

GREGORY AND ADAMS, P.C.

ATTORNEYS AT LAW
190 OLD RIDGEFIELD ROAD
WILTON, CT 06897
(203) 762-9000
FAX: (203) 834-1628

ESTABLISHED 1964

WWW.GREGORYANDADAMS.COM

J. CASEY HEALY
OF COUNSEL

JULIAN A. GREGORY
(1912 - 2002)

THOMAS T. ADAMS
(1929 - 2015)

PLEASE REPLY TO SENDER:
J. CASEY HEALY
DIRECT DIAL: 203-571-6304
jhealy@gregoryandadams.com

PAUL H. BURNHAM
SUSAN L. GOLDMAN
J. VANCE HANCOCK
DERREL M. MASON*
MATTHEW C. MASON*
JAMES D'ALTON MURPHY*
KATHLEEN L. ROYLE *
RALPH E. SLATER
ROGER R. VALKENBURGH *

* ALSO ADMITTED IN NEW YORK

⚙️ ALSO ADMITTED IN VERMONT

January 25, 2024

To be delivered by hand

Zoning Board of Appeals
Town Hall Annex
238 Danbury Road
Wilton, CT 06897

Attention: Mr. Michael Wrinn – Director of Planning and Land Use Management

Re: Mambarambath – Application for Variance
Premises: 6 Pine Ridge Road, Wilton, Connecticut

Dear Members of the Board:

As attorney for Mr. Sreejith Mambarambath, I hereby submit his application for a variance to Section 29-5.D to allow the existing partial second floor to be removed and replaced by a new partial second floor and the existing front entryway porch to be removed and replaced by a new smaller front entryway porch, at that certain single-family residence located at 6 Pine Ridge Road.

In support of the application, I enclose one copy of each of the following:

1. Application for Residential Variance with Description of Variances Requested and Statement of Hardship attached.
2. Location Map.
3. Assessor's Parcel Map.
4. Plot Plan, Location Map and Zoning Data (Drawing No. A-001.00 Sheet 1 of 10) prepared by Peter Klein Associates, Inc. ("PKA") dated June 14, 2022.
5. Floor Plans, Elevations and Roof Plans (A-002 through A-0010) prepared by PKA dated June 14, 2022.
6. List of Previous Zoning Variances.
7. Photographs of the Premises.

8. Quitclaim Deed by which title was acquired to the Premises, which Deed bears evidence of having been recorded on June 29, 2022 in Volume 2552 of the Wilton Land Records at Page 589.
9. List of Owners of Property located within 500' of the Premises.
10. List of Project Professionals.
11. Letter signed by Sreejith Mambarambath as the applicant authorizing Gregory and Adams, P.C. to act as his agent in this matter.
12. Letter signed by Sreejith Mambarambath and Savita Sreejith as owners authorizing Gregory and Adams, P.C. to act as their agent in this matter.
13. Directions to the Premises.
14. Check payable to the Town of Wilton in the amount of \$310.00 in payment of the filing fee.

Respectfully submitted,
Gregory and Adams, P.C.

/s/ J. Casey Healy

By: _____
J. Casey Healy

JCH/ko

Enclosures

cc: Mr. Sreejith Mambarambath
Kathleen L. Royle, Esq.

WILTON ZONING BOARD OF APPEALS - RESIDENTIAL VARIANCE APPLICATION - ZBA#
--

Please consult the Zoning Regulations when applying for a variance, particularly Section 29-13.

Please TYPE or print clearly... (See last 2 pages for brief explanation.)

Sreejith Mambarambath	c/o Gregory and Adams, 190 Old Ridgefield Rd., Wilton, C
APPLICANT'S NAME	ADDRESS
Sreejith Mambarambath and Savita Sreejith	c/o Gregory and Adams, 190 Old Ridgefield Rd., Wilton, CT
OWNER'S NAME	ADDRESS
6 Pine Ridge Road	R-2
PROPERTY LOCATION	ZONING DISTRICT
1111 2552 589	18 58 2.15
WLR MAP# VOLUME PAGE	TAX MAP # LOT # ACREAGE

VARIANCE DESCRIPTION: In the space below, please state concisely the section(s) of the Zoning Regulations proposed to be varied and the specific variance requested (i.e: Request a variance of Section 29-__ to allow ____ (an addition, a pool, average lot width, or whatever) with ____ in lieu of the required _____. For instance, a variance request for a building addition that encroaches into the required fifty foot rear setback area by 7 feet would read as follows: "Request a variance of Section 29-5.D to allow a building addition with a 43 foot rear yard setback in lieu of the required 50 feet." ATTACH SEPARATE SHEETS AS REQUIRED.

