

GENERAL CONSTRUCTION NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2021 IRC INTERNATIONAL RESIDENTIAL CODE, 2021 INTERNATIONAL ENERGY CONSERVATION CODE IECC, 2021 INTERNATIONAL PLUMBING CODE AND TOWN OF WILTON CONNECTICUT ZONING CODE.
1. VERIFIED, ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER PRIOR TO COMMENCEMENT OF WORK.
 2. ALL REQUIRED AND NECESSARY PERMITS SHALL BE SECURED FROM ALL MUNICIPAL AGENCIES HAVING JURISDICTION AT THE COST AND EXPENSE OF THE CONTRACTOR AND PRIOR TO START OF WORK AND SHALL OBTAIN APPROVAL OF ALL COMPLETED WORK AS REQUIRED BY ADMINISTRATIVE CODE AND ALL REQUIRED AGENCIES.
 3. EACH CONTRACTOR WILL BE HELD RESPONSIBLE FOR HIS WORK.
 4. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSION AND CONDITIONS OF THE BUILDINGS AND WILL BE RESPONSIBLE FOR THE JOINING OF WORK OF ALL TRADES. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE REQUIREMENTS OF 4 "SAFETY OF PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS" AND SHALL BE HELD RESPONSIBLE FOR THE SAFE MAINTENANCE AS PRESCRIBED THEREIN UNTIL COMPLETION OF ALL WORK.
 5. NO DRAWINGS TO BE SCALED, DIMENSIONS ARE TO BE USED.
 6. THE CONTRACTOR OR PERSON WHO SUPERVISED OR SUPERINTENDENT THE WORK IS REQUIRED TO BE PRESENT AT FINAL INSPECTION WITH THE BUILDING DEPARTMENT INSPECTOR.
 7. THE CONTRACTOR SHALL UPON COMPLETION OF THE WORK SEE THAT THE JOB IS BROOM SWEEP, AND AT HIS OWN COST DELIVER A CERTIFICATE OF OCCUPANCY TO THE OWNER AS ISSUED BE THE LOCAL DEPARTMENT OF BUILDINGS.
 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BUILDING CODE OF NEW YORK STATE.
 9. THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED TO SUPERVISE ANY CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT.
 10. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES.
 11. ALL WORK SHALL COMPLY WITH THE CODE OF THE CITY OF MT. VERNON, NY AND ALL OTHER APPLICABLE LAWS AND ORDINANCES NOT HEREIN NOTED.
 12. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE.
 13. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE & UNOBSTRUCTED AT ALL TIMES. STAIRS SHALL HAVE HANDRAILS ON EACH SIDE (EXCEPT STAIRS LESS THAN 44" WIDTH) HAVING FINGER CLEARANCE OF 1 1/2" PROJECTING NOT MORE THAN 3 1/2" AND 3/4" ABOVE THE TREAD NOSING. HANDRAILS SHALL BE RETURNED TO WALLS AND POSTS AT THEIR TERMINATION.
 14. CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UTILITY LINES AND REPORT TO THE A/E ANY CONDITION NOT CONSISTENT WITH THE DRAWINGS.
 15. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS AND STANDARDS OF THE BUILDING CODE AND ZONING RESOLUTION.
 16. IT SHALL ALSO BE THE CONTRACTORS RESPONSIBILITY TO SEEK CERTIFICATION OF THE FOREMENTIONED SECTIONS, REQUIREMENTS AND STANDARDS.
 17. IT SHALL BE ASSUMED THAT THE CONTRACTOR IS FULLY AWARE AND SHALL BE HELD RESPONSIBLE FOR ITEMS MENTIONED (BLDG. CODE SON, RES. N.Y.S. ENERGY CONSERVATION CODE, ETC.)
 18. SHOULD THERE BE NO NOTIFICATION BY THE CONTRACTOR TO THE A/E, THE CONTRACTOR SHALL VISIT THE SITE, CHECK AND VERIFY CONDITIONS, FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND CORRELATE HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
 19. CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL THE ACTS AND OMISSIONS OF ALL HIS EMPLOYEES AND SUB-CONTRACTORS, THEIR AGENTS AND ALL OTHER PERSONS PERFORMING ANY OF THE TO BE DONE.
 20. CONTRACTOR SHALL PURCHASE AND MAINTAIN SUCH INSURANCE AS WILL PROTECT HIM RESULT FROM THE CONTRACTORS OPERATIONS, WHETHER BE HIMSELF, SUB-CONTRACTOR, OR BY ANY OF THEM FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE.
 21. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS OF PUBLIC AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY & TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL PERFORM ALL REMOVALS AND RELATED WORK AS SHOWN ON THE DRAWINGS DESCRIBED IN THESE NOTES AND REASONABLY INFERRED AS NECESSARY TO ENSURE A COMPLETE AND CLEAN OPEN SPACE, FREE OF ANY FOREIGN MATTER.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY INSPECT THE BUILDING IN ORDER TO VERIFY ACTUAL CONDITIONS AND FULL SCOPE OF DEMOLITION WORK AND REMOVAL WORK REQUIRED.
3. THE CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES TO REMAIN AND PROVIDE REASONABLE AND ADEQUATE PROTECTION FROM DEMOLITION WORK.
4. THE CONTRACTOR SHALL MAINTAIN EXISTING BUILDING UTILITIES IN OPERATION DURING THE PERFORMANCE OF THE WORK.
5. THE CONTRACTOR SHALL COMPLY WITH THE RULES OF THE BUILDING AS TO THE REQUIREMENTS FOR HANDLING OF MATERIALS, EQUIPMENT, AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH THE BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE LANDLORD. THE REMOVAL OF MATERIALS, EQUIPMENT, AND DEBRIS MUST BE ARRANGED TO AVOID INCONVENIENCE AND ANNOYANCE TO TENANTS.
6. PRIOR TO REMOVALS THE CONTRACTOR IS TO IDENTIFY ALL BUILDING SYSTEMS MATERIALS, INCLUDING PIPES, WIRING, CONDUIT, ETC. QUESTIONS REGARDING IDENTIFICATION SHALL BE ADDRESSED TO THE BUILDING ENGINEER.

