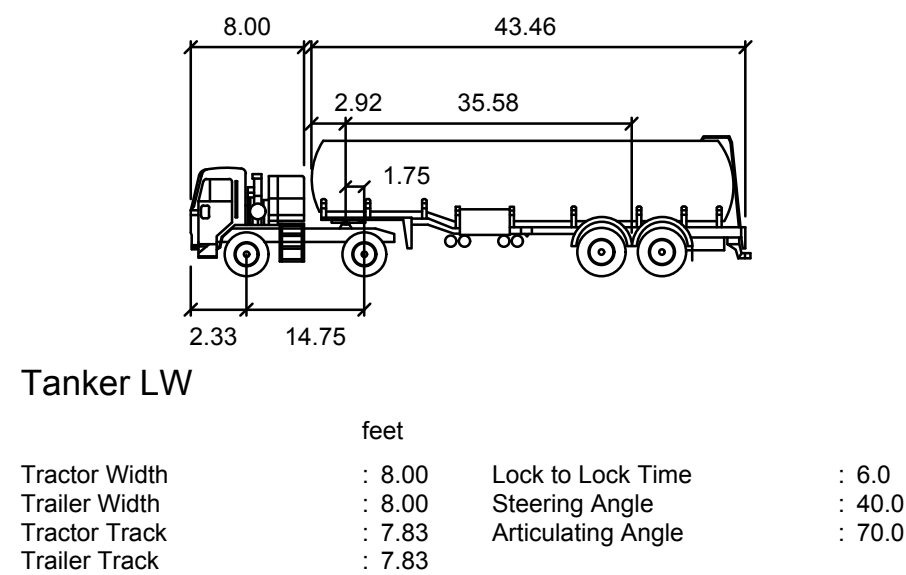
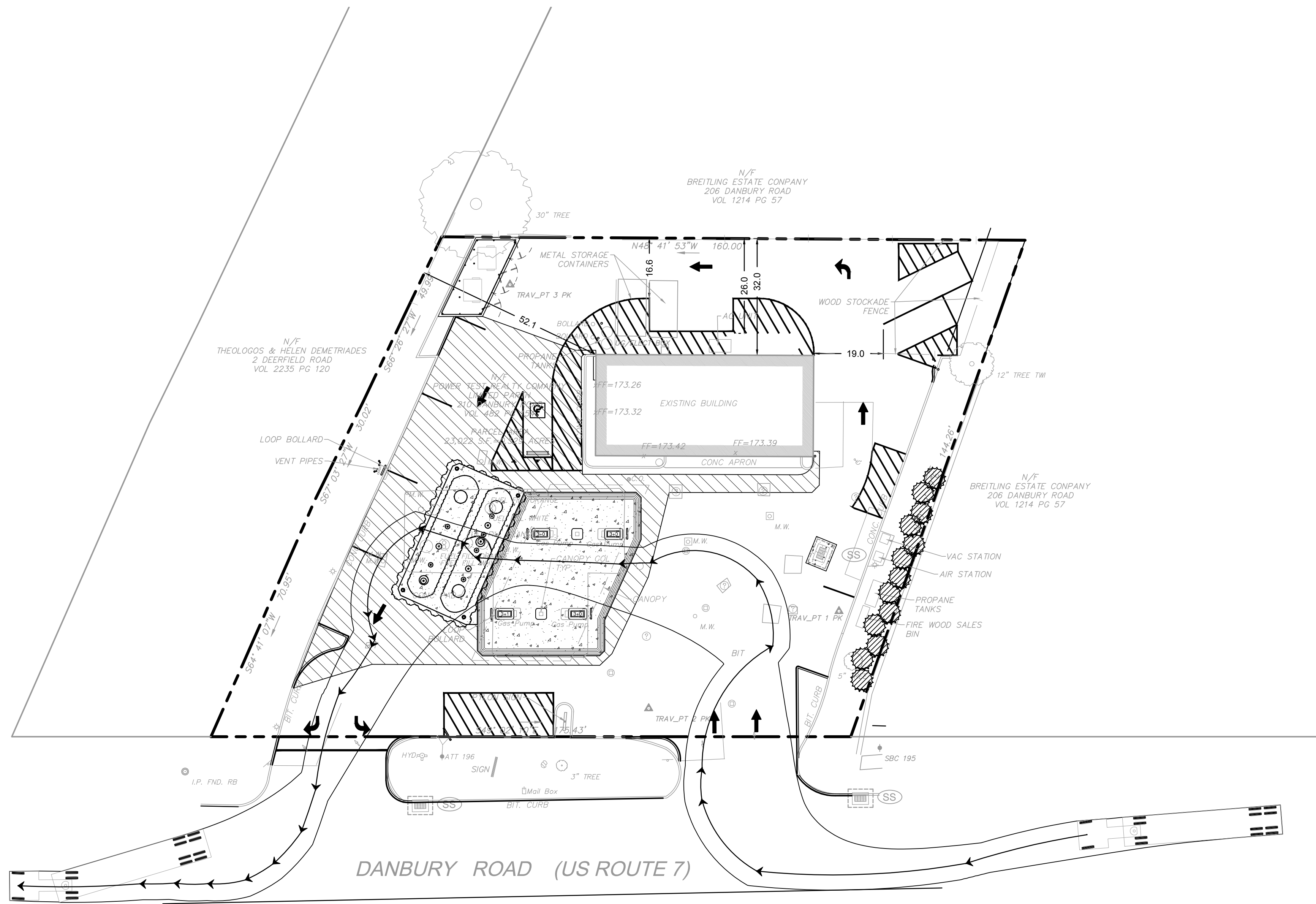
210 DANBURY ROAD

WILTON, CT

DATE:	REVISION:
10.15.2021	REVISED PER PLANNING DEPT. COMMENTS:
11.02.2021	REVISED PER CTDOT COMMENTS

PROJECT NO.: 70582.33	DRAWN BY: LAW
SCALE: AS SHOWN	CHECKED BY: RGS
DATE: 09.22.2021	

Site Plan



PLAN REFERENCE

EXISTING SITE INFORMATION FROM PLAN ENTITLED
"IMPROVEMENT LOCATION SURVEY", PREPARED FOR GLOBAL
PARTNERS, LP, 210 DANBURY ROAD (ROUTE 7), WILTON, CT.,
SCALE 1" = 20', MARCH, 2021, BY ALFRED BENESCH & CO, 120
HEBRON AVENUE - 2ND FLOOR, GLASTONBURY, CT 06033

Prepared by:



Alfred Benesch & Company
120 Hebron Avenue
Glastonbury, Connecticut 06033
860-633-8341

Prepared for:

GLOBAL PARTNERS LP

800 South ST Suite 200
PO BOX 9161
Waltham, MA 02454-9161

PROPOSED FUELING
SYSTEM RENOVATION

SITE 5969

210 DANBURY ROAD

WILTON, CT

DATE:	REVISION:
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PROJECT NO.: 70582.33	DRAWN BY: LAW
SCALE: AS SHOWN	CHECKED BY: RGS
DATE: 09.22.2021	

Tanker
Movement Plan

DRAWING NO.:

C-1.1

FORM 818 CONSTRUCTION NOTES

ALL WORK WITHIN THE STATE RIGHT-OF-WAY WILL COMPLY WITH FORM 818, "THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION WITH THE LATEST SPECIAL PROVISIONS AND TYPICAL STATE STANDARD DETAILS. IN ANY CASE WHERE THE CONSTRUCTION IS NOT SPECIFICALLY DETAILED IN THE FORM 818, THE WORK WILL BE COMPLETED AS DIRECTED BY THE ENGINEER OR DISTRICT PERMIT SECTION REPRESENTATIVE.

