

WILTON ZONING BOARD OF APPEALS - RESIDENTIAL VARIANCE APPLICATION - ZBA#

Please consult the Zoning Regulations when applying for a variance, particularly Section 29-13.

Please TYPE or print clearly... (See last 2 pages for brief explanation.)

APPLICANT'S NAME

ADDRESS

OWNER'S NAME

ADDRESS

PROPERTY LOCATION

ZONING DISTRICT

WLR MAP#

VOLUME

PAGE

TAX MAP #

LOT #

ACREAGE

VARIANCE DESCRIPTION: In the space below, please state concisely the section(s) of the Zoning Regulations proposed to be varied and the specific variance requested (i.e: Request a variance of Section 29-__ to allow ____ (an addition, a pool, average lot width, or whatever) with ____ in lieu of the required _____. For instance, a variance request for a building addition that encroaches into the required fifty foot rear setback area by 7 feet would read as follows: "Request a variance of Section 29-5.D to allow a building addition with a 43 foot rear yard setback in lieu of the required 50 feet." ATTACH SEPARATE SHEETS AS REQUIRED.

HARDSHIP DESCRIPTION: In the space below, state the specific conditions pertaining to the perceived "exceptional difficulty or unusual hardship" with respect to the parcel of land, not generally encountered within the zoning district, which would make development in full accordance with the existing Zoning Regulations extremely difficult. ATTACH SEPARATE SHEETS AS REQUIRED.

THE FOLLOWING MATERIALS ARE REQUIRED:

- * Please see **SPECIAL INSTRUCTIONS DURING COVID** at: [Application Forms / Materials | Wilton CT](#)
- * All submitted plans and documents shall bear an **original signature, seal, and license number** of the professional responsible for preparing each item. Maps should be **folded, not rolled**.

- ___ **APPLICATION FORM**
- ___ **A-2 SURVEY** of the subject property showing all existing building and site conditions.
- ___ **SITE DEVELOPMENT PLAN** showing all proposed additions, amendments and/or site improvements, including building elevations, septic systems, wells, and all measurements pertaining to the application, such as location and distance(s) of proposed structures and/or improvements from the subject property lines.
- ___ **LOCATION MAP** - available here: [map.pdf \(wiltonct.org\)](#). Site location shall be identified on map.
- ___ **DIRECTIONS** to subject property from Town Hall, 238 Danbury Road, Wilton, CT (e.g. hand-written, computer-generated or similar).
- ___ **LIST OF PREVIOUS ZONING VARIANCES** – available here: [History of Previous Variances | Wilton CT](#)
- ___ **PHOTOGRAPHS** of property showing building and site conditions from all geographic perspectives.
- ___ **ONE COPY OF DEED** (Available in Town Clerk’s Office)
- ___ **LIST OF OWNERS WITHIN 500'** of any portion of the subject property as shown by Tax Map & Lot #.
[See online GIS instructions at: [owner list 500 ft gis directions 0.pdf \(wiltonct.org\)](#)]
- ___ **ENVELOPES**, addressed to each property owner within 500’ of any portion of subject property.
[See “Envelopes Instructions” at: [envelopes instructions.pdf \(wiltonct.org\)](#)]
- ___ **ELECTRONIC SUBMISSION** of all materials (**Consolidated into 1-2 PDFs Maximum**), emailed to michael.wrinn@wiltonct.org and daphne.white@wiltonct.org
- ___ **TWO #10 (4”x 9.5”) PLAIN ENVELOPES** addressed to the applicant (No Return Address)
- ___ **\$310 FILING FEE** payable to: Town of Wilton

IS THE SUBJECT PROPERTY LOCATED WITHIN 500 FEET OF THE **MUNICIPAL BORDER**? YES or NO

IS THE SUBJECT PROPERTY LOCATED WITHIN THE **PUBLIC WATER SUPPLY WATERSHED BOUNDARY**? YES or NO [If YES, see DPH Addendum Form here: [watercompanyanddphnotification.pdf \(wiltonct.org\)](#)]

IS THE SUBJECT PROPERTY LOCATED IN THE **FLOOD PLAIN**? YES or NO


WHEN WAS THE SUBJECT PROPERTY **PURCHASED**? _____

IN WHAT YEAR WAS THE MAIN STRUCTURE **CONSTRUCTED**? _____

SITE COVERAGE PROPOSED: _____ **BUILDING COVERAGE PROPOSED:** _____
(AS PERCENTAGE OF SITE) (AS PERCENTAGE OF SITE)

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Board have been submitted.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.



 APPLICANT’S SIGNATURE DATE EMAIL ADDRESS TELEPHONE

 OWNER’S SIGNATURE DATE EMAIL ADDRESS TELEPHONE

ZONING BOARD OF APPEALS
TOWN OF WILTON, CONNECTICUT
Town Hall Annex, 238 Danbury Road, Wilton, CT 06897

HELPFUL INFORMATION FOR VARIANCE APPLICATIONS

1. WHAT IS A VARIANCE? A VARIANCE is an exception granted by the Zoning Board of Appeals (ZBA) from the terms or standards of the Zoning Regulations for an individual property where, because of special conditions, a literal enforcement of the Regulations would result in exceptional difficulty or unusual hardship. However, a variance **MUST** still be in harmony with the general intent of the Town's Plan of Conservation and Development and not contrary to public welfare.
2. The granting of a VARIANCE is a fine balance between attempting to maintain the Town's Plan of Conservation and Development of uniformly regulated districts, and the need to provide relief from the terms or standards in individual circumstances. VARIANCES are granted only for individual parcels and for particular purposes.
3. It is the applicant's obligation to present and establish hardship. Financial impacts or self-created conditions or an inability to use a property at its maximum potential or reasons that the proposed change would not adversely affect the neighborhood are not considered a hardship in this context. Hardship is generally seen as a physical or restrictive imposition beyond the reasonable control of the owner.
4. The ZBA may attach conditions to a granted VARIANCE in order to make them more in harmony with the purpose of the Zoning Regulations. Typical conditions that could be attached to a setback variance might include the installation of a screen or buffer.
5. Prior to submitting an application for a residential or commercial variance, please consult with the office staff and become familiar with the current Zoning Regulations which apply towards the property or project in question. The office staff can help answer questions and guide you in finding the information required for a complete application. Professional Land or Resource Planners and Land Use Attorneys may also be helpful.
6. Complete applications for either a RESIDENTIAL or COMMERCIAL PROPERTY VARIANCE are received in the ZBA Office, located within the Planning and Zoning (P&Z) Office in the Town Hall Annex, 238 Danbury Road, Wilton, CT, 06897. The office is open Monday through Friday, 8:00 A.M. to 4:00 P.M. Telephone: (203) 563-0185.
7. Please **TYPE** or print clearly all materials and application forms.
8. The deadline for receipt of a completed application is the **TWENTY FIFTH (25) of EACH MONTH**, for eligibility for a PUBLIC HEARING the following month. Only a complete application can be accepted.
9. The ZBA has scheduled meetings on the third Monday of each month, excluding August. If the third Monday is a holiday, the meeting is held on Tuesday. A copy of the official meeting schedule may be obtained online: [Application Forms / Materials | Wilton CT](#)
10. Much of the required information may be found by researching the land records online, per instructions provided. .

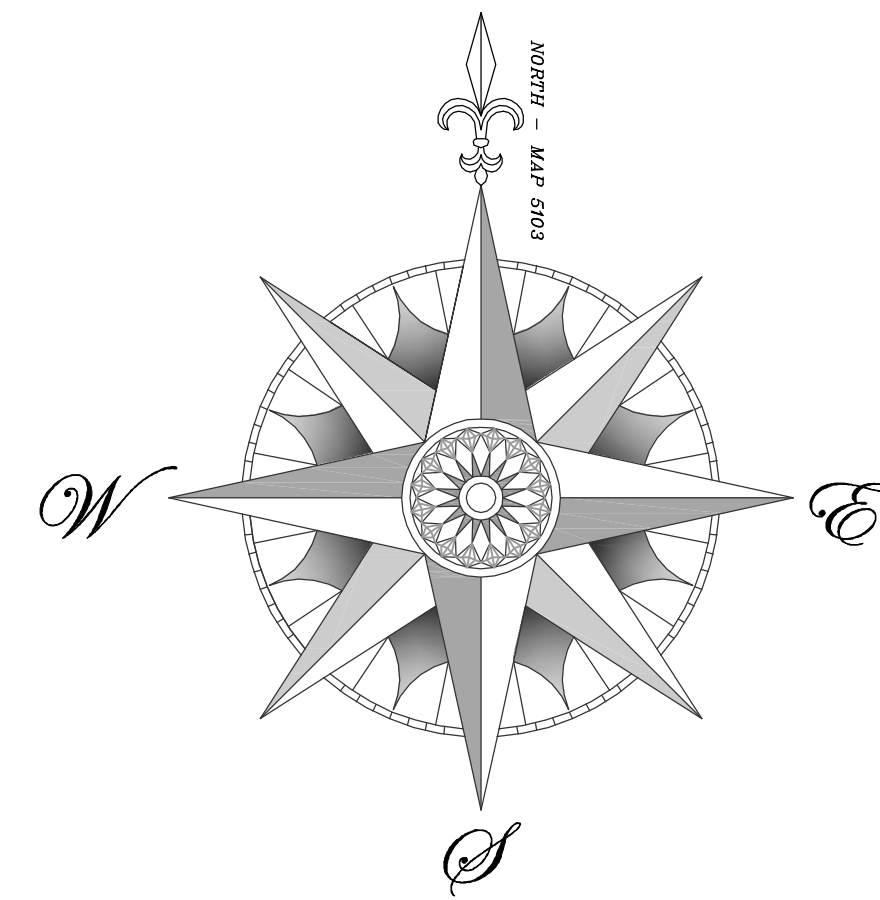
BRIEF EXPLANATION OF REQUIRED APPLICATION MATERIALS

<u>WLR MAP #</u>	Wilton Land Record map number filed in the Town Clerk's Office.
<u>VOLUME and PAGE</u>	Deed reference filed in the Town Clerk's Office. Also available here under Book & Page: <u>Vision Government Solutions (vgsi.com)</u>
<u>TAX MAP #, LOT #</u>	Refers to Assessor's records. Available here: <u>Vision Government Solutions (vgsi.com)</u> .
<u>ACREAGE</u>	Refers to the acreage of the subject parcel.

<u>LOCATION MAP</u>	Available here: <u>map.pdf (wiltonct.org)</u>
<u>CLASS A-2 SURVEY MAP</u>	Prepared by a licensed Connecticut Land Surveyor. Consult Town Clerk's Office and/or Building Dept microfiche for filed surveys.
<u>SITE DEVELOPMENT PLAN</u>	A map drawn to scale and in tandem with the above survey showing the existing and proposed conditions, including building elevations.
<u>LIST OF PREVIOUS ZONING VARIANCES</u>	Recorded in the Town Clerk's Office and also available here: <u>History of Previous Variances Wilton CT</u>
<u>LIST OF OWNERS WITHIN 500'</u>	Name and <u>mailing</u> address of the owners of properties within 500 feet of any portion of the subject property, including public and semi-public parcels. Directions here: <u>owner_list_500_ft_gis_directions_0.pdf (wiltonct.org)</u>

ZONING INFORMATION

ITEM	REQUIRED/ PERMITTED		EXISTING
ZONE: R-2A RESIDENCE			
FRONT SETBACK:	50'	MIN.	50.0'
REAR:	50'	MIN.	220.9'
SIDE:	40'	MIN.	41.8'
LOT WIDTH:	200'	MIN.	194.9'
LOT AREA:	87,120 S.F.		57,811 S.F.
BUILDING HEIGHT:	35'	MIN. MAX.	
No. STORIES:	2.5	MAX.	2.5
LOT COVERAGE- BUILDING:	7% = 4,046 S.F.	MAX.	3,705 S.F. = 6.4%
LOT COVERAGE- SITE:	12% = 6,937 S.F.	MAX.	6,710 S.F. = 11.6%



N/F
JASON & WENDY LANE
#71 HURLBUTT STREET
DEED VOL. 2528, PG. 899 W.L.R.