1. PRIOR TO REMOVALS THE CONTRACTOR IS TO IDENTIFY ALL BUILDING SYSTEMS MATERIALS, INCLUDING PIPES, WIRING, CONDUIT, ETC. QUESTIONS REGARDING IDENTIFICATION SHALL BE ADDRESSED TO THE BUILDING ENGINEER.
2. THE CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE TENANT AND THE BUILDING OWNER INCLUDING, BUT NOT LIMITED TO, WINDOWS, PUBLIC TOILETS, ELEVATORS, DOORS, BUCKS TO REMAIN, ELECTRICAL AND AIR CONDITIONING EQUIPMENT TO BE REUSED, CONVECTOR ENCLOSURES, ETC.
3. THE CONTRACTOR SHALL MAINTAIN CLEAR EGRESS TO ALL FIRE STAIRS DURING AND AFTER DEMOLITION.
10. ALL FLOOR AND CEILING PENETRATIONS RESULTANT FROM REMOVALS ARE TO BE PATCHED TO MATCH ADJACENT FINISHES. THE CONTRACTOR IS TO MAINTAIN FIRE RATINGS OF FLOOR/CEILING ASSEMBLY AS REQUIRED BY CODE.
11. ALL EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION WORK SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREAS. CONTRACTOR SHALL MAINTAIN FIRE RATINGS AT EXISTING RATED PARTITIONS.
12. THE CONTRACTOR SHALL CAP AND FLUSH OFF BEHIND FINISH SURFACES ALL PROJECTING PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED.
13. PLUMBING REMOVALS TO BE PERFORMED BY A LICENSED PLUMBER.