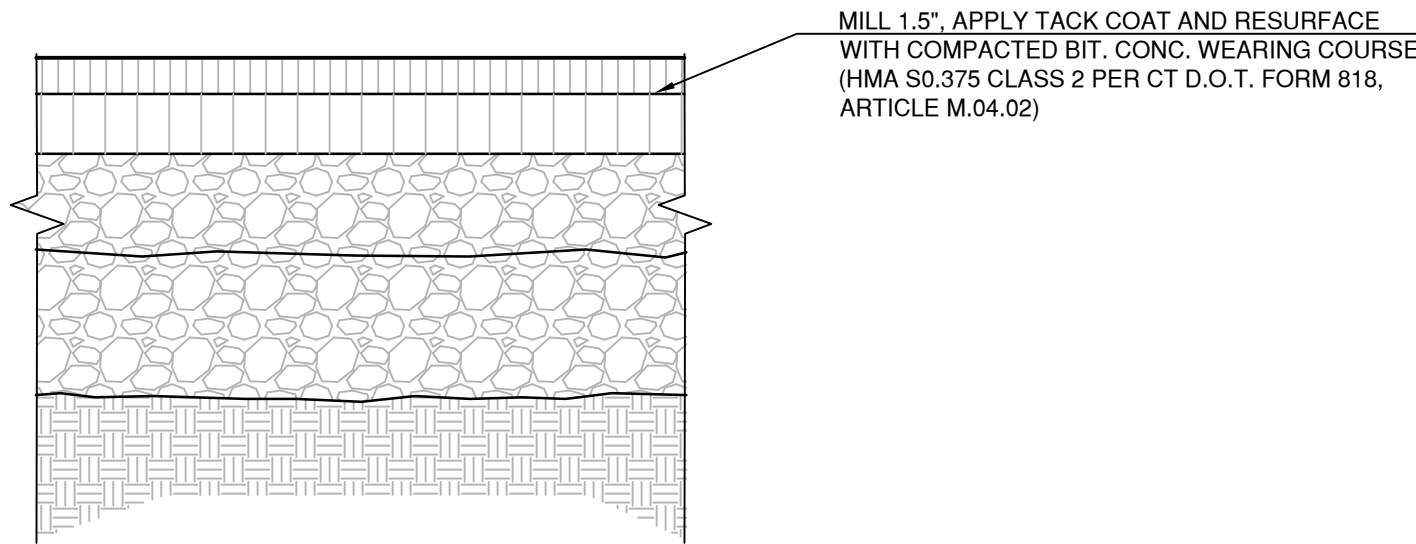
REMOVAL OF PAVEMENT MARKINGS ALONG STATE ROADWAYS SHALL BE COMPLETED BY A NON-DESTRUCTIVE METHOD IN COMPLIANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM 818 SECTION 12.11 AS REVISED.

NEW PAVEMENT MARKINGS SHALL BE PAINTED WITH EPOXY RESIN PAINT IN COMPLIANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM 818 SECTION 12.10 AS REVISED.

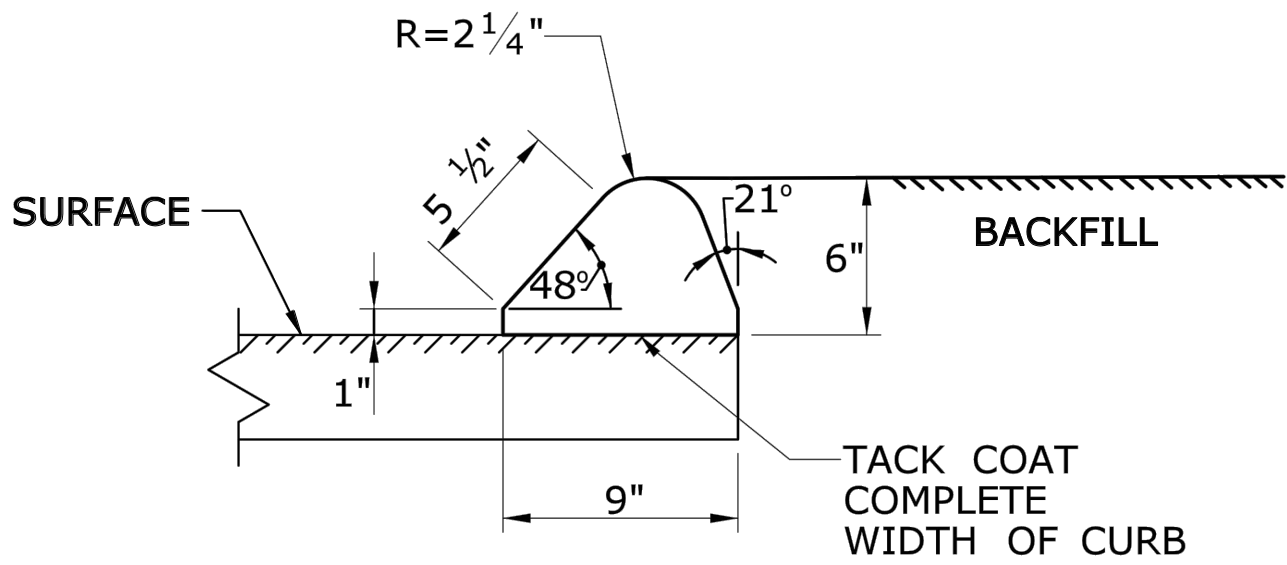
NEW SIGN MATERIAL AND SHEETING SHALL BE MADE OF REFLECTIVE MATERIAL IN COMPLIANCE WITH STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM 818 SECTION 12.08 AS REVISED. TYPE 1 REFLECTIVE SHEETING SHALL BE USED FOR SIGNS WITH WHITE BACKGROUND , TYPE 3 REFLECTIVE SHEETING SHALL BE USED FOR SIGNS WITH COLORED BACKGROUND EXCEPT FOR SIGNS WITH RED BACKGROUND THAT SHALL BE TYPE 8 OR 9 REFLECTIVE SHEETING.

ALL SIGNS AND PAVEMENT MARKINGS INSTALLED WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE LATEST STATE OF CONNECTICUT CATALOG OF SIGNS AS REVISED.