N/F
ALEX SHERMAN & IVY BAER
#17 SHADOW LANE
DEED VOL. 765, PG. 112 W.L.R.

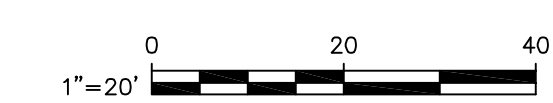
N/F
MARILYN BARKOWSKI
#10 BANKS DRIVE
DEED VOL. 1920, PG. 2 W.L.R.

AREA
1.327 ACRES

NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as an Existing Building Location Survey and Partial Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and the locations and elevations of which conform to Topographic Accuracy Class T-2 and intended to be used for verification of zoning compliance with respect to the location of improvements depicted hereon.
- Reference is made to Map 5103 of the Wilton Land Records (W.L.R.).
- Reference is made to Deed Vol. 2495, Pg. 1145 W.L.R.
- Elevations depicted hereon are based on assumed datum.
- Property located in R-2A Residence Zone.
- Reference is made to FEMA Flood Insurance Rate Map No. 09001C0384F, Effective Date 6/18/2010. Subject Parcel does not lie within a Special Flood Hazard Area.
- Septic System depicted hereon has been transcribed from "As-Built" Plan on file in the Office of the Department of Health of the Town of Wilton. Locations are to be considered approximate.

EXISTING BUILDING LOCATION
& PARTIAL TOPOGRAPHIC SURVEY
65 HURLBUTT STREET
PREPARED FOR
**JAMES LAWRENCE O'HALLORAN
& BECKY AVA O'HALLORAN**
WILTON, CONNECTICUT



TO MY KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

DOUGLAS R. FAULDS
LAND SURVEYOR - CONN., LIC. No. 13292

SEPTEMBER 17, 2021

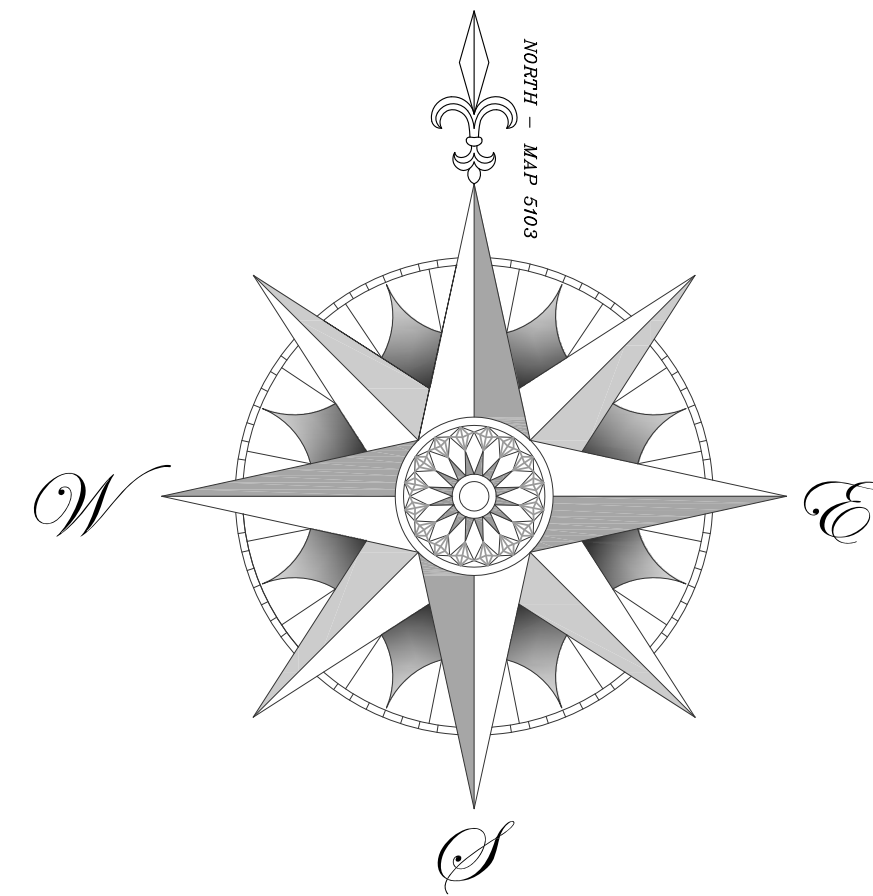


11 GRUMMAN HILL ROAD
WILTON, CT 06897
Ph. (203) 762-9492 ryanandfaulds.com

ZONING INFORMATION

ITEM	REQUIRED/ PERMITTED		EXISTING	PROPOSED
ZONE: R-2A RESIDENCE				
FRONT SETBACK:	50'	MIN.	50.0'	no change
REAR:	50'	MIN.	220.9'	175.2' (PROPOSED POOL)
SIDE:	40'	MIN.	41.6'	no change
LOT WIDTH:	200'	MIN.	194.9'	no change
LOT AREA:	87,120 S.F.	MIN.	57,811 S.F.	no change
No. STORIES:	2.5	MAX.	2.5	no change
LOT COVERAGE- BUILDING:	7% = 4,046 S.F.	MAX.	3,705 S.F. = 6.4%	4,360 S.F. = 7.5%
LOT COVERAGE- SITE:	12% = 6,937 S.F.	MAX.	6,710 S.F. = 11.6%	7,395 = 12.8%

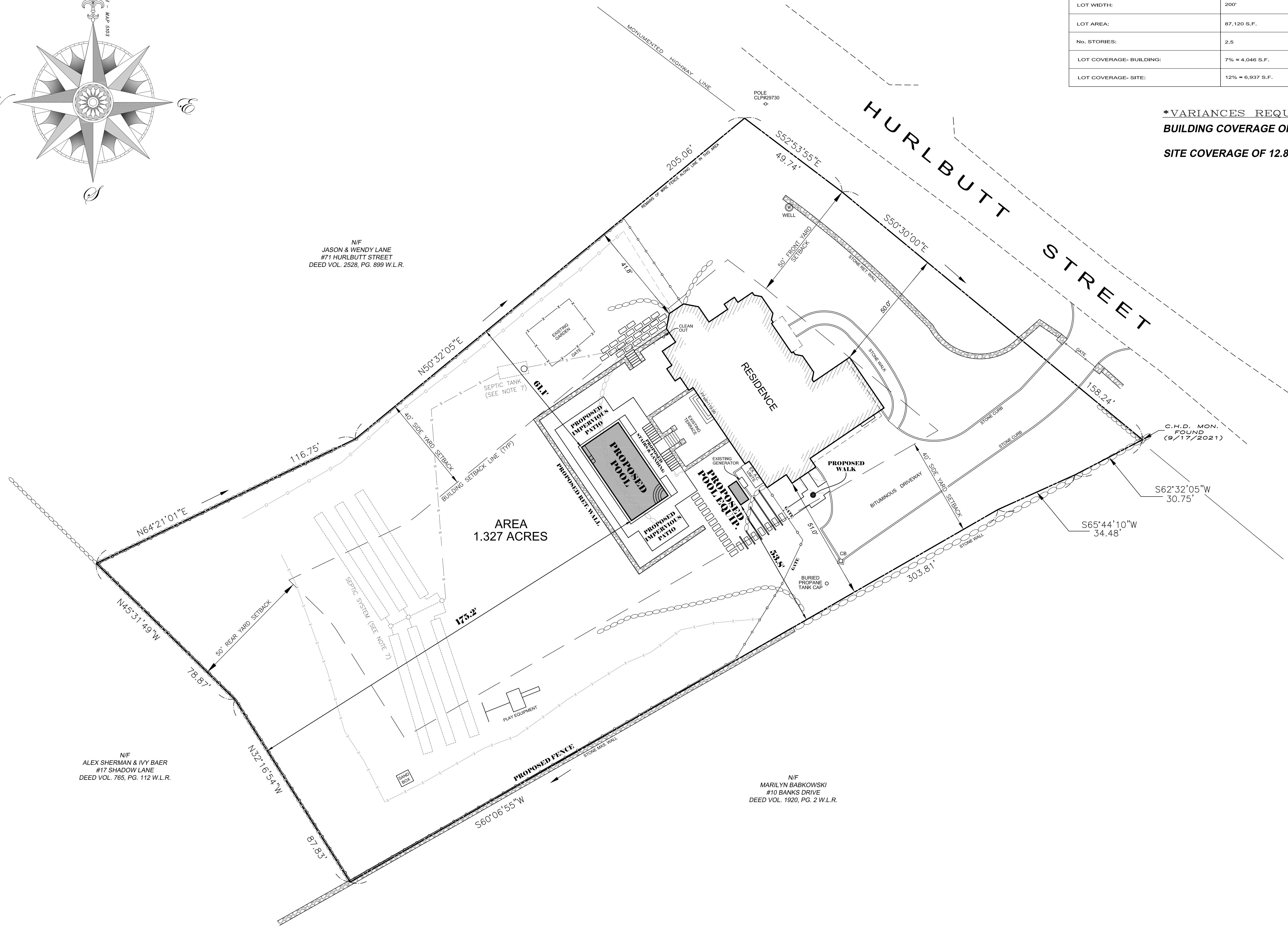
***VARIANCES REQUIRED (SEC. 29-5.D)**
BUILDING COVERAGE OF 7.5% IN LIEU OF 7% MAXIMUM ALLOWED
SITE COVERAGE OF 12.8% IN LIEU OF 12% MAXIMUM ALLOWED



N/F
 JASON & WENDY LANE
 #71 HURLBUTT STREET
 DEED VOL. 2528, PG. 899 W.L.R.

N/F
 ALEX SHERMAN & IVY BAER
 #17 SHADOW LANE
 DEED VOL. 765, PG. 112 W.L.R.

N/F
 MARILYN BABKOWSKI
 #10 BANKS DRIVE
 DEED VOL. 1920, PG. 2 W.L.R.



- NOTES:**
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 - Reference is made to Site Plan prepared by Hoffman Landscapes dated 7/26/2022.

ZONING LOCATION SURVEY
 DEPICTING
PROPOSED POOL AND ACCESSORIES
65 HURLBUTT STREET
 WILTON, CONNECTICUT
 PREPARED FOR
JAMES LAWRENCE O'HALLORAN &
BECKY AVA O'HALLORAN

Scale: 1" = 20'

Drawn By: CJV Date: 01/20/2023
 Checked By: LWP Comm. No: 8497-2
 To my knowledge and belief this map is substantially correct as noted herein.

Lawrence W. Posson, Jr.
 LAWRENCE W. POSSON, JR. CT. L.S. #18130
 1/24/2023
 DATE

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorised alterations render any declaration herein null & void.