CARPENTRY

- LUMBER SHALL CONFORM TO PRODUCT STANDARD PS 20, AND GRADED IN ACCORDANCE WITH ESTABLISHED GRADING RULES. MAXIMUM MOISTURE CONTENT SHALL BE 19 PERCENT. ROUGH CARPENTRY:
21. FRAMING LUMBER: DOUGLAS FIR OR BETTER IN GRADE BASE FB VALUE 900 PSI 22 STUDS: DOUGLAS FIR OR HEM FIR, STUD GRADE, SIZE AND SPACING AS INDICATED ON THE DRAWINGS.
 23. UNDERLAYMENT: 1/2" PLYWOOD UNDERLAYMENT, EXTERIOR GRADE (EXCEPT UNDER TILE FLOORS); AT TILE 1/2" WONDERBOARD UNDERLAYMENT.
 24. BLOCKING, BRIDGING, NAILERS, AND FURRING: COMMON DOUGLAS FIR, SOUTHERN PINE OR HEMLOCK, LEDGER BOARDS, WHERE REQUIRED, SHALL BE SECURELY SET WITH JOISTS NOTCHED TIGHTLY.
 28. BRIDGING SHALL BE 5/4 X 3 DIAGONAL (OR SOLID, OR METAL) AS FOLLOWS: SPANS UP TO 14'-0", USE ONE ROW AT CENTER OF SPAN; SPANS FROM 14'-0" TO 21'-0", USE TWO ROWS AT 1/3 POINTS OF SPAN; SPANS FROM 21'-0" TO 32'-0", USE THREE ROWS AT 1/4 POINTS OF SPAN. PROVIDE SOLID BRIDGING UNDER ALL PARTITIONS PERPENDICULAR TO THE JOISTS.
 29. BRIDGING SHALL BE PROVIDED, AS REQUIRED, FOR THE APPLICATION OF SHEATHING, WALLBOARD, AND OTHER MATERIALS OR BUILDING ITEMS, AND TO PROVIDE FIRESTOPPING WHERE REQUIRED.
 210. DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL TO THE FRAMING.
 211. DOUBLE HEADER AND TRIMMER JOIST AT ALL FLOOR OPENINGS.
 212. CONCEALED SPACES WITHIN WALL PARTITIONS, FLOOR OR CORNICE CONSTRUCTION, AND AROUND CHIMNEYS, PIPES AND DUCT OPENINGS IN SUCH CONSTRUCTION, SHALL BE FIRESTOPPED.
 213. CONCEAL VERTICAL SPACES IN WALLS AND PARTITIONS SHALL BE FIRESTOPPED AT EACH FLOOR LEVEL AND AT THE CEILING OF THE UPPERMOST STORY SUCH THAT THESE SPACES SHALL NOT BE CONTINUOUS FOR MORE THAN ONE STORY, OR COMMUNICATE WITH CONCEALED HORIZONTAL SPACES IN THE FLOOR OR ROOF CONSTRUCTION.
 214. ALL MEMBERS SHALL BE CLOSELY FITTED, ACCURATELY SET TO THE REQUIRED LINES AND LEVELS, AND RIGIDLY SECURED IN PLACE. NAILING SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL CODES. JOISTS SHALL BE SET WITH THE CROWN EDGE UP.
 215. ALL WOOD WHICH COMES IN CONTACT WITH CONCRETE SHALL BE TREATED WITH PENTACHLOROPHENAL, WOODLIFE OR BAR D-K.
 216. (3/2X)12'S OVER ALL OPENINGS UNLESS INDICATED OTHERWISE.
 217. PROVIDE SOLID BLOCKING FOR THE BEARING OF ALL BEAMS AND COLUMNS. BEAMS SHALL HAVE BEARING OF NOT LESS THAN 4 INCHES ON CONCRETE OR MASONRY, AND 1-1/2 INCHES ON WOOD OR METAL. JOISTS, TRIMMERS, HEADERS AND BEAMS FRAMING INTO CARRYING MEMBERS AT THE SAME RELATIVE LEVELS SHALL BE CARRIED ON JOIST HANGERS.
 218. JOIST HANGERS SHALL BE GALVANIZED STEEL OR IRON, SIZED TO FIT THE SUPPORTED MEMBER AND OF SUFFICIENT STRENGTH TO DEVELOP THE FULL STRENGTH OF THE SUPPORTED MEMBER, AND FURNISHED COMPLETE WITH ANY SPECIAL FASTENERS REQUIRED.
 219. FITS: 1/2" MEDIUM DENSITY OVERLAP PLYWOOD EXTERIOR GLUE LINE, WITH CONTINUOUS ALUMINUM SCREENED VENT.

ELECTRICAL NOTES

- PROVIDE AND INSTALL ALL ELECTRICAL WORK REQUIRED. ALL WORK SHALL CONFORM WITH THE N.E.C. 2017 CODE, LOCAL UTILITY COMPANY, AND ALL CODES AND THE REQUIREMENTS OF AGENCIES HAVING JURISDICTION. THE CONTRACTOR IS RESPONSIBLE FOR THE PROCUREMENT OF ALL INSPECTION CERTIFICATES.
- PROVIDE A COPY OF THE UNDERWRITERS CERTIFICATES TO THE OWNER UPON COMPLETION OF THE WORK. FIXTURE ELECTION SHALL BE BY THE OWNER. ALL ELECTRICAL WORK SHALL BE PERFORMED BY AN ELECTRICIAN LICENSED TO DO WORK IN TOWN WILTON CONNECTICUT.

ARC-FAULT CIRCUIT INTERRUPTER PROTECTION

ARC-FAULT CIRCUIT INTERRUPTER PROTECTION TO BE SUPPLIED AS PER SECTION R308.2.11 OF THE 2021 IRC INTERNATIONAL RESIDENTIAL CODE.