Request a variance of Section 29-5.D to allow a partial second-story of the home to be removed and replaced by a new partial second-story with a 42.50 feet front yard setback in lieu of the required 50 feet and to allow an existing front entryway porch to be demolished and replaced by a smaller front entryway porch with a 35.91 foot front yard setback in lieu of the required 50 feet.

HARDSHIP DESCRIPTION: In the space below, state the specific conditions pertaining to the perceived "exceptional difficulty or unusual hardship" with respect to the parcel of land, not generally encountered within the zoning district, which would make development in full accordance with the existing Zoning Regulations extremely difficult. ATTACH SEPARATE SHEETS AS REQUIRED.

See attached Statement of Hardship.

THE FOLLOWING MATERIALS ARE REQUIRED:

* Please see **SPECIAL INSTRUCTIONS DURING COVID** at: [Application Forms / Materials | Wilton CT](#)
* All submitted plans and documents shall bear an original signature, seal, and license number of the professional responsible for preparing each item. Maps should be folded, not rolled.

- ☒ **APPLICATION FORM**
- ☐ **A-2 SURVEY** of the subject property showing all existing building and site conditions.
- ☒ **SITE DEVELOPMENT PLAN** showing all proposed additions, amendments and/or site improvements, including building elevations, septic systems, wells, and all measurements pertaining to the application, such as location and distance(s) of proposed structures and/or improvements from the subject property lines.
- ☒ **LOCATION MAP** - available here: [map.pdf \(wiltonct.org\)](#). Site location shall be identified on map.
- ☒ **DIRECTIONS** to subject property from Town Hall, 238 Danbury Road, Wilton, CT (e.g. hand-written, computer-generated or similar).
- ☒ **LIST OF PREVIOUS ZONING VARIANCES** – available here: [History of Previous Variances | Wilton CT](#)
- ☒ **PHOTOGRAPHS** of property showing building and site conditions from all geographic perspectives.
- ☒ **ONE COPY OF DEED** (Available in Town Clerk's Office)
- ☒ **LIST OF OWNERS WITHIN 500'** of any portion of the subject property as shown by Tax Map & Lot #.
[See online GIS instructions at: [owner list 500 ft gis directions 0.pdf \(wiltonct.org\)](#)]
- ☒ **ENVELOPES**, addressed to each property owner within 500' of any portion of subject property.
[See "Envelopes Instructions" at: [envelopes instructions.pdf \(wiltonct.org\)](#)]
- ☒ **ELECTRONIC SUBMISSION** of all materials (**Consolidated into 1-2 PDFs Maximum**), emailed to michael.wrinn@wiltonct.org and daphne.white@wiltonct.org
- ☒ **TWO #10 (4"x 9.5") PLAIN ENVELOPES** addressed to the applicant (No Return Address)
- ☒ **\$310 FILING FEE** payable to: Town of Wilton

IS THE SUBJECT PROPERTY LOCATED WITHIN 500 FEET OF THE MUNICIPAL BORDER? ☐ or ☒

IS THE SUBJECT PROPERTY LOCATED WITHIN THE PUBLIC WATER SUPPLY WATERSHED BOUNDARY?
YES or **(NO)** [If YES, see DPH Addendum Form here: [watercompanyanddphnotification.pdf \(wiltonct.org\)](#)]

IS THE SUBJECT PROPERTY LOCATED IN THE FLOOD PLAIN? ☐ or ☒

WHEN WAS THE SUBJECT PROPERTY PURCHASED? 2017

IN WHAT YEAR WAS THE MAIN STRUCTURE CONSTRUCTED? 1951

SITE COVERAGE PROPOSED: 8.35 BUILDING COVERAGE PROPOSED: 2.14
(AS PERCENTAGE OF SITE) (AS PERCENTAGE OF SITE)

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Board have been submitted.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

Sree Mambarambath by his Agent, Gregory and Adams, P.C.			
<i>J. Casey Healy</i> 160	1/25/24	jhealy@gregoryandadams.com	203-762-9000
APPLICANT'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE
<i>J. Casey Healy</i> 160	1/25/24	jhealy@gregoryandadams.com	203-762-9000
OWNER'S SIGNATURE	DATE	EMAIL ADDRESS	TELEPHONE

Sree Mambarambath and Savita Sreejith by their Agent, Gregory and Adams, P.C.