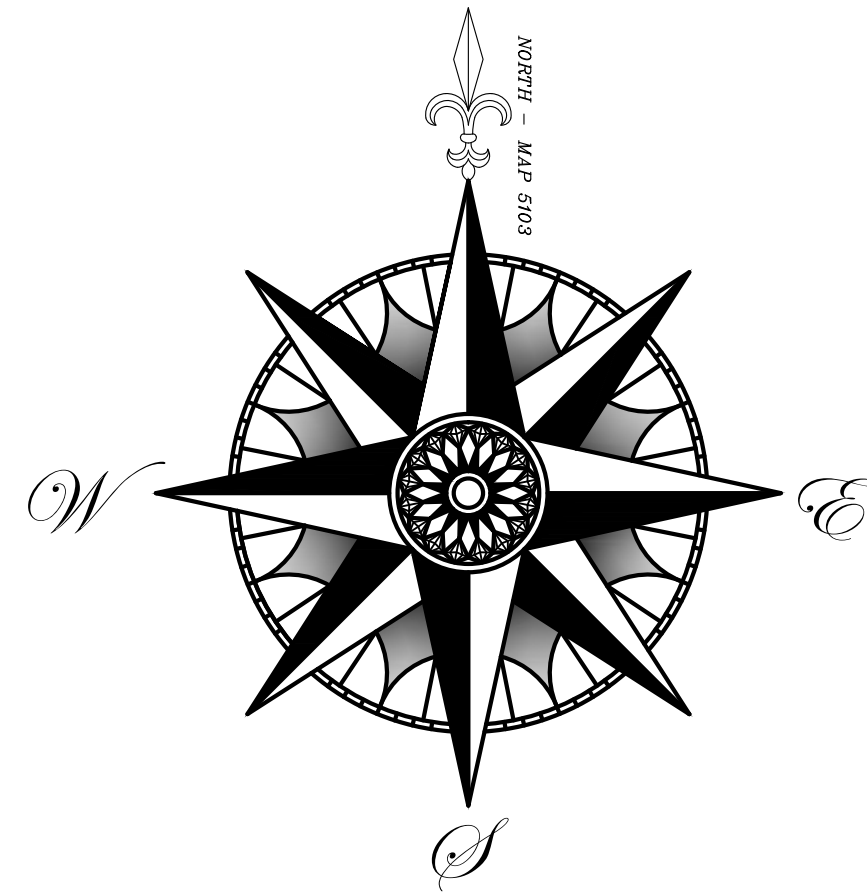
LAND SURVEYING
 CIVIL ENGINEERING
 PLANNING & ZONING CONSULTING
 PERMITTING

Sheet No: **ZLS**

LEGEND: -

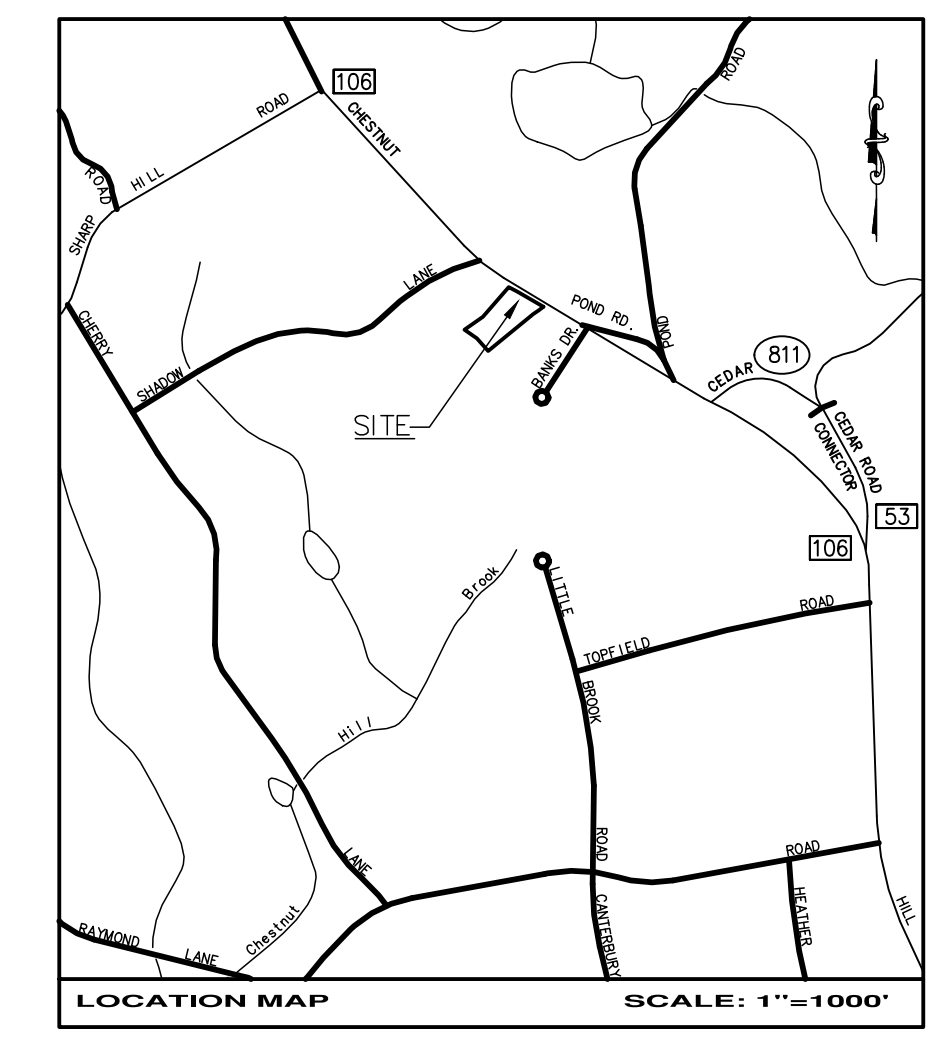
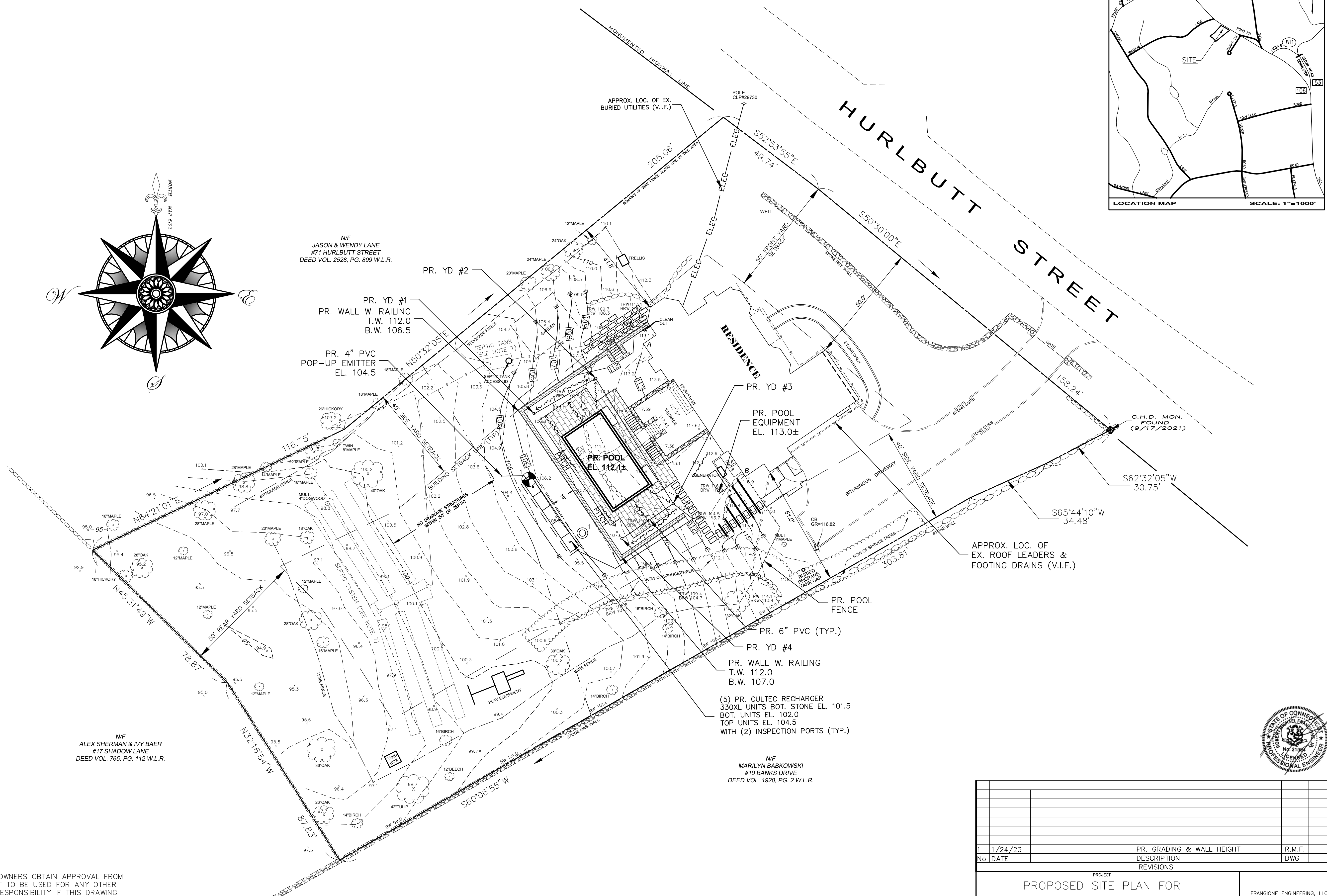
- APPROX. APPROXIMATE
- B.C. BOTTOM OF CURB
- BOT. BOTTOM
- B.W. BOTTOM OF WALL
- CB CATCH BASIN
- EL. ELEVATION
- F.L. FLOW LINE
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- LOC. LOCATION
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- T.C. TOP OF CURB
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- EX. EXISTING
- YD. YARD DRAIN
- V.I.F. VERIFY IN FIELD

- 90 — EXISTING CONTOUR LINE
- x 90.5 EXISTING SPOT ELEVATION
- 90 — PROPOSED CONTOUR LINE
- x 90.5 PROPOSED SPOT ELEVATION
- TREE
- XX — SEDIMENT BARRIER
- CF — CONSTRUCTION FENCE
- RL — ROOF LEADER
- FD — FOOTING DRAIN
- INFILTRATION TEST HOLE
- DEEP TEST HOLE
- TREE T.B.R.
- TREE TO BE PROTECTED



SURVEYOR'S NOTES:

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THE PURPOSE OF THIS PLAN IS TO ASSIST THE HOMEOWNERS OBTAIN APPROVAL FROM THE TOWN OF WILTON. IT IS NOT A SURVEY, NOR IS IT TO BE USED FOR ANY OTHER PURPOSE. FRANGIONE ENGINEERING, LLC TAKES NO RESPONSIBILITY IF THIS DRAWING IS USED FOR ANY PURPOSE OTHER THAN THAT WHICH WAS INTENDED.

ORIGINAL TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY RYAN & FAULDS LAND SURVEYORS ENTITLED "EXISTING BUILDING LOCATION & PARTIAL TOPOGRAPHIC SURVEY - 65 HURLBUTT STREET PREPARED FOR JAMES LAWRENCE O'HALLORAN & BECKY AVA O'HALLORAN", DATED SEPTEMBER 17, 2021. SURVEYOR'S NOTES SHOWN HEREON TAKEN FROM SAID SURVEY. FRANGIONE ENGINEERING, LLC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE ORIGINAL TOPOGRAPHIC INFORMATION.

UTILITY NOTE:
Underground utilities, facilities and structures have been plotted from surface indications and record sources. The locations of all underground utilities are approximate only. Additionally, there may be other underground utilities the existence of which is presently unknown. Any party utilizing the utility information and data depicted on this survey shall call "CALL BEFORE YOU DIG" at 800-922-4555 a minimum of forty eight (48) hours prior to any construction activities to verify the location of underground utilities.