SCOPE OF WORK

- ALTERATION AND RENOVATION OF EXISTING ONE FAMILY HOUSE
- ADD NEW FRONT AND REAR ROOFED PORCH
- REPLACE AND RELOCATE EXISTING KITCHEN FIXTURES AND CABINETS W/ NEW FIXTURES AND CABINETS, PROVIDE NEW CERAMIC TILE ON WALLS.
- RISE UP CEILING ON SECOND FLOOR
- PROVIDE NEW EXTERIOR WALLS W/ INSULATION AND EXTERIOR SIDING FINISH
- PROVIDE NEW ROOF
- PROPOSED NEW BATHROOM ON SECOND FLOOR AND REPLACE FIXTURES ON EXISTING BATHROOM, PROVIDE NE CERAMIC TILE ON FLOOR AND WALLS.
- ADD WINDOWS ON SECOND FLOOR
- ELECTRIC AND PLUMBING WORKS ON KITCHEN AND SECOND FLOOR
- REMOVE WALL TO CREATE OPENING BETWEEN DINING AND MUD ROOM.
- EXTEND EXISTING CHIMNEY

LIST OF JOB TO BE FILED UNDER SEPARATE APPLICATION

- PLUMBING
- ELECTRICAL

PLUMBING NOTES

1. ALL PLUMBING WORK IS TO COMPLY WITH ALL 2020 NEW YORK STATE PLUMBING CODE.
2. THE PLUMBING CONTRACTOR (P.C.) IS TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS PERTAINING TO THE PLUMBING WORK. THE P.C. IS TO ARRANGE FOR ALL REQUIRED INSPECTIONS AND OBTAIN ALL APPROVALS.
3. THE P.C. IS TO SUPPLY ALL REQUIRED LABOR, MATERIAL, EQUIPMENT AND SERVICES NECESSARY FOR THE COMPLETE INSTALLATION OF ALL PLUMBING FIXTURES AND PIPING AS INDICATED ON THE DRAWING AND AS MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO THE FOLLOWINGS.
4. A. INSTALLATION OF NEW WATER SUPPLY LINES, SANITARY WASTE AND VENT LINES, VALVES AND PLUMBING FIXTURES REQUIRED FOR A COMPLETE INSTALLATION.
5. ALL VALVES, TRAPS, CLEAN OUTS, ETC. AND OTHER WORK IS TO BE INSTALLED TO BE READILY ACCESSIBLE FOR OPERATION, REPAIR AND MAINTENANCE. ALL PIPING IS TO RUN CONCEALED.
6. PIPING LAYOUT IS DIAGRAMMATIC ONLY. THE P.C. IS TO PROVIDE AS BUILT DRAWINGS SHOWING LOCATIONS, DIMENSIONS AND ANY AND ALL CHANGES MADE THAT DEVIATES FROM THE CONSTRUCTION DOCUMENTS.
7. ALL UNDERGROUND SANITARY SEWER PIPING TO BE SERVICE WEIGHT CAST IRON PIPING WITH HUB LESS CONNECTORS UNLESS OTHERWISE NOTED.
8. INSTALL CLEAN OUTS AT ALL DEAD ENDS, AT TRAPS, AT BASE OF STACKS, AT CHANGES IN DIRECTION AND HORIZONTAL RUNS, FACED 10'-0" MAXIMUM FOR PIPES 4" OR SMALLER AND 100'-0" MAXIMUM FOR PIPES LARGER THAN 4".
9. ABOVE GROUND SANITARY WASTE PIPING AND VENT PIPING TO BE CAST IRON, COPPER, GALVANIZED STEEL OR OTHER APPROVED MATERIAL. NO PVC IS TO BE USED.
10. ALL VENT PIPES TO BE A MINIMUM OF 12" ABOVE THE ROOF. THE P.C. IS TO PROVIDE VENT FLASHING, COORDINATE WITH G.C. FOR TYPE OF ROOF SPECIFIED.
11. WATER SERVICE AND DISTRIBUTION PIPING TO BE COPPER, TYPE "K" FOR BELOW GROUND AND TYPE "L" FOR ABOVE GROUND. FITTINGS TO BE COPPER OR BRASS. ALL JOINTS TO BE FORMERLY CLEANED, FLUXED AND SOLDERED USING LEAD FREE SOLDER CONFORMING TO A.S.T.M. 652. FLARED FITTINGS AND THREADED FITTINGS ARE ALSO PERMITTED.
12. HANGER AND SUPPORTS FOR WATER PIPING TO BE OF AN APPROVED TYPE. SPACED 6'-0" O.C. MAXIMUM FOR PIPES SMALLER THAN 2" AND 10'-0" O.C. MAXIMUM FOR PIPES 2" AND LARGER.
13. ALL FLOAT WATER PIPING TO BE INSULATED PER THE REQUIREMENTS OF THE N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE. THE INSULATION IS TO BE FIBERGLASS, FOAM OR ANOTHER APPROVED MATERIAL.
14. INTERIOR ROOF LEADERS ARE TO BE CAST IRON, COPPER OR GALVANIZED STEEL PIPE, INSULATE INTERIOR LEADERS TO PREVENT FREEZING, SEATING AND NOISE TRANSMISSION. PROVIDE A CLEAN OUT AT THE BASE OF ALL INTERIOR LEADERS.
15. EXCAVATIONS FOR UNDERGROUND PIPING TO BE OF THE REQUIRED DEPTH PITCH AND LOCATIONS WITH A FIRM BED TAMPED AS REQUIRED. BACK FILL TO BE CLEAN EARTH WITH STONE SIZES NOT TO EXCEED 2" IN DIAMETER, SAND OR GRAVEL. BACK FILLING AND COMPACTION ARE TO BE PERFORMED IN SUCH A METHOD TO ASSURE PROPER COMPACTNESS WITHOUT DAMAGE TO THE PIPE. THE P.C. IS TO PROVIDE DEWATERING AS MAY BE REQUIRED.
16. PROVIDE CHROME PLATED SHUT OFF VALVES WITH CHROME PLATED ESCUTCHEON PLATES AT EACH FIXTURES HOT AND COLD WATER LINES.
17. WHERE HOT AND COLD WATER LINES AND WASTE TRAPS ARE EXPOSED UNDER HAND/CAFFED ACCESSIBLE LAVATORIES, THE P.C. IS TO INSULATE THOSE ITEMS IN CONFORMANCE WITH THE ADA AND ANSI A111-1993.
18. ALL FLOOR DRAINS ARE TO HAVE DEEP TRAP WATER SEALS OF 4" MINIMUM AND ADJUSTABLE STRAINERS WITH BRASS FINISH. PROVIDE REMOTE VENT UNDER SLAB AT EACH FLOOR DRAIN TYPICAL.