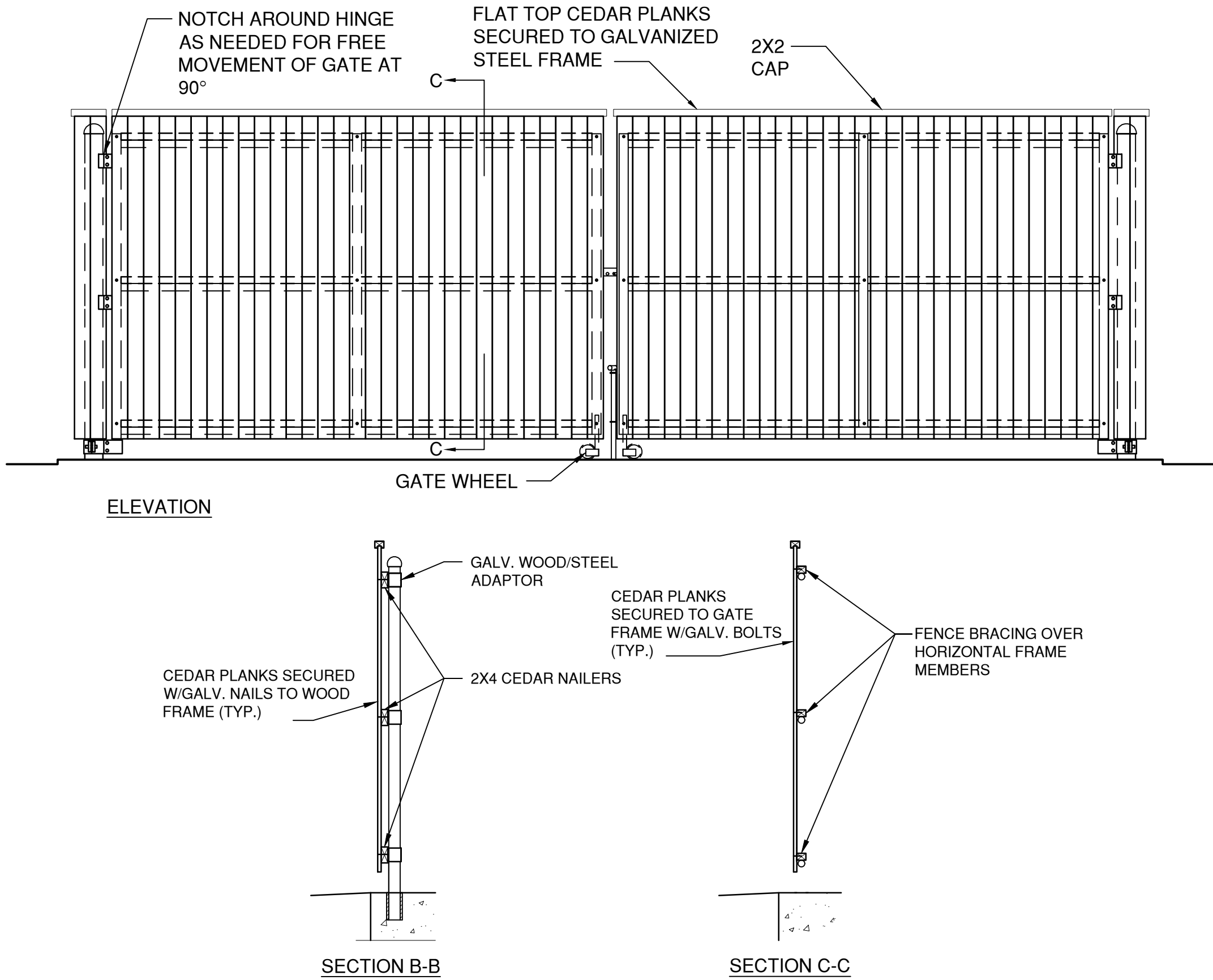
ANY DAMAGE TO THE EXISTING CURB, SIDEWALK OR ANY OTHER HIGHWAY APPURTENANCES DURING THE DEVELOPMENT OF THE PERMITTED SITE WILL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE DISTRICT 3 PERMIT SECTION AT NO COST TO THE STATE.



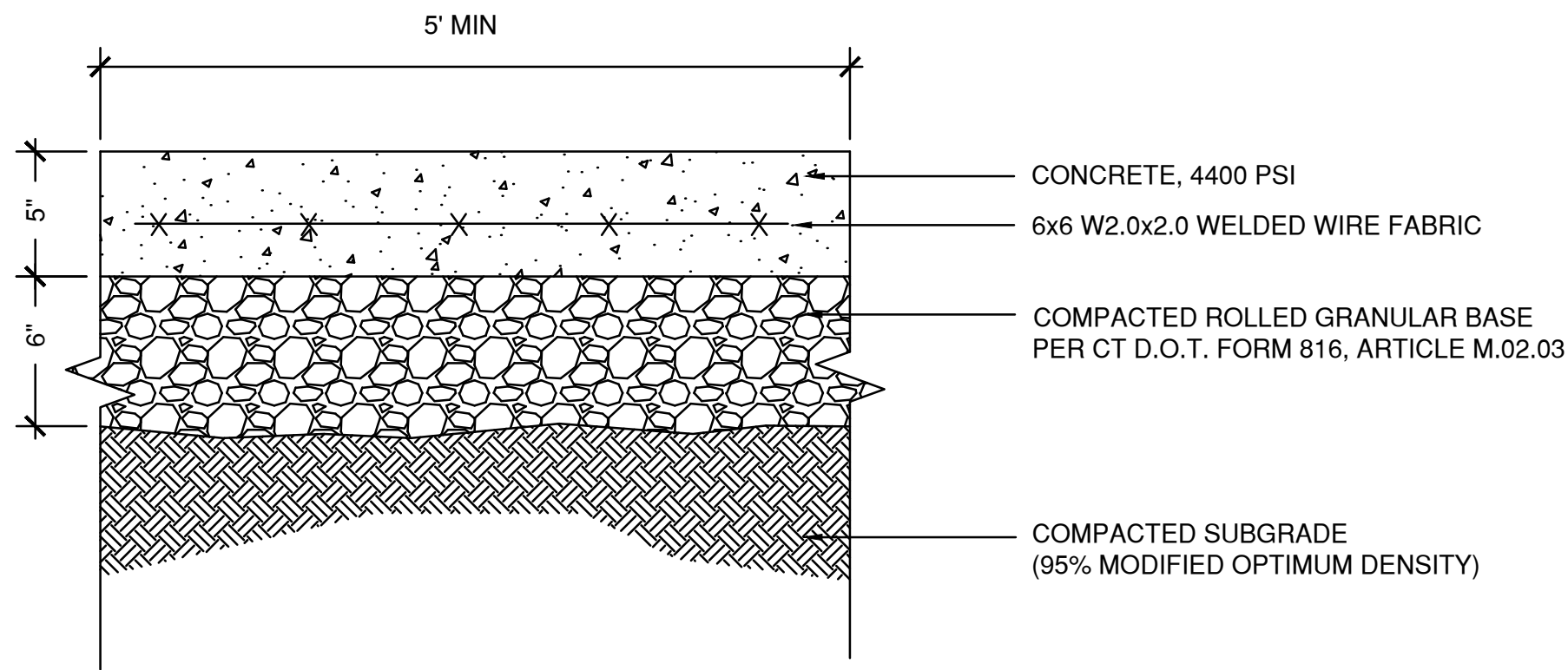
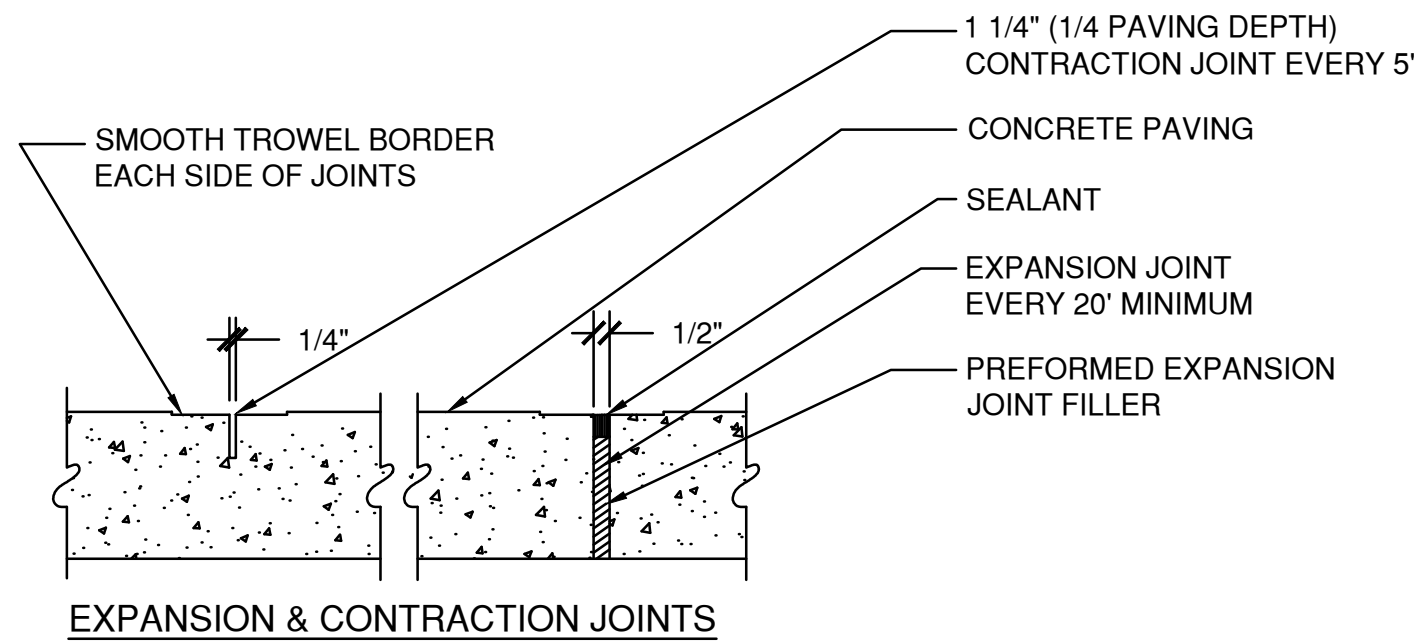
1 BITUMINOUS MILL AND PAVE
SCALE 1 1/2" = 1'-0"