- DRAINAGE NOTES:**
- EX. DRAINAGE PATTERNS SHALL BE MAINTAINED AT ALL TIMES.
 - POSITIVE DRAINAGE AWAY FROM HOUSE AND POOL SHALL BE MAINTAINED AT ALL TIMES.
 - ALL AREAS THAT ARE USED BY CONSTRUCTION EQUIPMENT AND USED FOR CONTRACTOR PARKING MUST HAVE SOIL TILLED 12" TO 16" AND AMENDED WITH SMALL AMOUNTS OF ORGANIC MATERIAL IF NEEDED.
 - ALL PR. DRAIN PIPES SHALL BE 6" SDR-35 PVC ASTM D3034 UNLESS OTHERWISE NOTED.
 - ALL PR. DRAIN PIPES SHALL BE PLACED A MINIMUM OF 5" FROM ANY PART OF THE PR. SEPTIC SYSTEM.
 - REFER TO DRAINAGE STRUCTURE ELEVATION CHART FOR YARD DRAIN INVERTS.
 - EX. ROOF LEADER & FOOTING DRAIN OUTFALL TO BE V.I.F. BY CONTRACTOR PRIOR TO CONSTRUCTION.

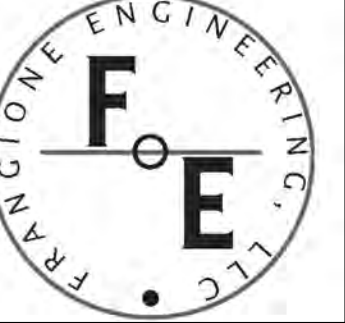
TOTAL AREA = 1.327 ACRES
(57,804 SQ. FT.)
ZONE IS "R-2A" RESIDENCE ZONE

Drainage Structure Elevation Chart				
Structure ID	Grate El.	F.L. In	F.L. Out	Sump
YD #1	111.7	-	109.7	107.7
YD #2	111.7	109.1	109.0	107.0
YD #3	111.7	107.8	107.7	105.7
YD #4	111.7	-	109.7	107.7



1	1/24/23	PR. GRADING & WALL HEIGHT	R.M.F.
No	DATE	DESCRIPTION	DWG
REVISIONS			
PROJECT PROPOSED SITE PLAN FOR JAMES & BECKY O'HALLORAN 65 HURLBUTT STREET WILTON CONNECTICUT			
DRAWING NAME OVERALL SITE PLAN			
SCALE	1" = 20'	MUNICIPALITY	WILTON
DATE	NOVEMBER 21, 2022	SHEET	1 OF 3
DRAWN	R.M.F.	ASSESSOR'S MAP	31
FILE NAME:	S1		

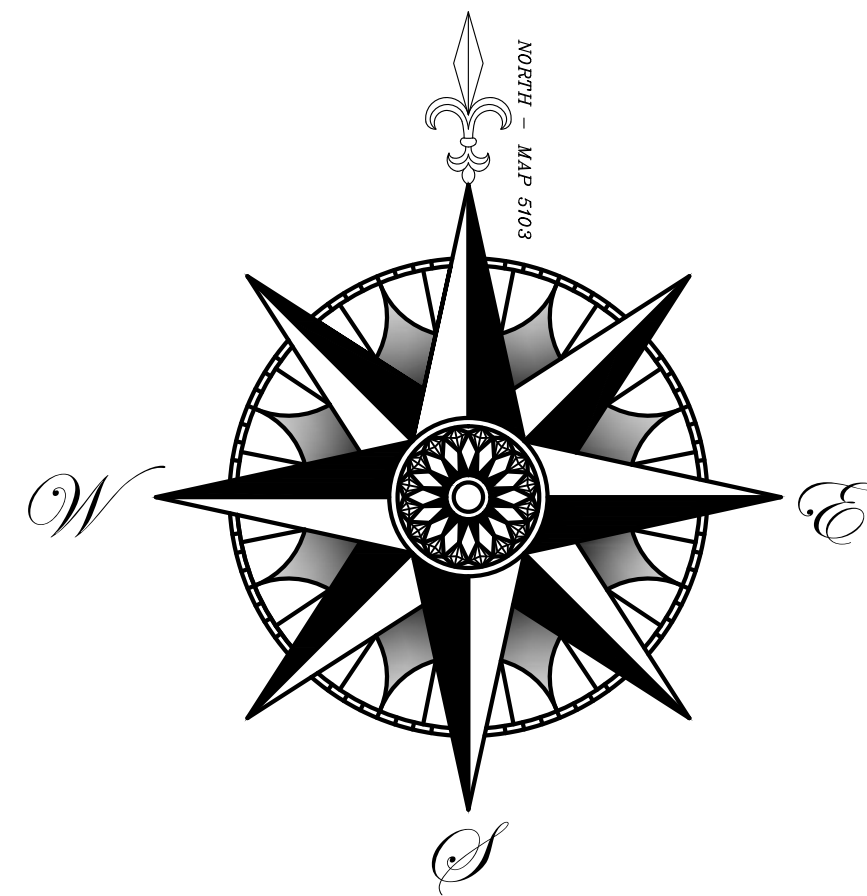
FRANGIONE ENGINEERING, LLC
 CIVIL ENGINEERING
 STRUCTURAL ENGINEERING
 LAND DEVELOPMENT
 15 SNOWBERRY LANE
 NEW CANAAN, CT 06840
 (203) 554-9551 (PHONE)
 (203) 966-6957 (FAX)



LEGEND: -

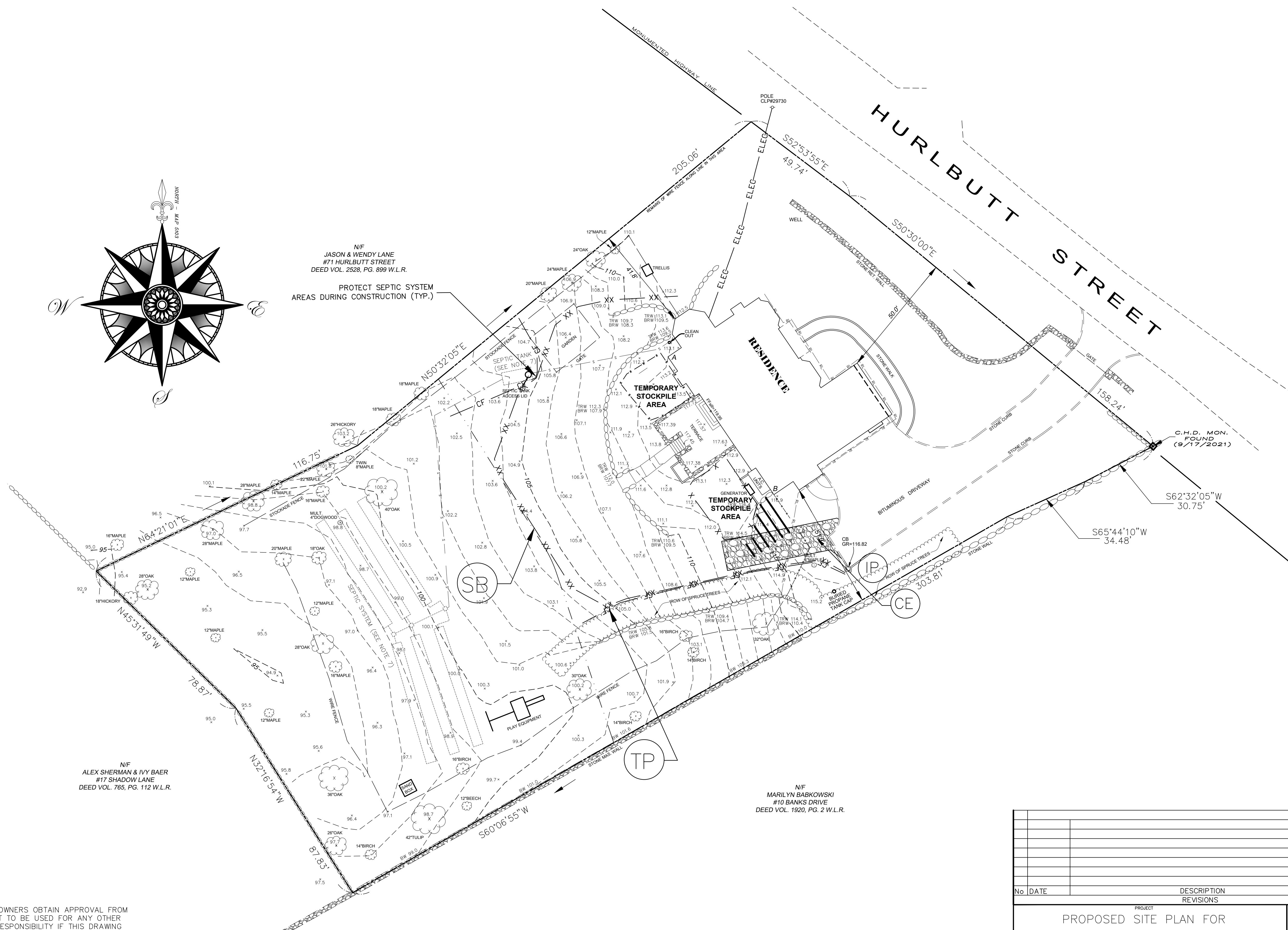
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N/F
ALEX SHERMAN & IVY BAER
#17 SHADOW LANE
DEED VOL. 765, PG. 112 W.L.R.

N/F
MARILYN BABKOWSKI
#10 BANKS DRIVE
DEED VOL. 1920, PG. 2 W.L.R.