CODE INSULATION

TABLE E302.1 EXTERIOR DESIGN CONDITIONS - CONNECTICUT

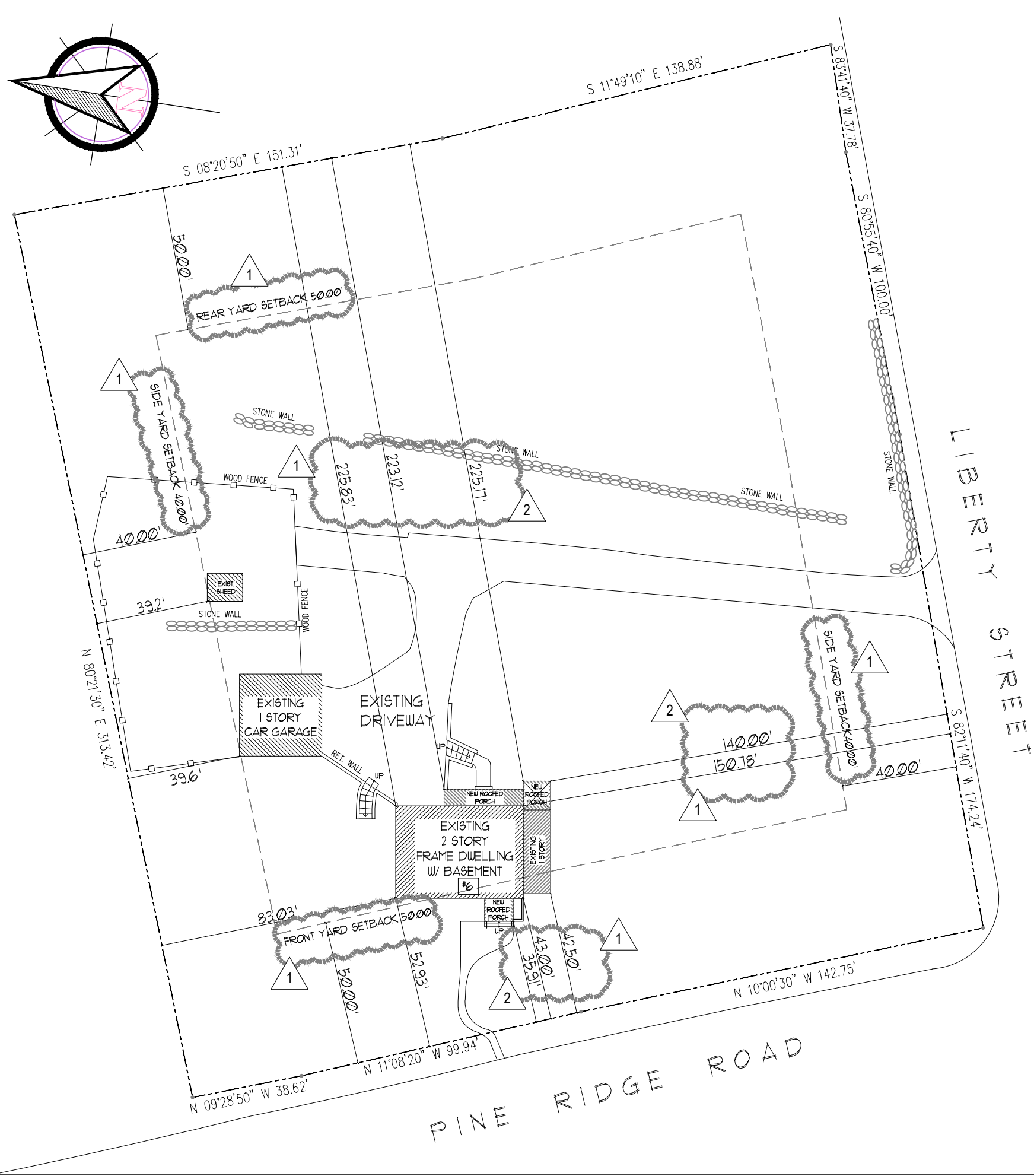
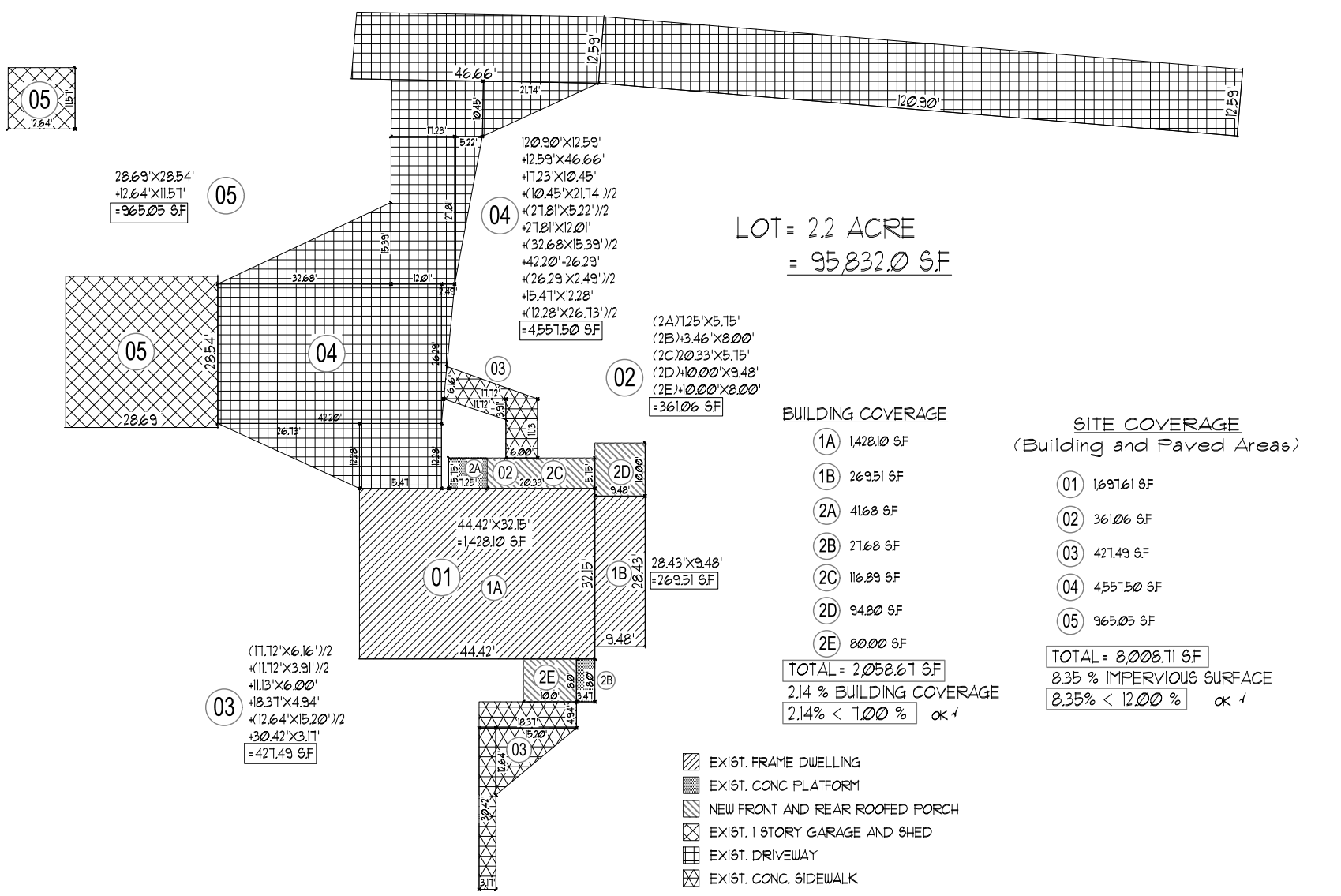
COUNTY	WINTER DESIGN DRY-BULB TEMP.	SUMMER DESIGN DRY-BULB TEMP.	COINCIDENT DESIGN WET-BULB TEMP.	HEATING DEGREE DAYS	CRAWL SPACE WALL
CONNECTICUT	7	84	73	5750	R-10/13