2 BITUMINOUS CONCRETE LIP CURBING
SCALE NTS



3 DUMPSTER ENCLOSURE FENCE
SCALE NTS



4 CONCRETE SIDEWALK
SCALE NTS

Prepared by:



Alfred Benesch & Company
120 Hebron Avenue
Glastonbury, Connecticut 06033
860-633-8341

Prepared for:

GLOBAL PARTNERS LP

800 South ST Suite 200
PO BOX 9161
Waltham, MA 02454-9161

PROPOSED FUELING
SYSTEM RENOVATION

SITE 5969

210 DANBURY ROAD

WILTON, CT

DATE:	REVISION:
10.15.2021	REVISED PER PLANNING DEPT. COMMENTS:
11.02.2021	REVISED PER CTDOT COMMENTS

PROJECT NO.: 70582.33	DRAWN BY: LAW
SCALE: AS SHOWN	CHECKED BY: RGS
DATE: 09.22.2021	

Details

**PROPOSED FUELING
SYSTEM RENOVATION**

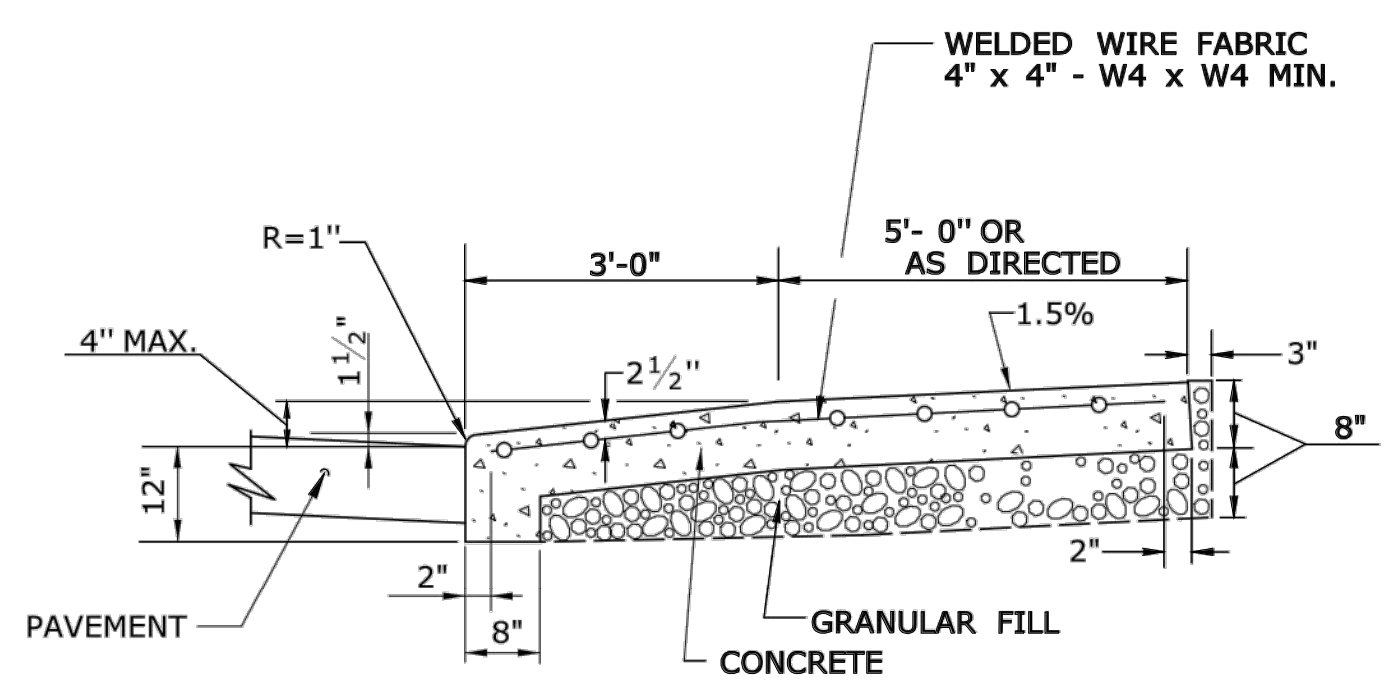
SITE 5969

210 DANBURY ROAD

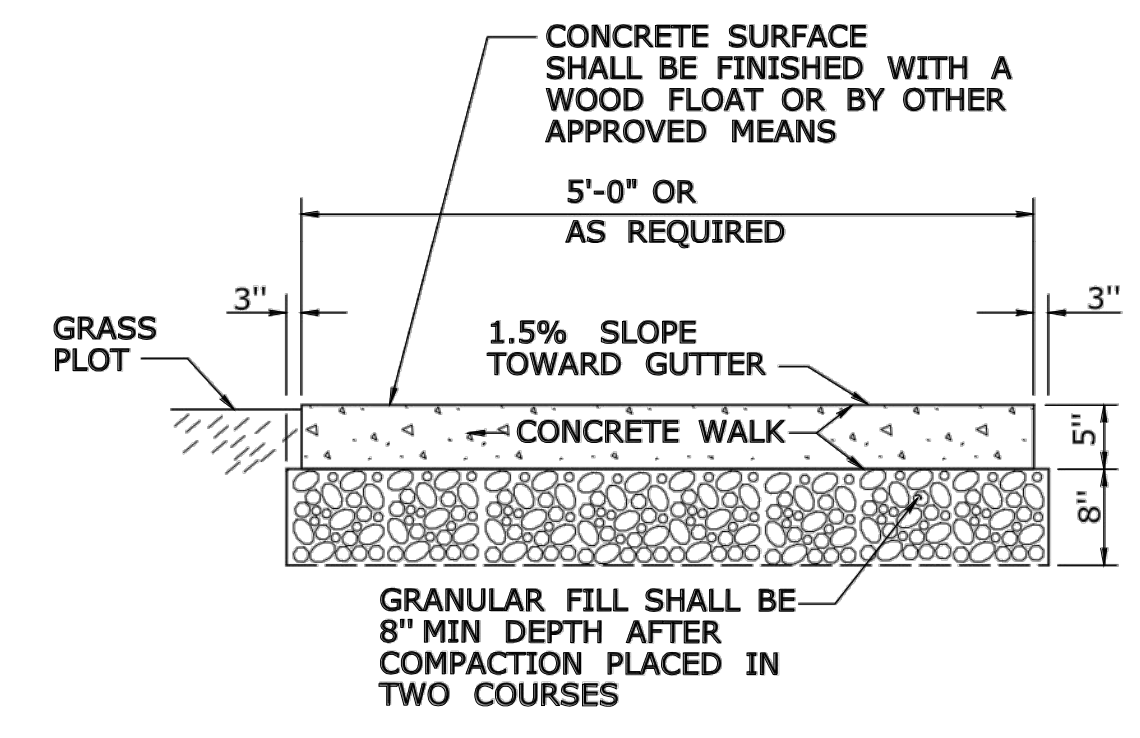
WILTON, CT

DATE:	REVISION:
10.15.2021	REVISED PER PLANNING DEPT. COMMENTS:
11.02.2021	REVISED PER CTDOT COMMENTS

- GENERAL NOTES:**
1. DRIVEWAY ENTRANCE SHALL BE A MINIMUM OF 12' WIDE, EXCLUDING CURBING WHEN PRESENT.
 2. WELDED WIRE FABRIC MATS WITH REINFORCING AT CLOSER SPACING MAY BE USED.
 3. SURFACE HMA S0.375 TO BE PLACED IN TWO EQUAL LIFTS FOR BOTH RESIDENTIAL AND COMMERCIAL DRIVEWAYS.