TOTAL AREA = 1.327 ACRES
(57,804 SQ. FT.)
ZONE IS "R-2A" RESIDENCE ZONE

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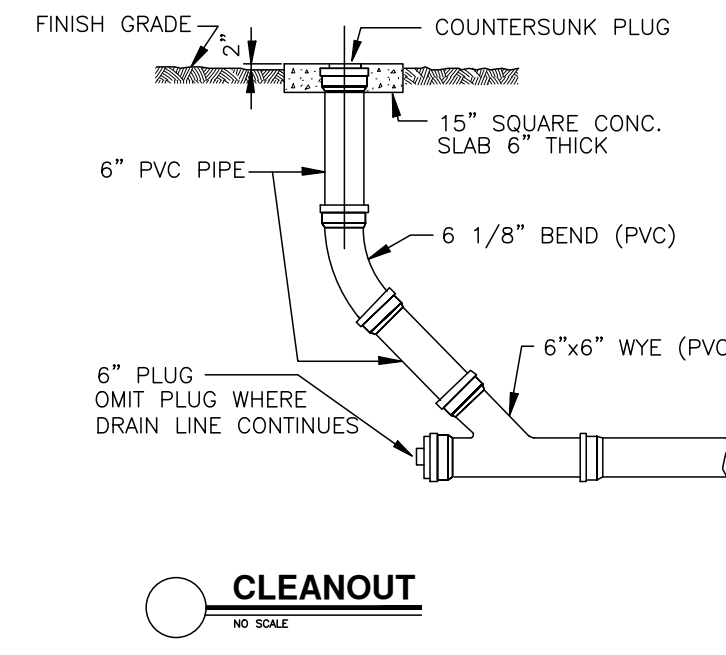
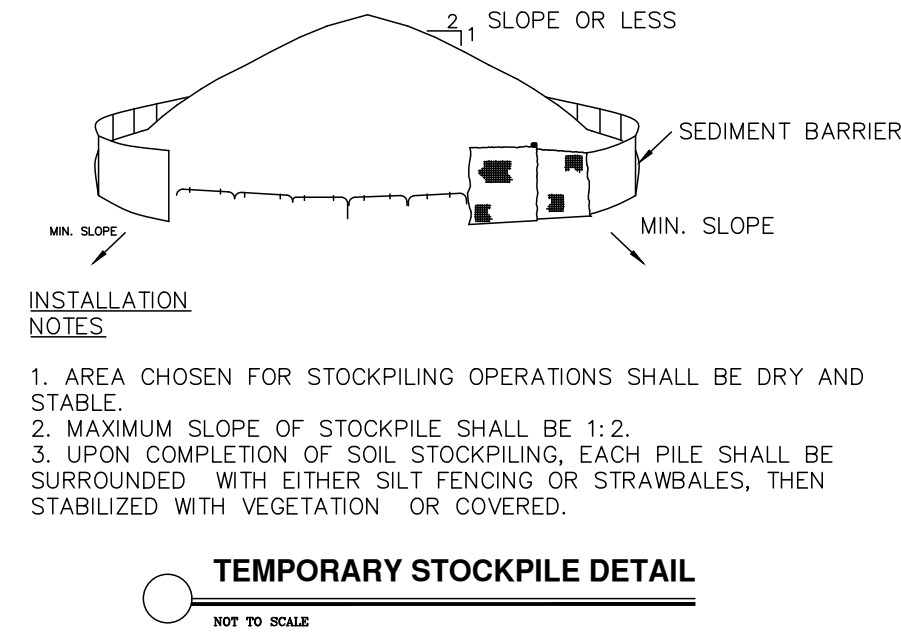
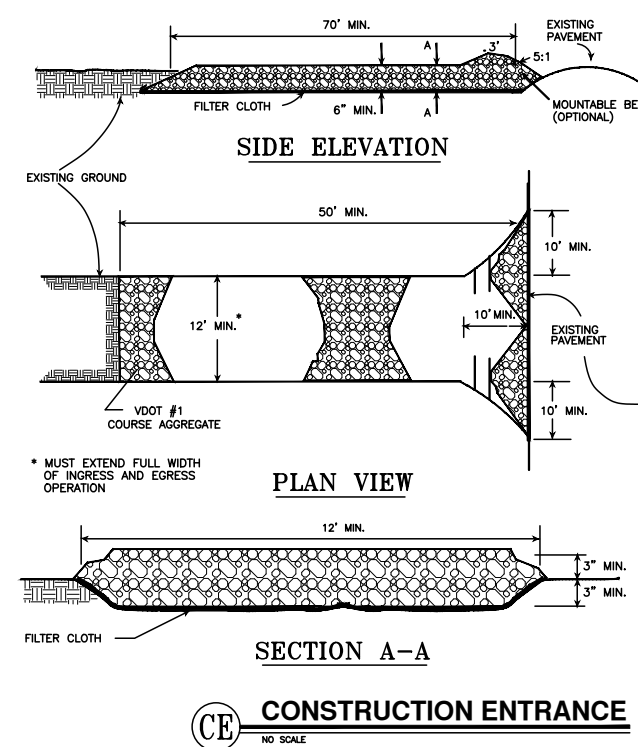
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No.	DATE	DESCRIPTION	DWG
REVISIONS			
PROJECT			
PROPOSED SITE PLAN FOR JAMES & BECKY O'HALLORAN			
65 HURLBUTT STREET WILTON CONNECTICUT			
DRAWING NAME			
EROSION CONTROL PLAN			
SCALE	1" = 20'	MUNICIPALITY	WILTON
DATE	NOVEMBER 21, 2022	SHEET	2 OF 3
DRAWN	R.M.F.	ASSESSOR'S MAP	31
		LOT	25
FILE NAME:	S2		

FRANGIONE ENGINEERING, LLC
15 SNOWBERRY LANE
NEW CANAAN, CT 06840
(203) 554-9551 (PHONE)
(203) 966-6957 (FAX)

Soil Data	DEEP TEST INFILTRATION TEST	Hole #	10/27/2022
Soil Type			
TOPSOIL		0 - 6"	
MISC. FILL		6" - 30"	
GRAY SANDY FILL		30" - 48"	
ORIGINAL TOPSOIL		48" - 60"	
GRAY BROWN SILTY SAND		60" - 96"	
MOTILES		-	
AGW		-	
LEDGE		-	
ROOTS		-	
INFILTRATION RATE		4.08 in./hr.	
65 HURLBUTT ST.			



GENERAL SEDIMENTATION AND EROSION CONTROL NOTES

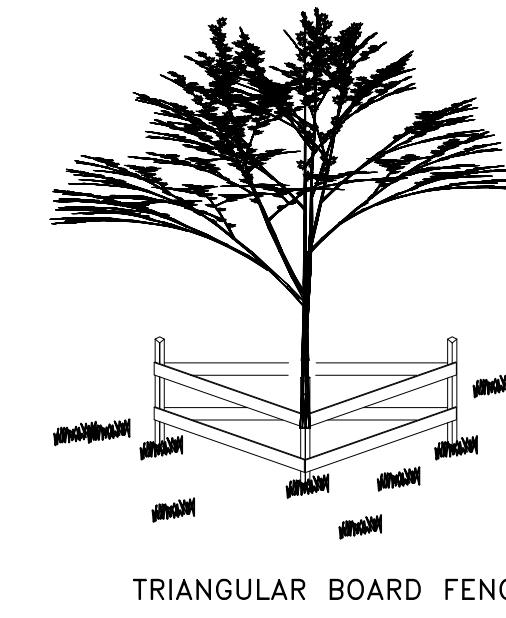
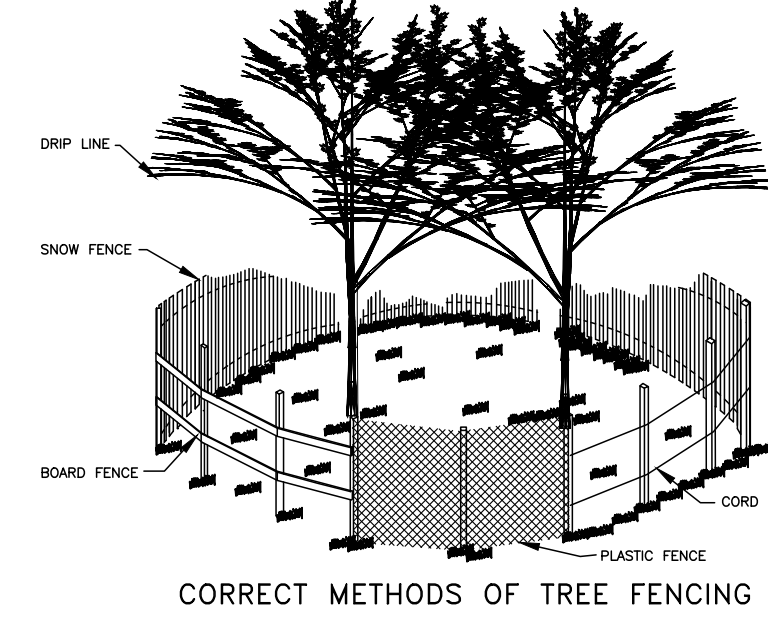
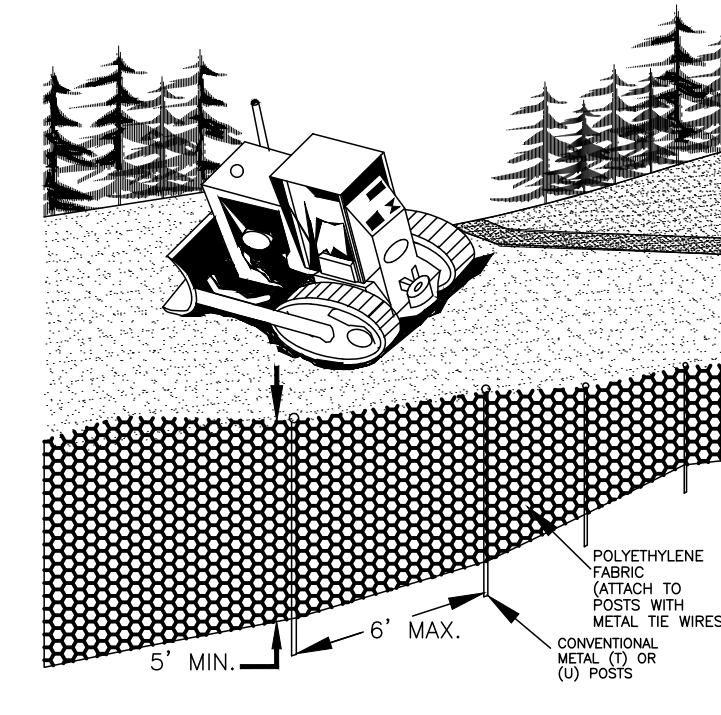
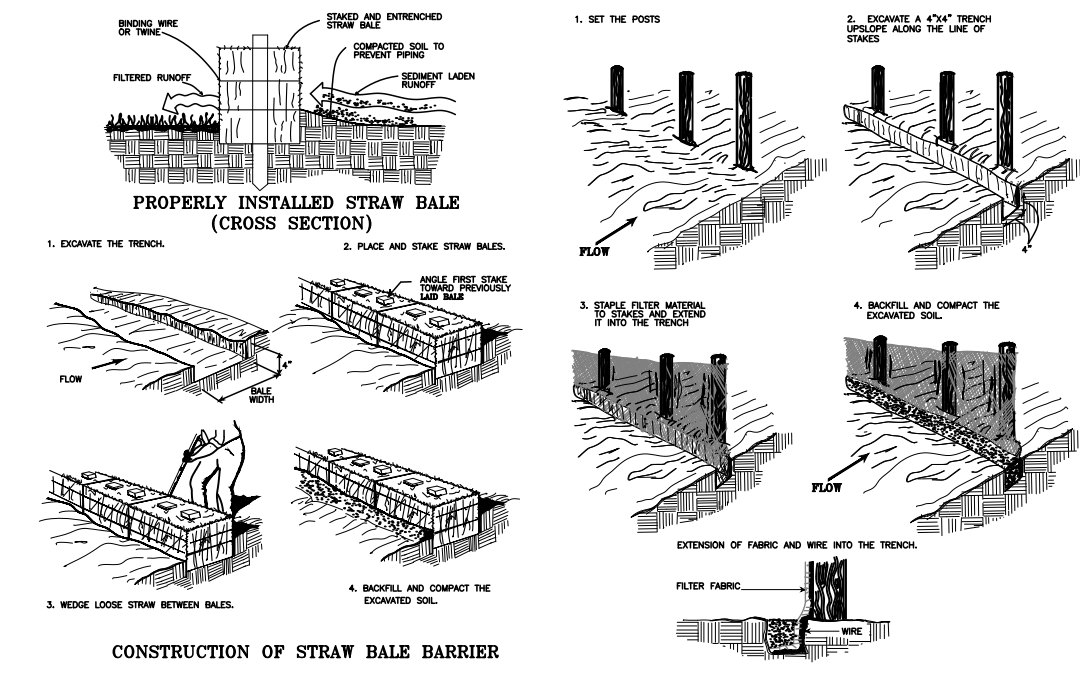
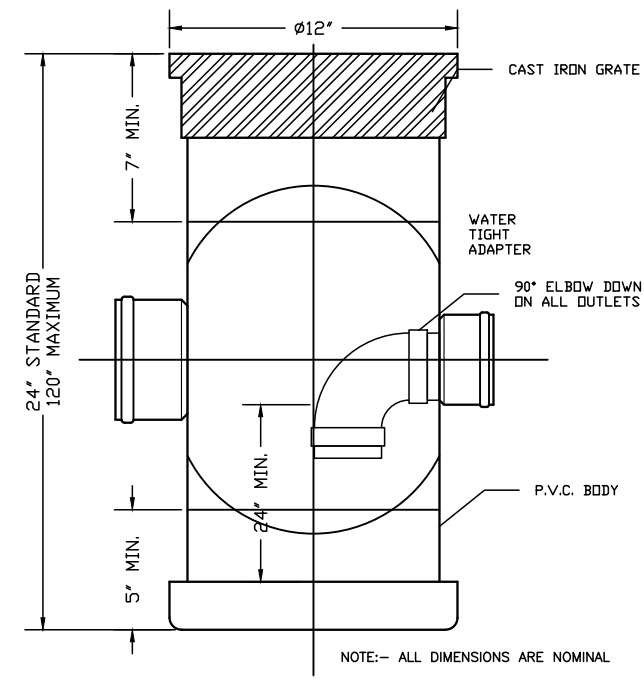
1. A SEDIMENT BARRIER WILL BE ERECTED AROUND THE DOWNSLOPE PERIMETER OF ALL CONSTRUCTION ACTIVITIES. IN ADDITION TO THOSE SHOWN ON THE PLAN, ADDITIONAL CONTROLS WILL BE INSTALLED AS DEEMED NECESSARY BY THE GENERAL CONTRACTOR IN RESPONSE TO SITE CONDITIONS.
2. CUT AND/OR FILL SLOPES OF GREATER THAN 2 ON 1 REMAINING IN ROUGH GRADE WILL BE MULCHED AND SEEDED.
3. THE AMOUNT OF NATURAL VEGETATION REMOVED WILL BE MINIMIZED. ALL DISTURBED AREAS NOT SCHEDULED FOR CONSTRUCTION WITHIN 60 DAYS WILL BE MULCHED WITH UNROTTED STRAW OR HAY AND SEEDED. MULCH WILL BE APPLIED AT 90 LBS. PER 1000 SQ. FT.
4. ALL STOCKPILES LEFT FOR MORE THAN 1 MONTH WILL BE RINGED WITH SEDIMENT BARRIERS.
5. AT LEAST 50 FEET OF SILT FENCE AND/OR 30 FT. OF HAYBALES WILL BE STOCKPILED ON SITE FOR EMERGENCY USE.
6. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE PLACED IN AN APPROVED UPLAND SITE, A SUFFICIENT DISTANCE FROM ALL CONTROLLED ENVIRONMENTS.
7. UPON FINAL GRADING THE OPEN SOIL HORIZONS ARE TO BE IMMEDIATELY PLACED IN SEED. OPTIMUM SUCCESS IN ESTABLISHING PLANTS ON SLOPES IS ACHIEVED WHERE SLOPE ANGLES DO NOT EXCEED 3 HORIZONTAL TO ONE VERTICAL. THESE SOILS SHOULD NOT CONTAIN GREATER THAN 8% CLAY.
8. CONSTRUCTION ENVELOPES ARE TO BE DELINEATED WITH HIGH VISIBILITY BARRICADE TAPE, SNOW FENCE OR PLASTIC NETTING.
9. TREES IN A CLOSE PROXIMITY TO CONSTRUCTION ACTIVITIES ARE TO BE PROTECTED WITH SNOW FENCE OR A COMPARABLE BARRIER PLACED AT THE DRIPLINE.
10. METHODS FOR PROPER DESIGN AND INSTALLATION OF CONTROL MEASURES MAY BE FOUND IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
11. UTILITY TRENCHES ARE TO BE COMPLETED, SEEDED AND MULCHED WITHIN 15 DAYS AFTER BACKFILL.
12. ANY DISTURBED AREA NOT PAVED, SODDED OR BUILT UPON BY NOVEMBER 1ST IS TO BE SEEDED ON THAT DATE WITH OATS, BRUZZI RYE, OR EQUIVALENT AND MULCHED WITH HAY OR STRAW.
13. DRAINAGE OUTLETS ARE TO BE PROTECTED WITH SPLASH GUARDS OR STONE AND/OR LEVEL SPREADERS.
14. ALL EROSION CONTROL DEVICES SHALL BE INSPECTED (AND REPAIRED IF NECESSARY) EVERY TWO WEEKS AND/OR AFTER EVERY RAIN STORM OF 0.5" OR GREATER.