Sreejith Mambarambath

Application for Variance

Premises: 6 Pine Ridge Road, Wilton, Connecticut

Statement of Hardship

The property is improved with a 2,140± square foot house that was built in 1951 which predates the adoption of 1 and 2-acre zoning which occurred in 1952. The house is set back 42.50' from Pine Ridge Road. The required front yard setback is 50', thereby making the front yard setback legally nonconforming.

The applicant wishes to remove the existing partial second floor and replace it with a new partial second floor and to remove the existing front entryway porch and replace it with a smaller front entryway porch. These changes would not change the footprint of the house and consequently would not change any of the existing setbacks. However, a variance of Section 29-5.D would be required in order to continue the legally non-conforming 42.50' front yard setback and 35.91' front yard setback in lieu of the 50' required.

WILTON

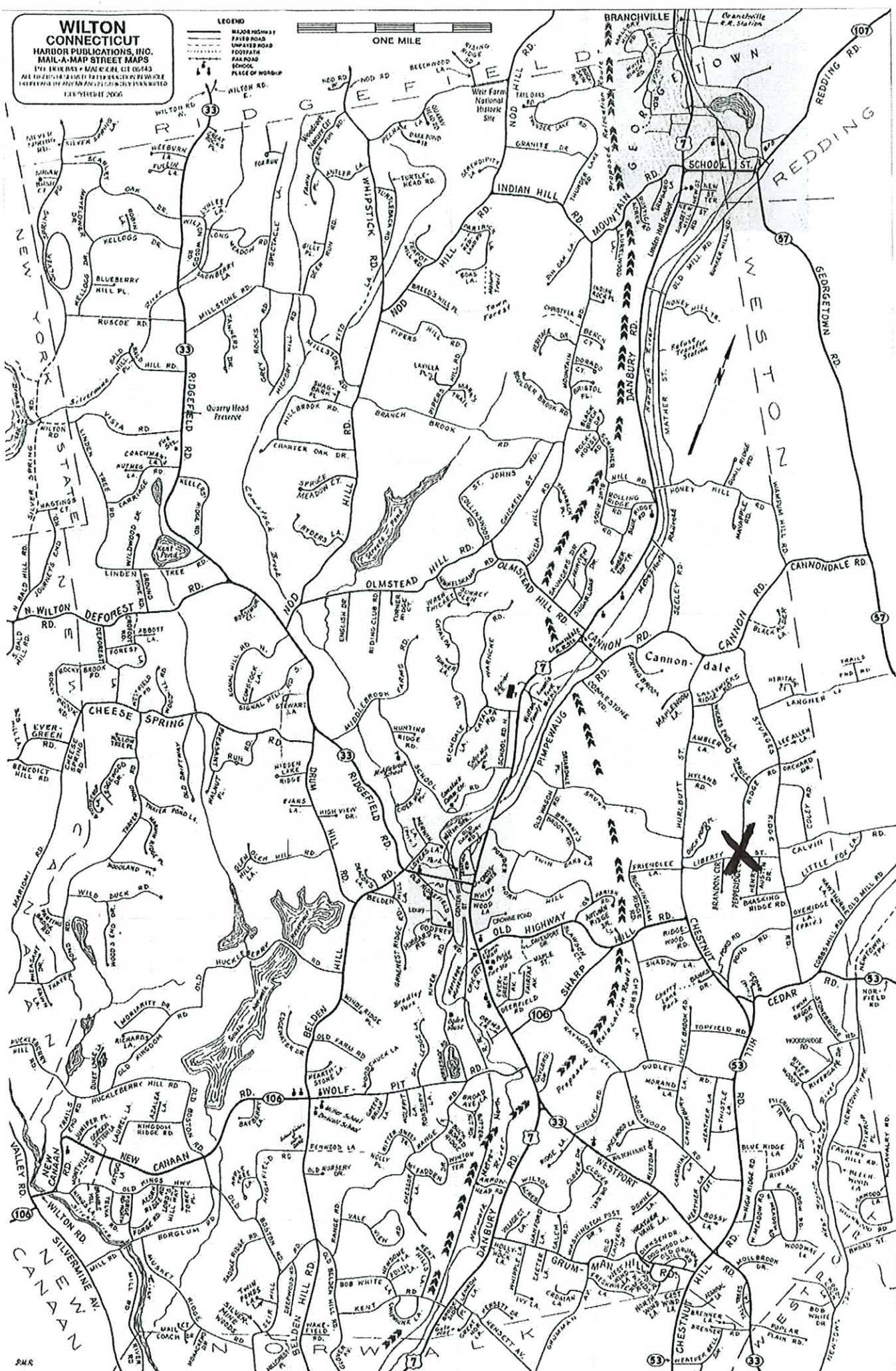
CONNECTICUT
HARBOR PUBLICATIONS, INC.
MAIL-A-MAP STREET MAPS