TABLE N1102.1.2											
SIMPLIFIED PRESCRIPTIVE BUILDING ENVELOPE THERMAL COMPONENT CRITERIA											
MINIMUM REQUIRED THERMAL PERFORMANCE (U-FACTOR AND R-FACTOR)											
THE FIRST VALUE SHOWN REPRESENTS MINIMUM R-VALUE OF CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR THE EXTERIOR WALL. THE SECOND VALUE SHOWN REPRESENTS MINIMUM R-VALUE FOR CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.											

ZONING CALCULATION

District / Use	MAXIMUM COVERAGE in percent		MINIMUM LOT DIMENSIONS				MINIMUM REQUIREMENTS *YARD DIMENSIONS				MAXIMUM Building Height	
	BUILDING COVERAGE	SITE COVERAGE (Building and Paved Areas)	Lot Area (Acres)	Private open space (S.F. per DU)	Frontage (feet)	Width and Depth (feet)	Front (feet)	Side (feet)	Rear (feet)	Stories	Feet	Feet
R-2A SINGLE FAMILY RESIDENCE	7%	12%	2	n/a	25'	200'	50'	40'	50'	1	2 1/2	35'
EXISTING	1.84% (1,766.97 S.F.)	8.05% (7,717.01 S.F.)	2.2 AC	n/a	267.16'	290.18' & 300.91'	43.00'	83.03' & 150.78'	225.83'	2 1/2	26'-2"	
PROPOSED	21.4% (20,866.61 S.F.)	21.4% (20,866.61 S.F.)	NO CHANGE	n/a	NO CHANGE	NO CHANGE	35.91'	83.03' & 140.00'	225.17'	NO CHANGE	28'-4"	

ZONING CALCULATION DIAGRAM



PLOT PLAN
1/32=1'-0"