PROJECT NOTES

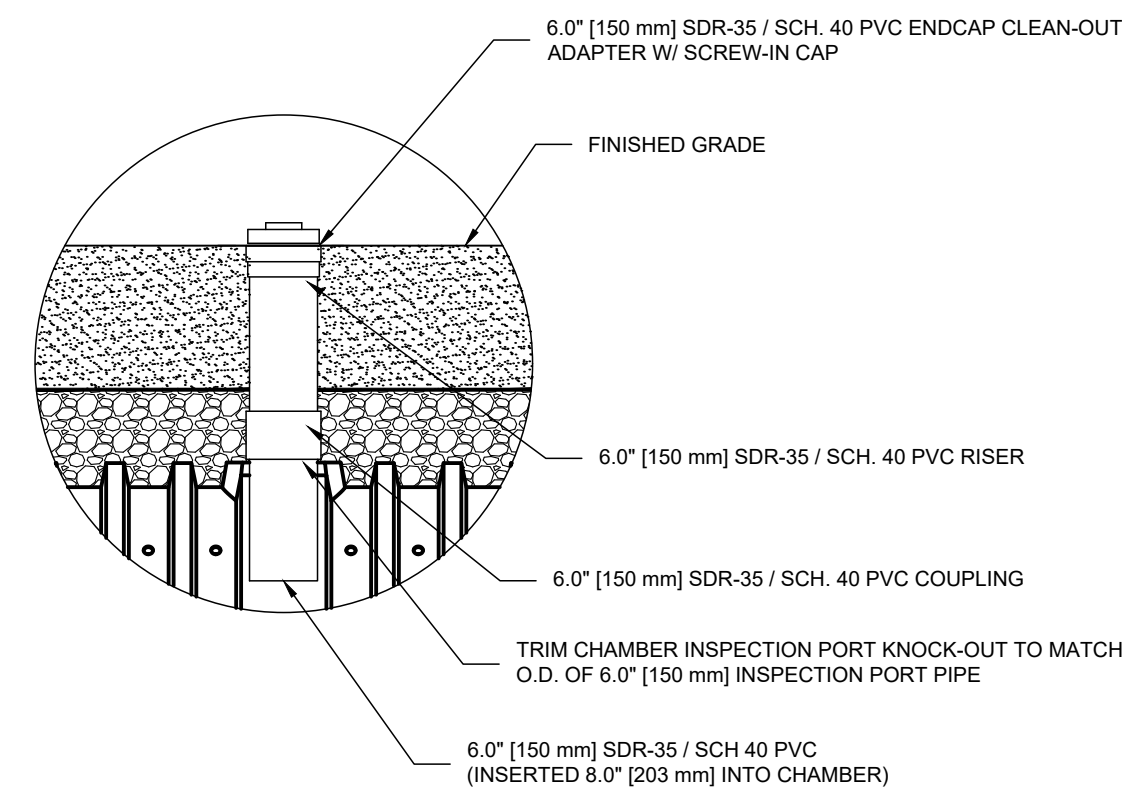
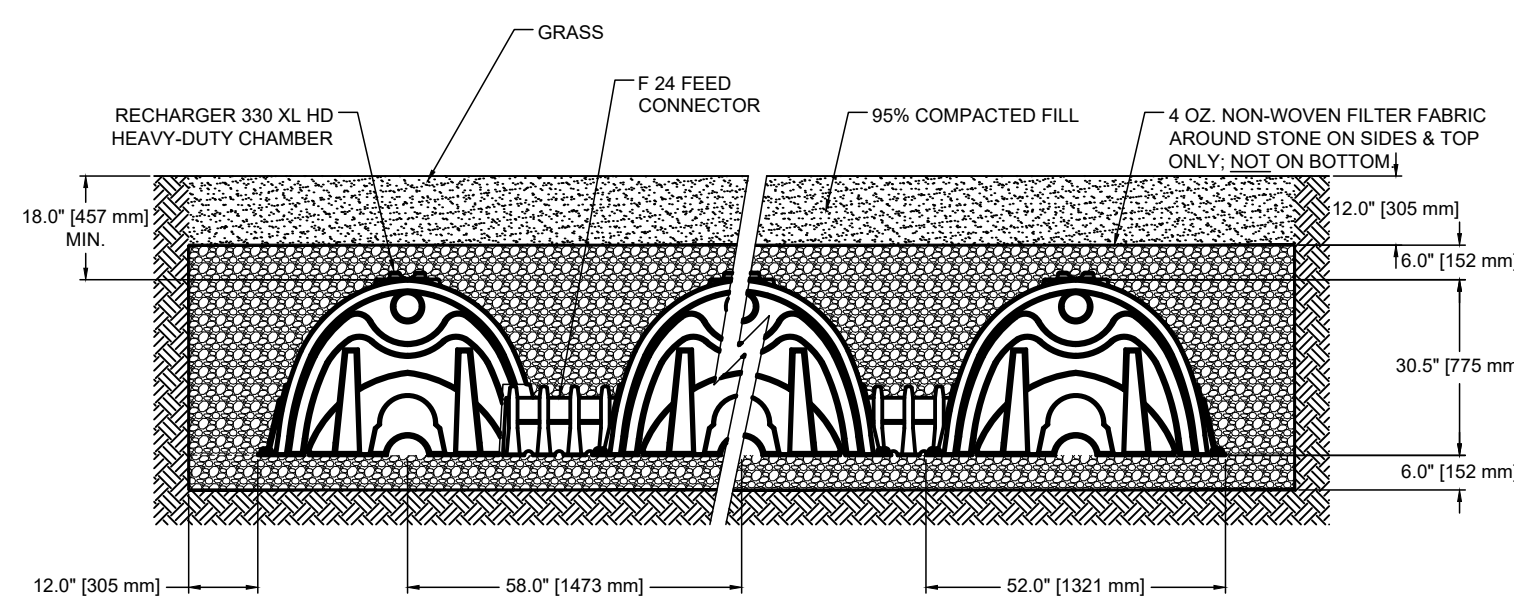
1. ALL SEDIMENTATION AND EROSION CONTROLS ARE TO BE INSTALLED PRIOR TO START OF DEMOLITION AND CONSTRUCTION.
2. MACHINERY ACCESS WILL BE VIA THE EXISTING DRIVEWAY.
3. ALL FILL & EXCAVATION WILL BE LIMITED TO PROPOSED ACTIVITIES.
4. PROPOSED ACTIVITIES ARE GENERALLY SITED WHERE CONCEPTUALLY APPROVED.

GENERAL CONSTRUCTION SEQUENCE

1. ERMACEMENT OF THE SEDIMENTATION & EROSION CONTROLS - NOTE MULTIPLE ROWS OF SILT FENCE TO COORDINATE WITH SEPARATE AREAS OF SITE DISTURBANCE.
2. DELINEATION OF THE CONSTRUCTION ENVELOPES WITH HIGH-VISIBILITY BARRICADE TAPE OR SNOW FENCE.
3. CLEARING WITHIN THE AREA FOR THE PROPOSED ACTIVITY.
4. TOPSOIL REMOVAL AND STOCKPILING IN STABILIZED AREA, STABILIZED WITH MULCH AND/OR RINGED WITH SEDIMENT BARRIERS.
5. INSTALL CULTEC UNITS AND ASSOCIATED PIPING.
6. BUILD RETAINING WALL.
7. EXCAVATION FOR POOL.
8. POOL & PATIO CONSTRUCTION.
9. INSTALL YARD DRAINS AND ASSOCIATED PIPING - COMPLETE CONNECTIONS TO CULTEC UNITS.
10. FINAL DRAINAGE AND UTILITY CONNECTIONS.
11. DRIVEWAY RE-CONSTRUCTION AS NEEDED.
12. FINAL GRADING & LANDSCAPING.
13. CONSTRUCTION PHASES WILL OCCUR SIMULTANEOUSLY AS LONG AS THE SITE IS STABLE AND EROSION CONTROLS ARE FUNCTIONING.