1/4" TO 1 MILE
ALL INFORMATION IS SUBJECT TO CHANGE WITHOUT NOTICE
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LEGEND

- MAJOR HIGHWAY
- PAVED ROAD
- UNPAVED ROAD
- FOOTPATH
- RAILROAD
- SCHOOL
- PLACE OF WORSHIP

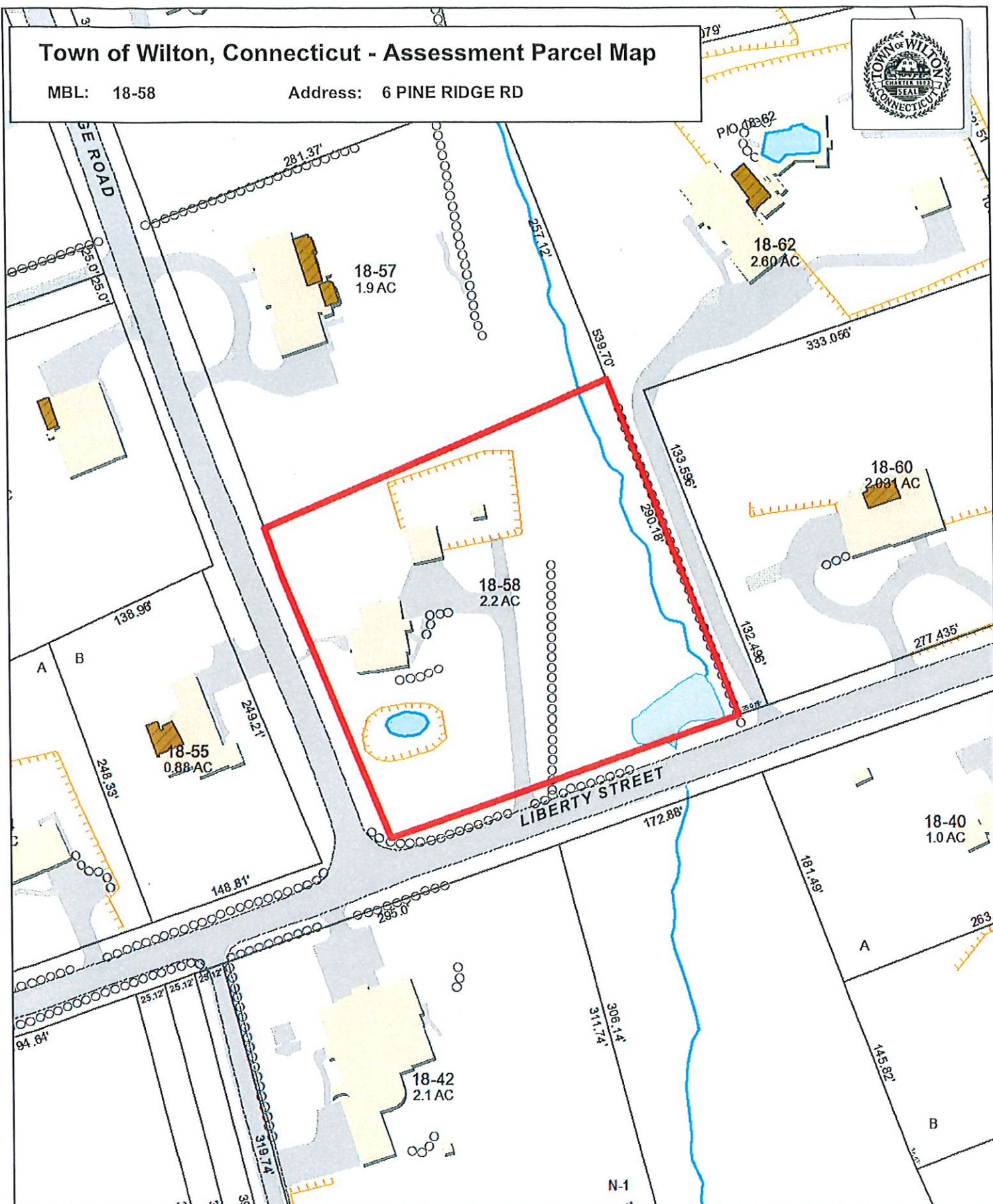
ONE MILE



Town of Wilton, Connecticut - Assessment Parcel Map

MBL: 18-58

Address: 6 PINE RIDGE RD



Approximate Scale:

1 inch = 100 feet

Disclaimer:

This map is for informational purposes only.
All information is subject to verification by any user.
The Town of Wilton and its mapping contractors
assume no legal responsibility for the information contained herein.

Map Grand List Date: Oct 2017

0 50 100 150 Feet

Sreejith Mambarambath

Application for Variance

Premises: 6 Pine Ridge Road, Wilton, Connecticut

List of Previous Zoning Variances

None.











Doc ID: 000866480002 Type: LAN

BK 2478 PG 87-88

Return to:

Andrew G. Gale, Esq.

6 Edgewood Avenue, Suite 301
Greenwich, CT 06830SREEJITH MAMARAMBATH
6 PINE RIDGE RD
WILTON, CT 06897**WARRANTY DEED**
(Statutory Form)

Jayanti Seshan and Shri Seshan [Grantor], for the consideration of Six Hundred Thousand (\$600,000.00) Dollars paid, grant to Sreejith Mamarambath and Savita Sreejith [Grantee], **AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP**, all that certain property situated in the Town of Wilton, County of Fairfield and State of Connecticut, known as **6 Pine Ridge Road, Wilton, Connecticut**, with **WARRANTY COVENANTS**, more particularly described as follows:

ALL THAT CERTAIN piece or parcel of land, together with all buildings and improvements thereon standing, situated in the Town of Wilton, County of Fairfield, and State of Connecticut, shown and designated as "Tract B, Area = 2.154 Acres" on a certain map entitled, "Map of Properties Prepared For Lisette Burdick Located on Liberty Street, Wilton, Conn.", Scale 1 inch = 40 feet, surveyed May 1951, Certified Substantially Correct Clinton C. Hubbell, Civil Engineer and Surveyor, Perry Avenue, Norwalk, Connecticut, which map is on file in the Office of the Wilton Town Clerk as Map No. 1111, excepting therefrom a strip on the Westerly side thereof taken in the laying out of Pine Ridge Road. Said premises are bounded:

NORTHERLY: 334.42 feet by land now or formerly of Robert K. Doorly and Patricia Hastings Doorly, being Tract A, as shown on said map;

EASTERLY: 290.18 feet by land now or formerly of Paul Barbere;

SOUTHERLY: 317.96 feet by Liberty Street, so-called;

SOUTHWESTERLY: 24.79 feet by arc of intersection of Liberty Street and 8 foot private right of way, as shown on said map;

WESTERLY: by 8 foot private right of way, as shown on said map.