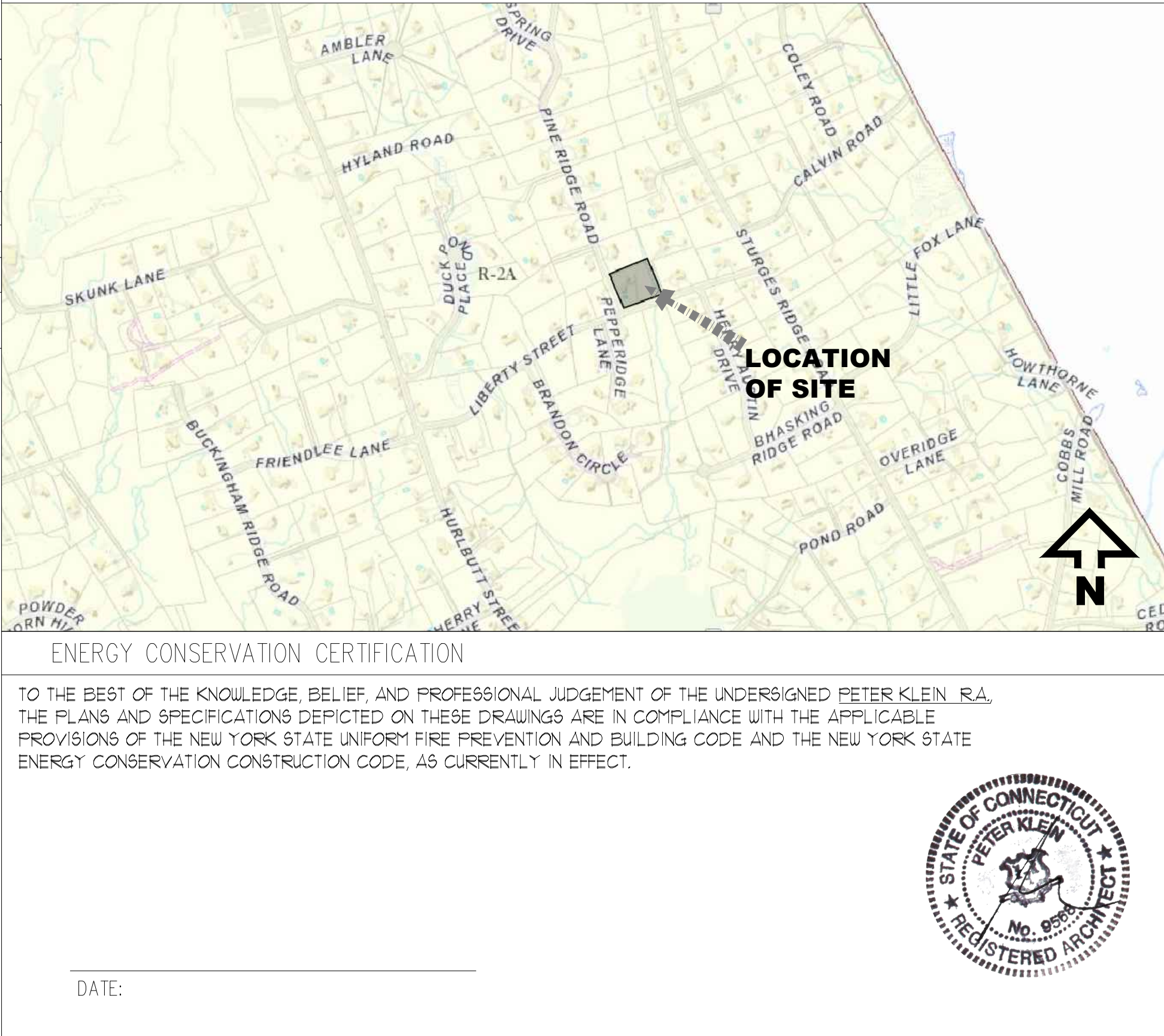
ZONING DATA

EXISTING ONE FAMILY FRAME
ADDRESS : 6 PINE RIDGE ROAD, WILTON, CONNECTICUT - 06897

ZONE: R-2A MAP LOT: 18-58

ALTERATION LEVEL: 2

LOCATION MAP



ENERGY CONSERVATION CERTIFICATION

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED PETER KLEIN, R.A., THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AS CURRENTLY IN EFFECT.

DATE:

ZONING DATA

6 PINE RIDGE ROAD, WILTON
CONNECTICUT - 06897

ZONE: R-2A MAP LOT: 18-58

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING AREA TO BE REMOVED
- NEW 2"x4 STUD WALL @ 16" O.C.
- NEW 10" CONCRETE BLOCK FOUNDATION WALL
- NEW 2"x6" STUD WALL @ 16" O.C. W/ NEW R-21 INSULATION AND VINYL SIDING ON EXTERIOR FINISH
- EXISTING SMOKE DETECTOR
- EXISTING CARBON MONOXIDE
- EXISTING MECHANICAL VENTILATION
- FIRE EXTINTOR
- HEAT DETECTOR

PETER KLEIN , ASSOCIATES, INC
ARCHITECTS • BUILDERS • DEVELOPERS
CONSTRUCTION MANAGEMENT

44 WINDING WOOD ROAD

RYE BROOK , NEW YORK 10573

OWNER

SREEJITH GANGADHARAN

PROJECT

ALTERATION AND RENOVATION OF EXISTING
ONE FAMILY HOUSE

6 PINE RIDGE ROAD, WILTON
CONNECTICUT - 06897

ZONE: R-2A MAP LOT: 18-58

DRAWING LIST

- PLOT PLAN
- ZONING DATA
- LOCATION MAP
- GENERAL NOTES

SEAL & SIGNATURE	PROJECT No: 096-2022
	DATE: 06-14-2022
	DRAWING BY: LP
	CKD BY: P.K.
	DWG No: A-001.00
	CAD FILE No: 1 of 10

REV. DATE: 12-21-2023