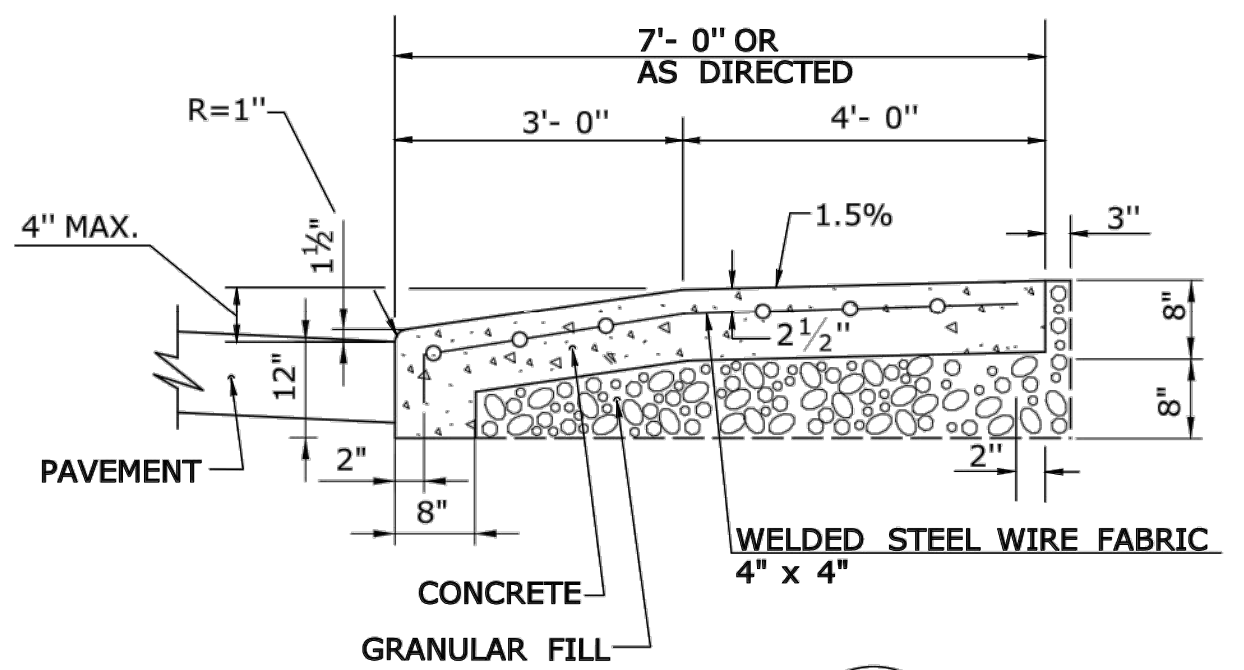


SECTION C

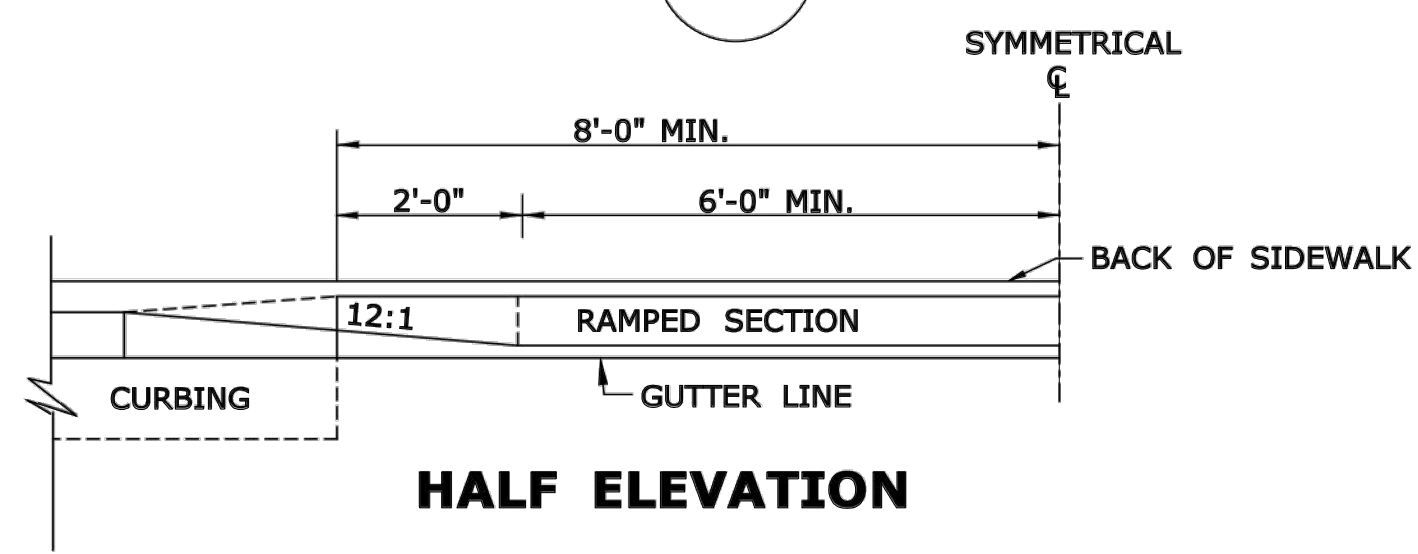


SECTION D

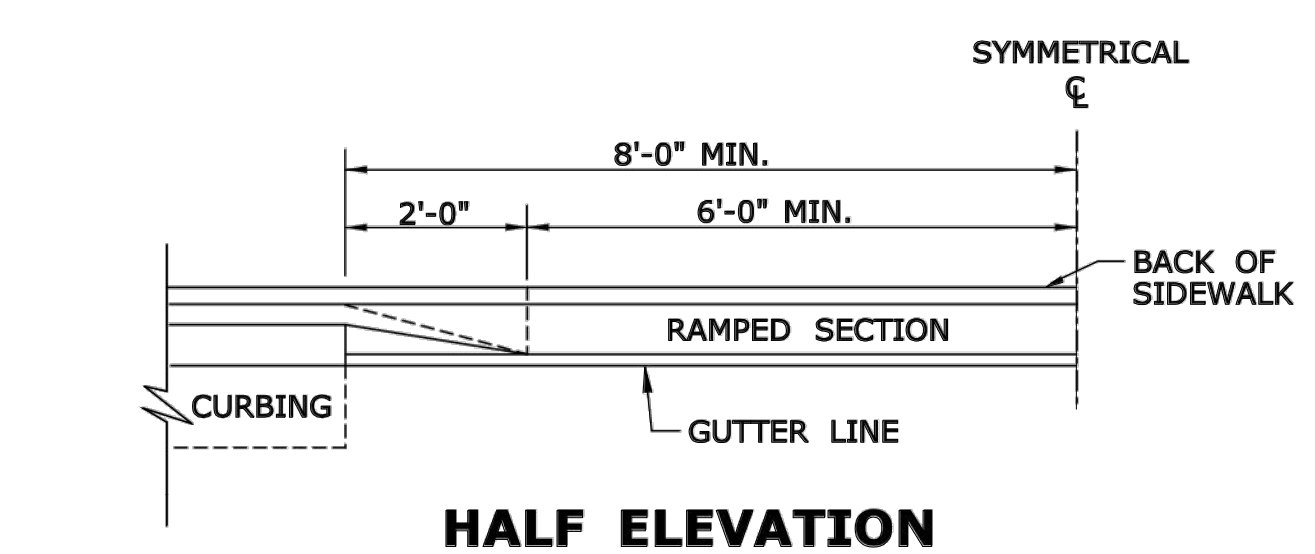
**5' WIDE CONCRETE
SIDEWALK WITH GRASS PLOT**