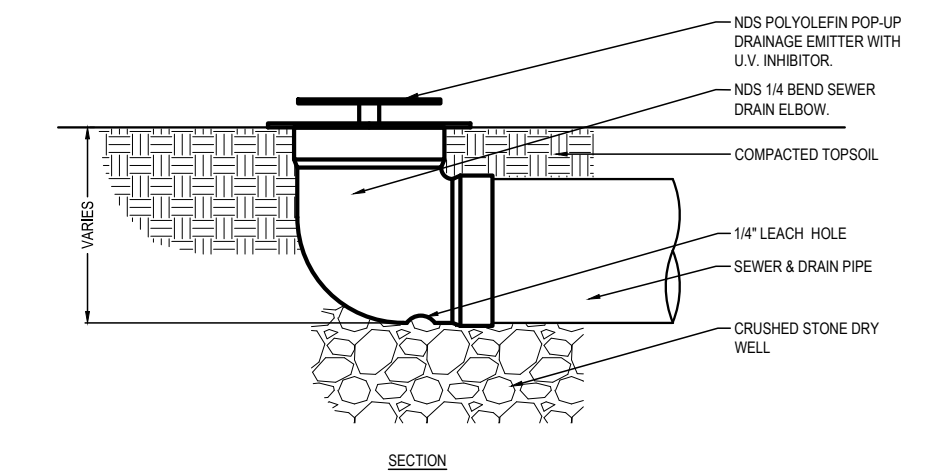
TREE PROTECTION
NO SCALE



GENERAL NOTES
RECHARGER 330 XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF (PER DESIGN UNIT). REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
USE RECHARGER 330 XL HD HEAVY DUTY FOR TRAFFIC AND/OR HD APPLICATIONS.
ALL RECHARGER 330 XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 330 XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
REMOVE ALL MISC. FILL & SCARIFY NATIVE SOILS TO PROMOTE INFILTRATION.

NDS
We put water in its place

NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 95247
TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndspro.com



- NOTES**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

NDS
REVISION DATE 8-24-2015

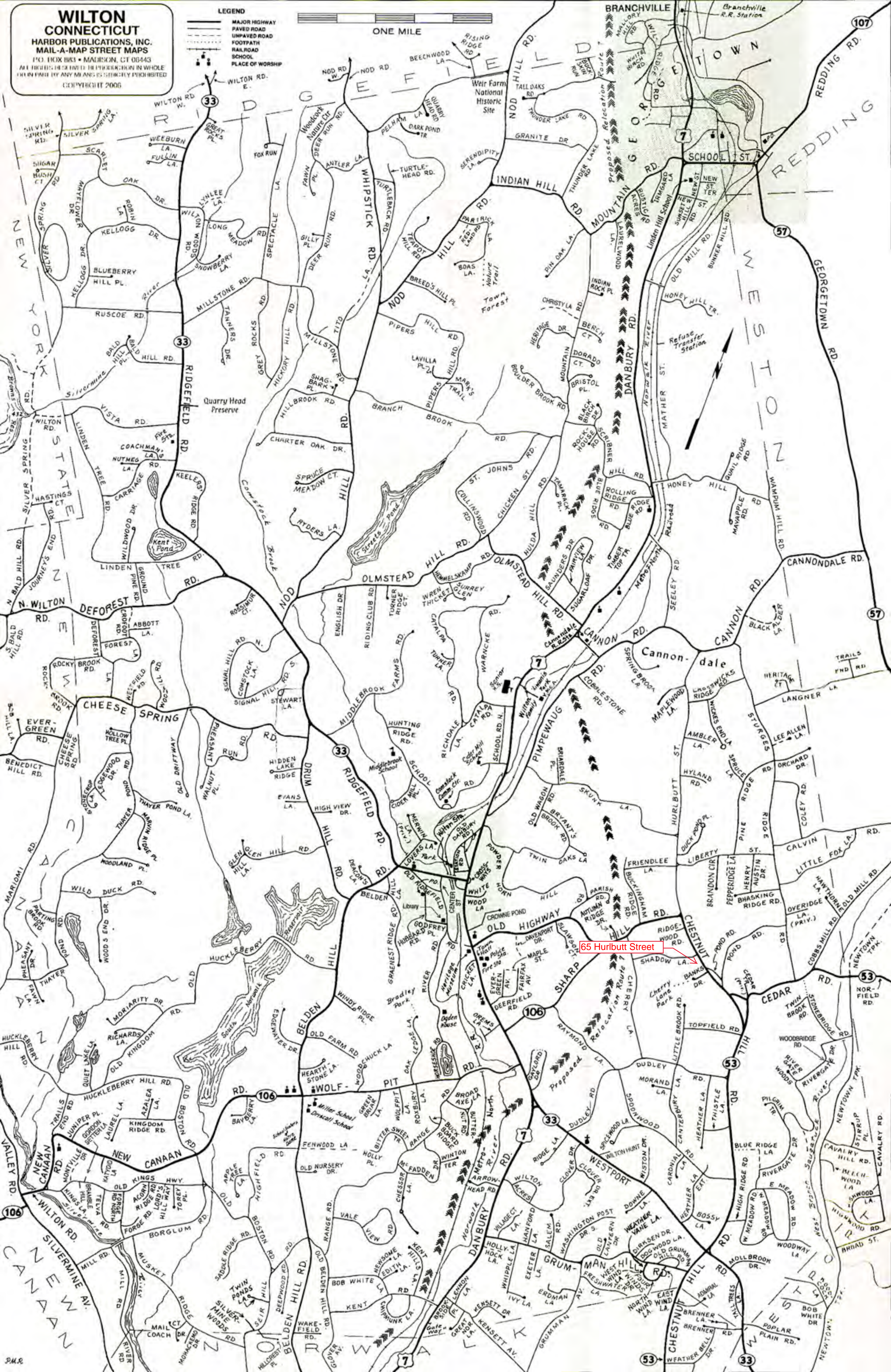


No.	DATE	DESCRIPTION	DWG.
REVISIONS			
PROJECT			
PROPOSED SITE PLAN FOR JAMES & BECKY O'HALLORAN			
65 HURLBUTT STREET WILTON CONNECTICUT			
DRAWING NAME			
DETAILS & NOTES			
SCALE	AS NOTED	MUNICIPALITY	WILTON
DATE	NOVEMBER 21, 2022	SHEET	3 OF 3
DRAWN	R.M.F.	ASSESSOR'S MAP	31
		LOT	25
FILE NAME:	S3		
FRANGIONE ENGINEERING, LLC CIVIL ENGINEERING STRUCTURAL ENGINEERING LAND DEVELOPMENT 15 SNOWBERRY LANE NEW CANAAN, CT 06840 (203) 554-9551 (PHONE) (203) 966-6957 (FAX)			

WILTON CONNECTICUT
HARBOR PUBLICATIONS, INC.
MAIL-A-MAP STREET MAPS
P.O. BOX 883 • WILTON, CT 06443
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LEGEND
MAJOR HIGHWAY
PAVED ROAD
UNPAVED ROAD
FOOTPATH
RAILROAD
SCHOOL
PLACE OF WORSHIP

ONE MILE

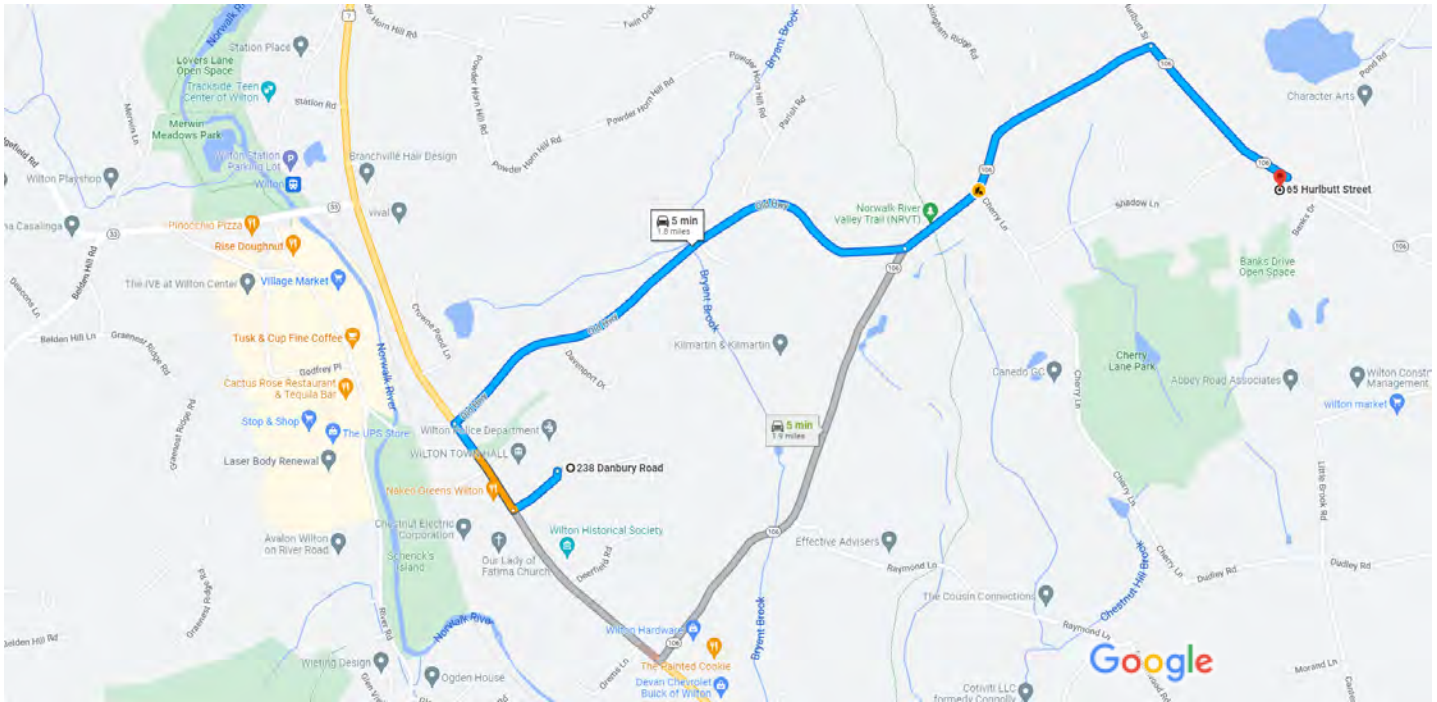


65 Hurlbut Street



238 Danbury Rd, Wilton, CT 06897 to 65 Hurlbutt St, Wilton, CT 06897

Drive 1.8 miles, 5 min



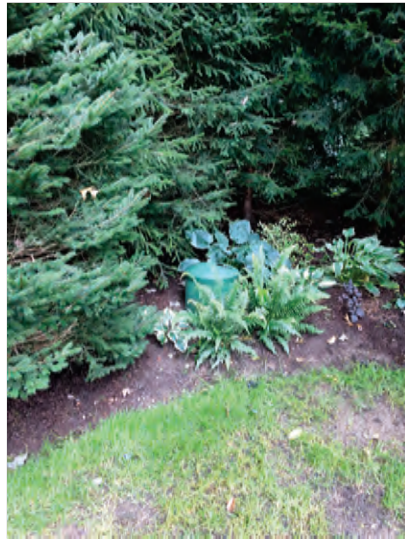
Map data ©2023 500 ft

238 Danbury Rd
Wilton, CT 06897

- ↑ 1. Head south toward US-7 N
_____ 479 ft
- ↪ 2. Turn right onto US-7 N
_____ 0.2 mi
- ↪ 3. Turn right onto Old Hwy
_____ 0.8 mi
- ↶ 4. Slight left onto CT-106 N
_____ 0.5 mi
- ↪ 5. Turn right to stay on CT-106 N
 - i** Destination will be on the right
 - _____ 0.3 mi