The premises are conveyed subject to the following:

1. Any restrictions or limitations imposed by governmental authority, including the zoning and planning rules and regulations of the Town of Wilton.
2. Taxes of the Town of Wilton next becoming due and payable.
3. Easement in favor of The Connecticut Light and Power Company dated April 23, 1951 and recorded in Volume 59 at Page 271 of the Wilton Land Records.
4. Right of way set forth in a deed dated June 14, 1951 and recorded in Volume 59 at Page 363 of the Wilton Land Records.
5. Notes, facts, conditions, and right of way shown on Map No. 1111 on file in the Wilton Town Clerk's Office.

Signed this 28 day of July, 2017.

Witnesses:

[witness] Harvey Melzer


Jayanti Seshan L.S.

Sandra L. Purdy
[witness] Sandra L. Purdy

Shri Seshan L.S.

STATE OF CONNECTICUT)
) ss. New Canaan
COUNTY OF FAIRFIELD)

The foregoing instrument was acknowledged before me this 28 day of July, 2017, by Jayanti Seshan and Shri Seshan [Grantor], personally known to me.


Harvey Melzer
Commissioner of the Superior Court

Conveyance Tax Received
Beni A. Kobrick
 Town Clerk of Wilton
 State \$ 4500.00
 Town \$ 1500.00

Received for Record at Willton, CT
On 08/02/2017 At 12:05:00 pm

John A. Solovik

18-29
LETHBRIDGE JOHN D JR & KAREN
4 HENRY AUSTIN DR
WILTON CT 06897

18-39
SEAMAN JOSEPH L & JOAN I
PO BOX 490
WILTON CT 06897

18-43
SCHOTT STEPHEN G & AMY W
65 LIBERTY ST
WILTON CT 06897

18-46
MCGINLEY JOHN R TRUSTEE
55 LIBERTY ST
WILTON CT 06897

18-54
ROMERO DANNY & LOURDES
60 LIBERTY ST
WILTON CT 06897

18-57
LEWIS CARLA LIVING TRUST
18 PINE RIDGE RD
WILTON CT 06897

18-61
ALBANESE DION J & CARVEN L
98 LIBERTY ST
WILTON CT 06897

19-25
CAPORRINO JASON & VANESSA
29 PINE RIDGE RD
WILTON CT 06897

19-49
RILEY JAMES C & JAN M
183 STURGES RIDGE RD
WILTON CT 06897

19-48-1
BOOT DIRK K & MARIE-ANTOINETTE
169 STURGES RIDGE RD
WILTON CT 06897

18-30
TUCKER CAREN C & ROBERT T
12 HENRY AUSTIN DR
WILTON CT 06897

18-40
SAUMIER TODD FRANCIS & LORIEN
3 HENRY AUSTIN DR
WILTON CT 06897

18-44
GIOVINO CHRISTOPHER J &
63 LIBERTY ST
WILTON CT 06897

18-47
MOON JON A & JENNIFER L SV
49 LIBERTY ST
WILTON CT 06897

18-55
PENDERGAST JOAN B
5 PINE RIDGE RD
WILTON CT 06897

18-58
MAMBARAMBATH SREEJITH
6 PINE RIDGE RD
WILTON CT 06897

18-62
CABRAL ALBERT J & MARCELLA
82 LIBERTY ST
WILTON CT 06897

19-47
MALIN DMITRIY & MARIYA
28 PINE RIDGE RD
WILTON CT 06897

19-49-1
MANFRO JOANNA ROTONDE &
181 STURGES RIDGE RD
WILTON CT 06897

18-41-OS
WILTON LAND CONSERVATION TRUST
P O BOX 77
WILTON CT 06897

18-38
WILCOX WILLIAM J & JANICE B
15 HENRY AUSTIN DR
WILTON CT 06897

18-42
SALGUERO JEFFREY & ELIZABETH
69 LIBERTY ST
WILTON CT 06897

18-45
BENDER SCOTT R & MICHELE J
61 LIBERTY ST
WILTON CT 06897

18-53
FNU GAURAV & ANSHU
50 LIBERTY ST
WILTON CT 06897

18-56
RAMCHANDANI NEESHA &
15 PINE RIDGE RD
WILTON CT 06897

18-60
PIPITONE NICHOLAS ALTON &
88 LIBERTY ST
WILTON CT 06897

19-24
MALONEY ERIN
25 PINE RIDGE RD
WILTON CT 06897

19-48
DOUGLAS MCLAUGHLIN &
167 STURGES RIDGE RD
WILTON CT 06897

19-26-1
MORANO VINCENT & NANCY K
31 PINE RIDGE RD
WILTON CT 06897

GREGORY AND ADAMS, P.C.