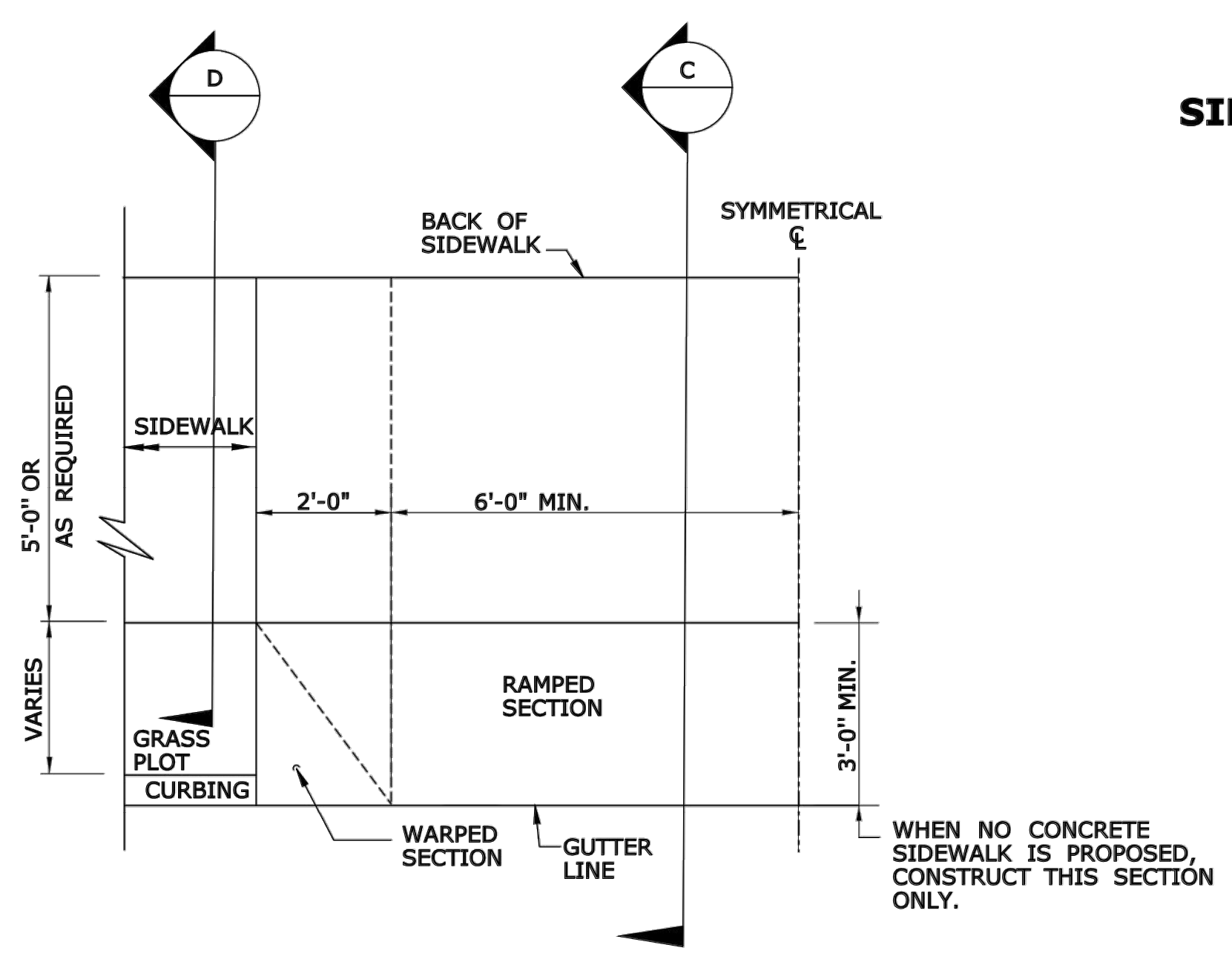
SECTION B



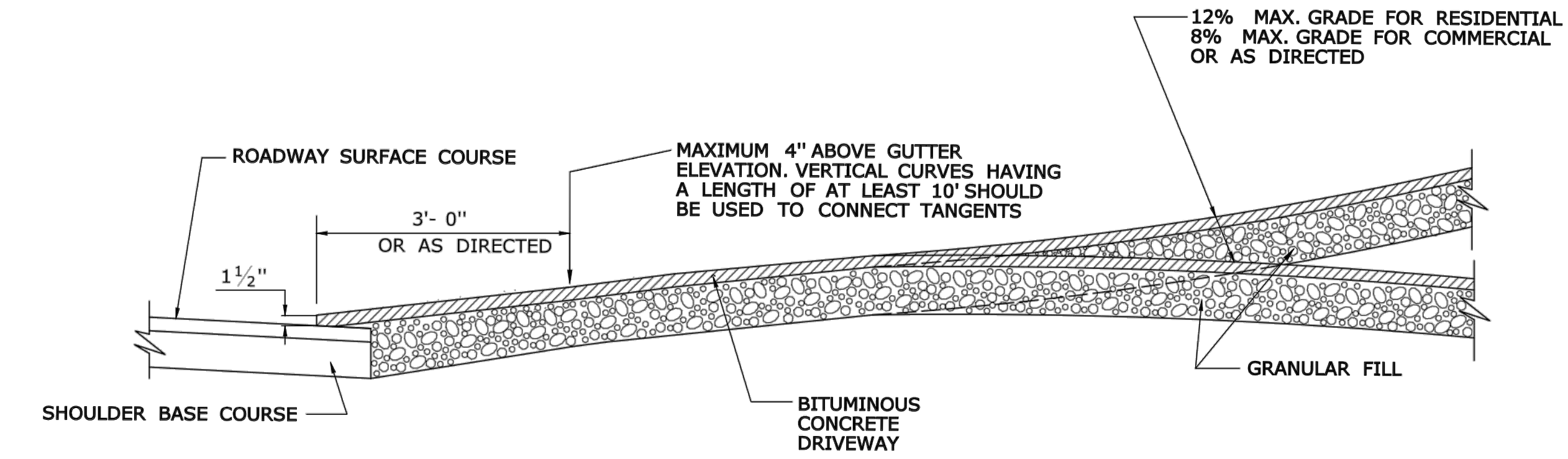
HALF ELEVATION



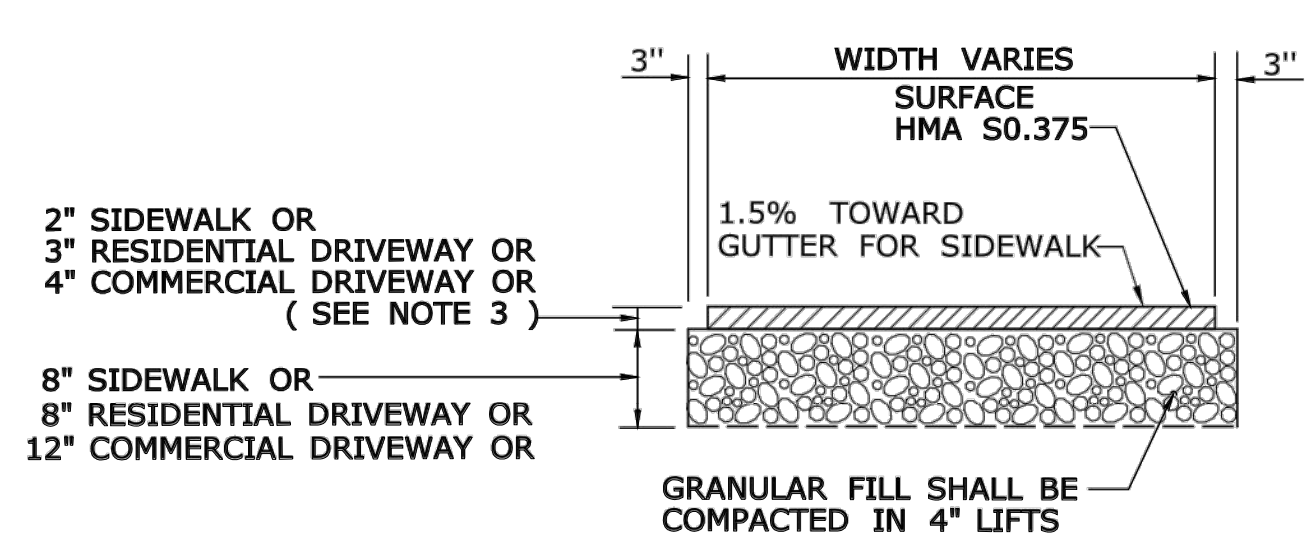
HALF ELEVATION



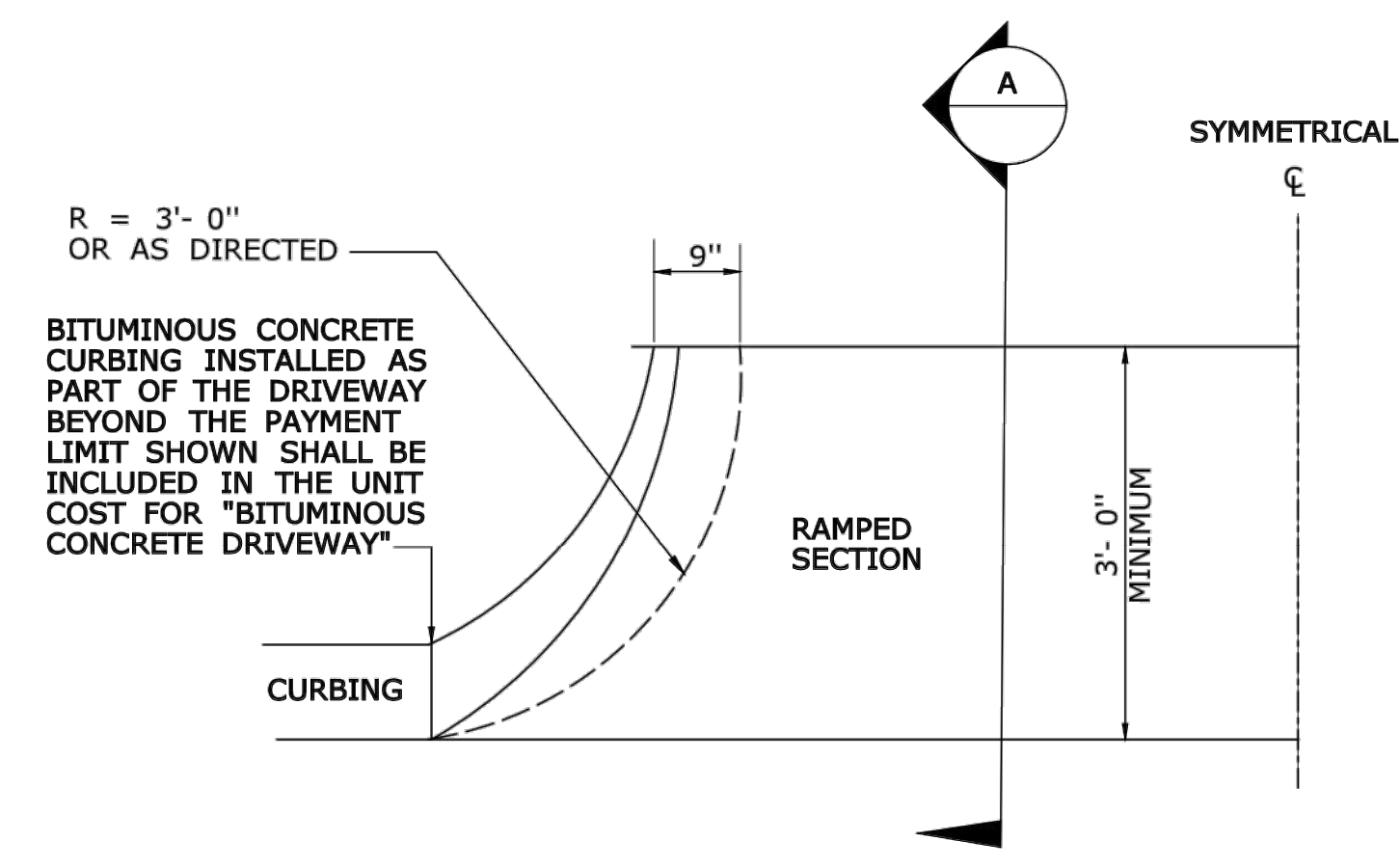
**HALF PLAN OF
CONCRETE DRIVEWAY RAMP WHERE
CURB IS SEPARATED FROM
SIDEWALK BY GRASS PLOT**



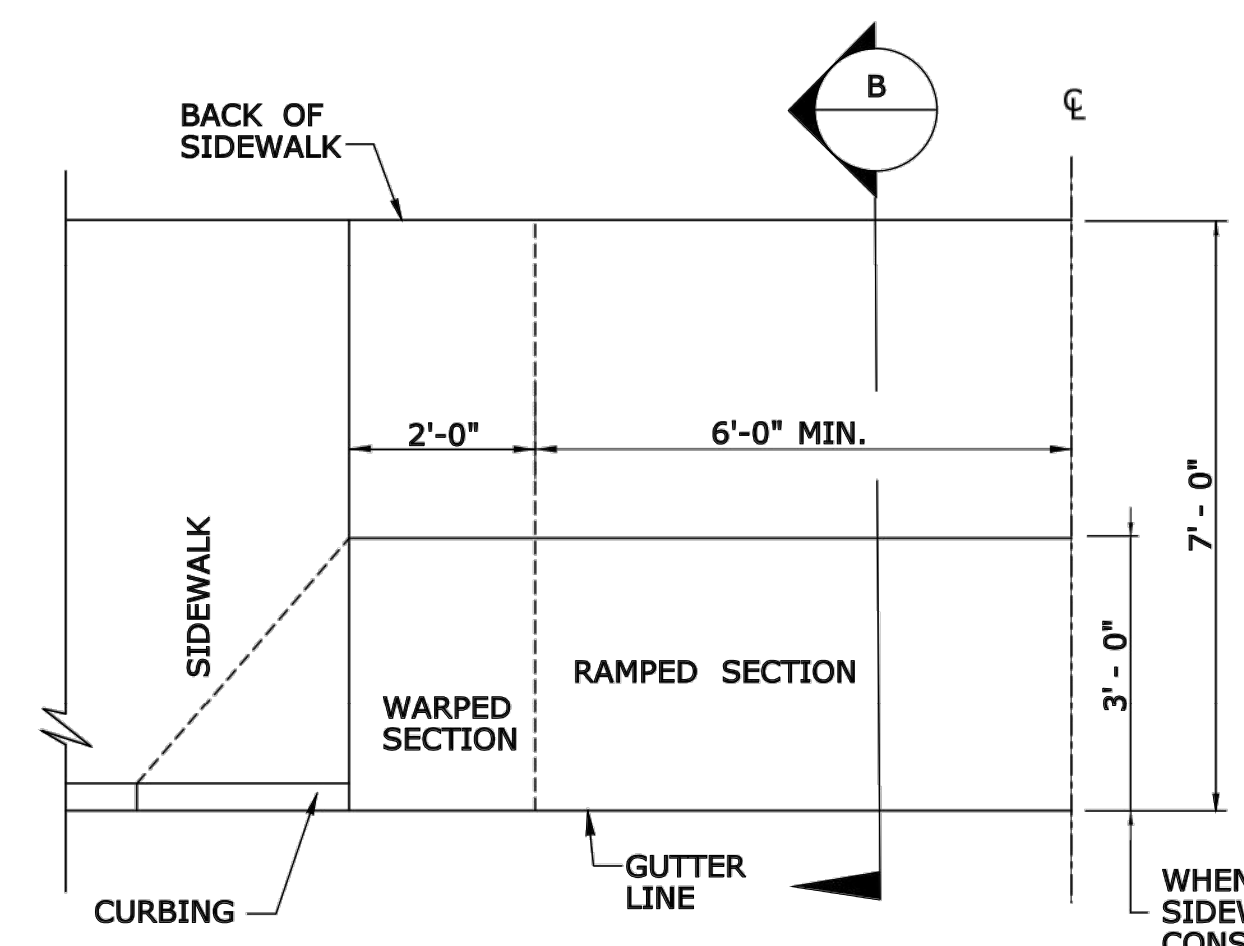
SECTION A



**TYPICAL SECTION
BITUMINOUS CONCRETE
SIDEWALK AND DRIVEWAY**



**HALF BITUMINOUS CONCRETE
DRIVEWAY PLAN**



**HALF PLAN OF
CONCRETE DRIVEWAY RAMP WHERE
SIDEWALK ADJOINS CURBING**

PLOTTED DATE: 7/1/2020

NOT TO SCALE ####	SIGNATURE BLOCK: OFFICE OF ENGINEERING 2800 BERLIN TURNPIKE NEWINGTON, CT 06111	SUBMITTED BY: Leo Fontaine, P.E. 2020.07.08 10:32:47-04'00'	APPROVED BY: James Fallon, P.E. 2020.07.15 12:16:04-04'00'	STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION	CTDOT STANDARD SHEET	STANDARD SHEET TITLE: DRIVEWAY RAMPS AND SIDEWALKS	STANDARD SHEET NO.: HW-921_01
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