65 Hurlbutt St
Wilton, CT 06897

65 Hurlbutt Street
Picture Exhibit



January 24, 2023

REDNISS
& MEAD

65 Hurlbutt Street
Picture Exhibit



January 24, 2023

REDNISS
& MEAD

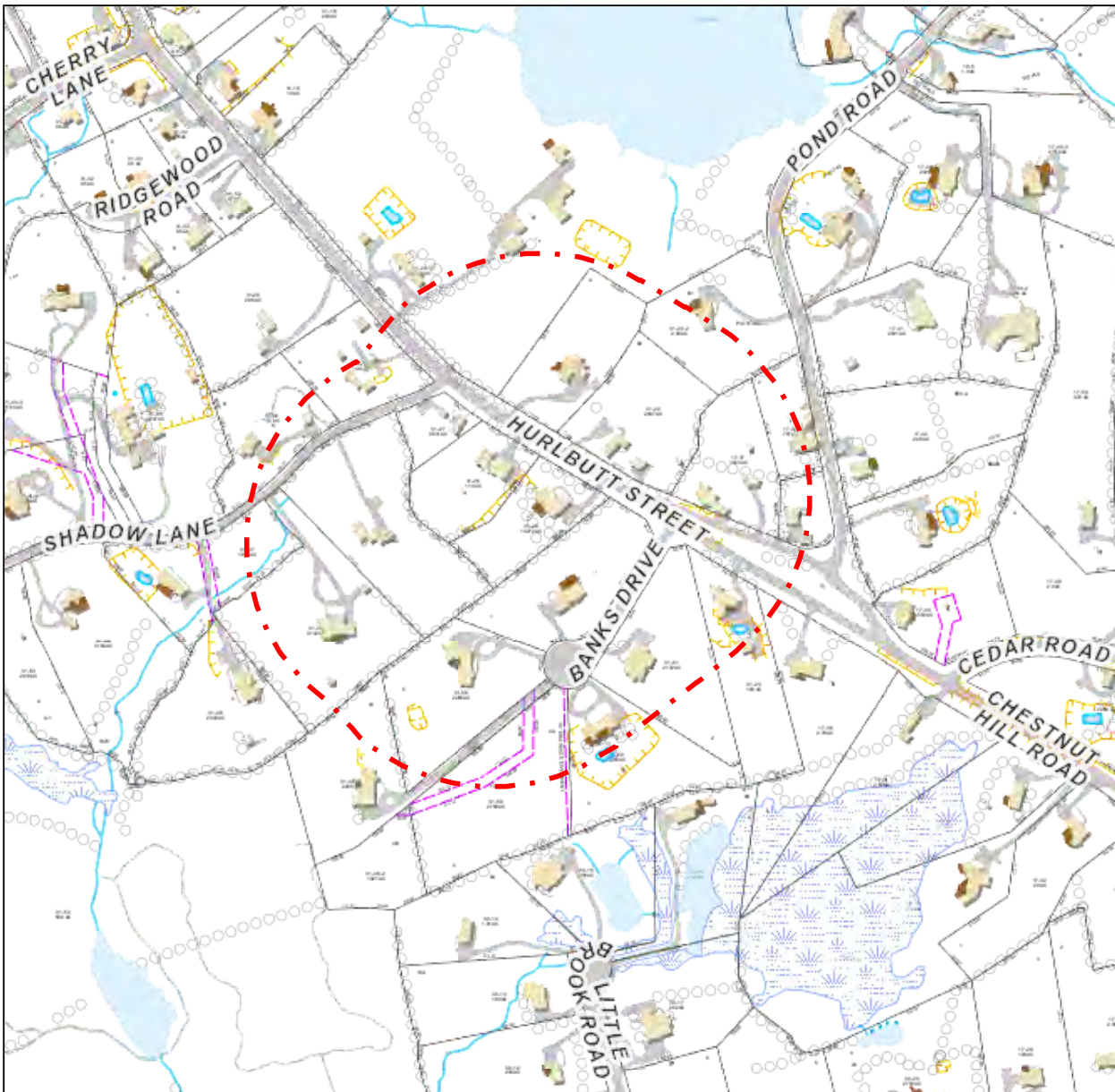
17-36 KISS LOUIS R & CAROL K 31 HURLBUTT ST WILTON CT 06897	17-37 WINSOR ALEXANDER M & 4 POND RD WILTON CT 06897	17-38 GREENBERG JANETTE WRIGHT 12 POND RD WILTON CT 06897
17-39 LEACH LAURA A 26 POND RD WILTON CT 06897	31-20 JESCHKE MICHAEL A & SUZANNE G 90 HURLBUTT ST WILTON CT 06897	31-21 MUMBACH G PETER & 74 HURLBUTT ST WILTON CT 06897
31-22 BROTHERTON MICHAEL S 66 HURLBUTT ST WILTON CT 06897	31-22-2 GEBBIA KATHLEEN T 32 POND RD WILTON CT 06897	31-23 MCGOUGH REGINA & 51 HURLBUTT ST WILTON CT 06897
31-24 BABKOWSKI MARILYN 10 BANKS DR WILTON CT 06897	31-25 O'HALLORAN JAMES LAWRENCE & 65 HURLBUTT ST WILTON CT 06897	31-26 LANE JASON & LANE WENDY & SV 71 HURLBUTT ST WILTON CT 06897
31-27 ZIMMERMAN IAN R & SARAH 77 HURLBUTT ST WILTON CT 06897	31-28 WAKEMAN MARK LUCAS & WAKEMAN 85 HURLBUTT ST WILTON CT 06897	31-44 WHITHERTON TRUST LLC 30 SHADOW LA WILTON CT 06897
31-45 SHERMAN ALEX & IVY BAER 17 SHADOW LA WILTON CT 06897	31-46 QUEIROS ARMENIO V & CELIA M 21 SHADOW LA WILTON CT 06897	31-47 ROTHBAUM JASON & 33 SHADOW LA WILTON CT 06897
31-48-1 DSOUZA RYAN FRANCIS & 20 BANKS DR WILTON CT 06897	31-58 COSENTINO MICHAEL & 18 BANKS DR WILTON CT 06897	31-59 WILTON TOWN OF 238 DANBURY RD WILTON CT 06897
31-60 EVARISTO & MARIANN BARRIOS SV 17 BANKS DR WILTON CT 06897	31-61 ALBERINO BRIAN M & 9 BANKS DR WILTON CT 06897	

Town of Wilton

Geographic Information System (GIS)



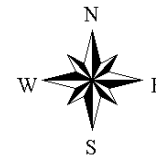
Date Printed: 1/18/2023



MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Wilton and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 400 ft



Doc ID: 001063140003 Type: LAN
BK 2495 PG 1145-1147

Return to:
Gregory & Adams, PC
190 Old Ridgefield Road
Wilton, Connecticut 06897

WARRANTY DEED
(statutory form)

Edward S. Netzhhammer and April R. Netzhhammer by her Attorney-in-Fact Douglas I Bayer, Esquire for the consideration of One Million One Hundred Twelve Thousand Five Hundred and no/100 (\$1,112,500.00) Dollars, grants to James Lawrence O'Halloran and Becky Ava O'Halloran, AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP, all that certain property situated in the Town of Wilton, County of Fairfield and State of Connecticut, more particularly described in Schedule A attached hereto and made a part hereof, with WARRANTY COVENANTS.

Signed this 2 day of April, 2019.

Witnesses:

Christine Courchene
Christine Courchene

April R. Netzhhammer by [Signature] attorney-in-fact
April R. Netzhhammer, by her Attorney-in-Fact Douglas I Bayer, Esquire


Cassandra Boskello
Cassandra Boskello

STATE OF CONNECTICUT }
 } ss. WILTON
COUNTY OF FAIRFIELD }


The foregoing instrument was acknowledged before me this 2nd day of April, 2019, by April R. Netzhhammer by her Attorney-in-Fact Douglas I Bayer, Esquire.

Christine Courchene
Notary Public – Christine Courchene
My commission expires: 4/30/19

Conveyance Tax Received
Aron A. Kobrick
Town Clerk of Wilton
State \$ 9906.25
Town \$ 2781.25



DOUGLAS I. BAYER



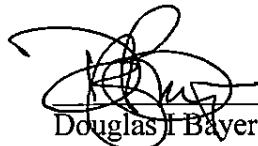
Edward S. Netzhammer



CHRISTINE COURCHENE

STATE OF CONNECTICUT }
 } ss. WILTON
COUNTY OF FAIRFIELD }

The foregoing instrument was acknowledged before me this 14th day of March, 2019, by Edward S. Netzhammer.



Douglas I Bayer
Commissioner of the Superior Court

SCHEDULE A

All those certain pieces or parcels of land, together with the buildings and improvements thereon, situated on Hurlbutt Street in the Town of Wilton, County of Fairfield and State of Connecticut as shown on the following described maps;

PARCEL 1: "Map of Property Belonging To Florence T. Littlehales in the Town of Wilton, Conn., W.E. Godfrey, Surveyor, 1930, 1.22 Acres, Scale 1" x 22'", certified substantially correct by William E. Godfrey, 4/16/30, and filed as Map No. 179 in the Wilton Town Clerk's Office.

PARCEL 2: "Map of Property Belonging to Florence T. Littlehales in the Town of Wilton, Conn., W.E. Godfrey, Surveyor, 1931, 0.12 Acres, Scale 1"x 20'", certified substantially correct by Wm. E. Godfrey, 8/22/31, and filed as Map No. 223 in the Wilton Town Clerk's Office.

Said premises are also shown and may be described as all that parcel of land together with all improvements thereon described as "T.L. 25 Area= 57,812 sq. ft. or 1.3272 Ac." on the "Map of Property Located at 65 Hurlbutt Street Prepared For Preston A. & Marina H. Stuart Wilton, Conn. Scale 1"=40' Nov. 13, 1997 by B.G. Root, Surveyor- Westport" which map is on file in the office of the Wilton Town Clerk as Map No. 5103.

Said premises are conveyed subject to:

1. Taxes on the current list which the grantees herein hereby assume and agree to pay as part consideration of this deed.
2. Notes and delineations as shown on said Map 5103.
3. Building lines, if established, building and zoning ordinances, and any and all municipal and state and federal regulations including inland wetlands regulations and provisions of any public or private law affecting said premises.

Received for Record at Wilton, CT
On 04/15/2019 At 10:08:00 am

Alan A. Sobrank

January 23, 2023

Zoning Board of Appeals
c/o Michael Wrinn, AICP,
Director of Planning & Land Use
Management/Town Planner
Town of Wilton
238 Danbury Road
Wilton, CT 06897

Re: 65 Hurlbutt Street - Wilton, CT

Dear Ms. Wrinn:

This letter serves to authorize Redniss & Mead, Inc. (with offices at 22 First Street in Stamford, CT) to act as our agent in connection with the preparing, filing, and processing of any and all land use and applications relating to the above referenced property.

Thank you for your acknowledgement of said authority.

Sincerely,

James L. and Becky A. O'Halloran
(Owner)