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PLEASE REPLY TO SENDER:
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DIRECT DIAL: 203-571-6304
jhealy@gregoryandadams.com

January 23, 2024

By E-Mail Only

Mr. Sreejith Mambarambath
6 Pine Ridge Road
Wilton, CT 06897

Re: Application for Variance
Premises: 6 Pine Ridge Road, Wilton, Connecticut

Dear Sree:

The Land Use agencies of the Town of Wilton require written authorization from the applicant authorizing Gregory and Adams, P.C to act as the applicant's agent in connection with an application for variance for the property located at 6 Pine Ridge Road, Wilton, Connecticut. Please return the signed letter to us by email. Thank you.

Very truly yours,

/s/ J. Casey Healy

J. Casey Healy

JCH/ko

The undersigned hereby authorizes Gregory and Adams, P.C. to act as my agent in connection with the above-referenced matter.



Sreejith Mambarambath

GREGORY AND ADAMS, P.C.

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DIRECT DIAL: 203-571-6304
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January 23, 2024

By E-mail Only

Sreejith Mambarambath
Savita Sreejith
6 Pine Ridge Road
Wilton, CT 06897

Re: Mambarambath – Application for Variance
Premises: 6 Pine Ridge Road, Wilton, Connecticut

Dear Sree and Savita:

The land use agencies of the Town of Wilton require written authorization from the owners of the Premises authorizing Gregory and Adams, P.C to act as their agent in connection with land use matters involving the subject property. Please sign the letter as owners and return the letter to us by email. Thank you.

Very truly yours,


/s/ J. Casey Healy

J. Casey Healy

JCH/ko

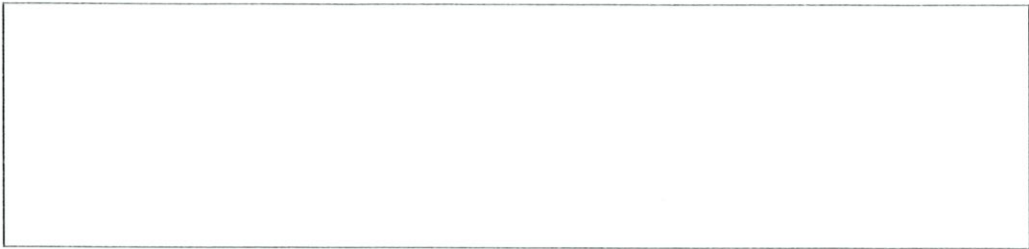
The undersigned hereby authorizes Gregory and Adams, P.C. to act as our agent in connection with the above-referenced application.


Sreejith Mambarambath


Savita Sreejith

A 238 Danbury Rd, Wilton Center, CT 06897
B 6 Pine Ridge Rd, Wilton Center, CT 06897

7 min , 2.2 miles
Light traffic
Via Old Hwy, CT-106



A 238 Danbury Rd, Wilton Center, CT 06897

↑	1.	Depart and head (southwest)	190 ft
↗	2.	Turn right , then immediately turn right onto US-7 N / CT-33 / Danbury Rd ▲ Minor congestion	0.2 mi
↗	3.	Turn right onto Old Hwy	0.8 mi
↙	4.	Bear left onto CT-106 / Sharp Hill Rd	0.5 mi
↙	5.	Turn left onto Hurlbutt St	0.3 mi
↗	6.	Turn right onto Liberty St	0.3 mi
↙	7.	Turn left onto Pine Ridge Rd	144 ft
	8.	Arrive at Pine Ridge Rd The last intersection before your destination is Liberty St If you reach Spruce Dr, you've gone too far	

B 6 Pine Ridge Rd, Wilton Center, CT 06897

These directions are subject to the Microsoft® Service Agreement and are for informational purposes only. No guarantee is made regarding their completeness or accuracy. Construction projects, traffic, or other events may cause actual conditions to differ from these results. Map and traffic data © 2024 TomTom.