

PROJECT TITLE:
55 GRUMMAN HILL RD
WILTON, CT
GRAHAM Residence

cusatoARCHITECTURE

architecture - planning - interiors



41 otter trail westport ct 06880
www.cusatoARCHITECTURE.COM
203.395.4663

ZBA SET 062018

REVISIONS:

SCHEDULE OF DRAWINGS

- A1 - 1 FLOOR PLAN
- A2 - 2 FLOOR & ATTIC DEMO PLAN
- A3 - 2 FLOOR & ATTIC NEW CONSTRUCTION PLAN
- A4 - NORTH ELEVATION DEMO & NEW CONSTRUCTION
- A5 - SOUTH ELEVATION DEMO & NEW CONSTRUCTION
- A6 - EAST ELEVATION DEMO & NEW CONSTRUCTION
- A7 - WEST ELEVATION DEMO & NEW CONSTRUCTION
- A8 - BUILDING SECTION

GENERAL NOTES:

- 1) The contractor shall check and verify all dimensions and conditions prior to starting work and notify the architect of any discrepancies.
- 2) Contractor(s) shall obtain any and all permits as required by the town.
- 3) All work shall be as per building construction code of the State of CT and per zoning regulation for the town.
- 4) Contractor shall field measure and verify all existing conditions. Discrepancies shall be reported to the architect or engineer and resolved prior to proceeding with work.
- 5) The contractor shall be responsible for visiting the site and familiarizing themselves with existing conditions.
- 6) The contractor shall be solely responsible for all safe working conditions and shall observe all safety requirements established by jurisdictional agencies and the owner. Where conflicts exist, the more stringent will apply. Care shall be taken to avoid endangering personnel or the structure.
- 7) All drawings to be used in conjunction with the specifications.
- 8) All dimensions shall be verified by the contractor. The general contractor shall coordinate and be responsible for the approved size and location of all openings through roofs, floors and walls.
- 9) All sections and details are to be considered typical and apply for the same and similar conditions unless otherwise specifically noted.
- 10) Contractor shall furnish and be solely responsible for all temporary bracing required to maintain stability of the structure during construction.
- 11) The general contractor shall coordinate the work of all trade sand sub contractors unless otherwise noted.
- 12) All contractors shall cooperate in coordinating construction.
- 13) All cutting and patching shall be done by the General Contractor and shall be the responsibility of the GC to see that the final patch is not visible after finishes.
- 14) The contractor shall protect, with appropriate fencing, and not damage trees, plantings or shrubs where work or operation of work is required at exterior of the building.
- 15) The storage of materials and equipment on site shall be located where directed by owner and architect.
- 16) All glass within 18" of floor shall be tempered safety glass.
- 17) All operable windows to be adequately flashed caulked and weather-stripped.
- 18) The contractor, by submitting his bid, represents that they have visited the site and agrees with plans and details as representing the full extent of construction. If contractor has found that plans and details vary significantly from what is physically in the field, they shall notify the architect or owner before submitting bid.
- 19) Contractor to carry appropriate insurance, workmen's comp and liability in the sums prescribed by authorities having jurisdiction over the project.
- 20) Contractor to be responsible for contacting Call Before You Dig to locate and familiarize themselves all existing underground utilities

DEMOLITION NOTES:

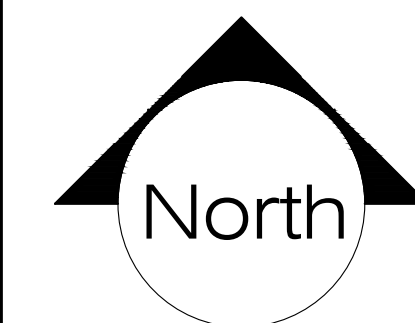
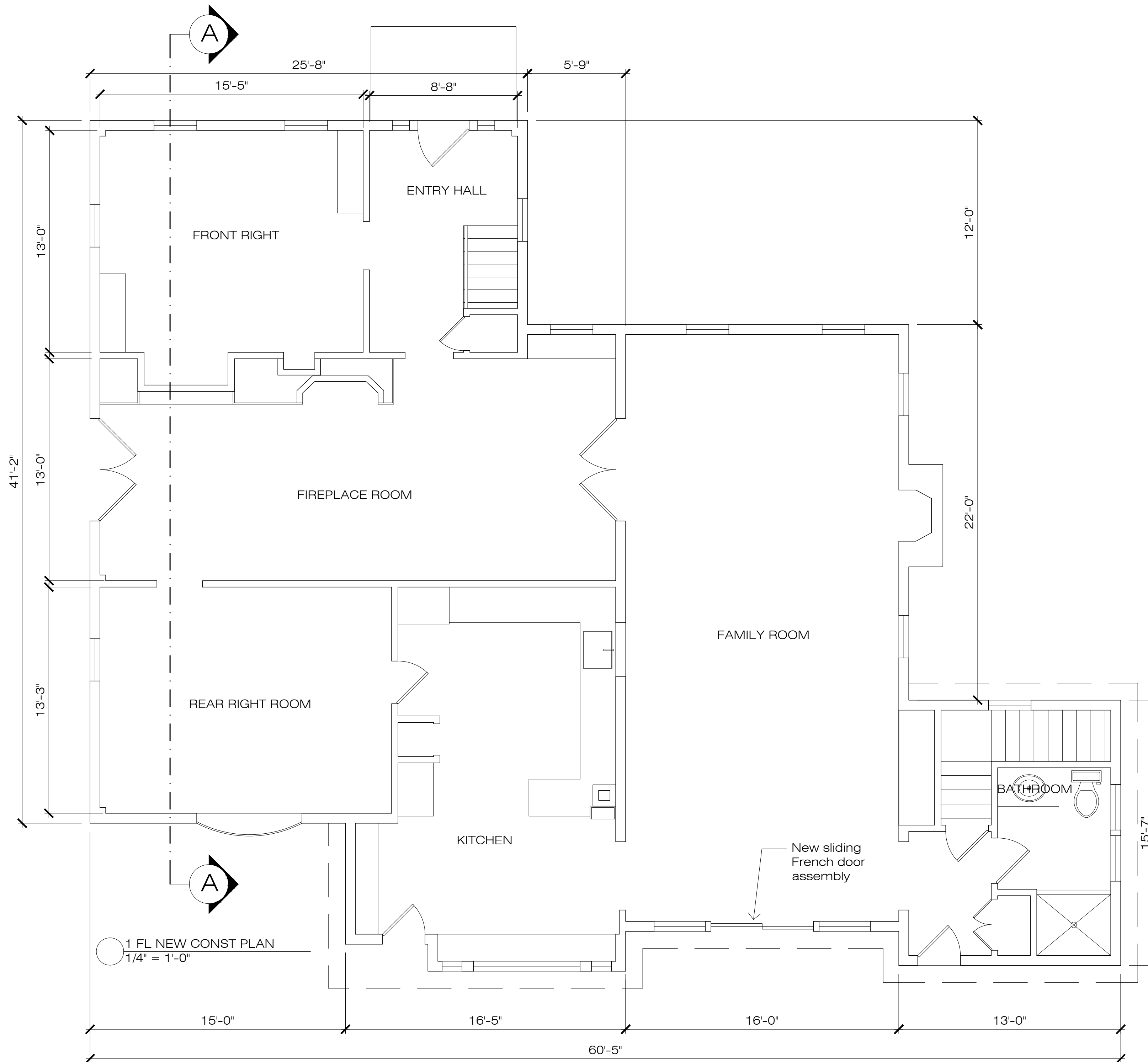
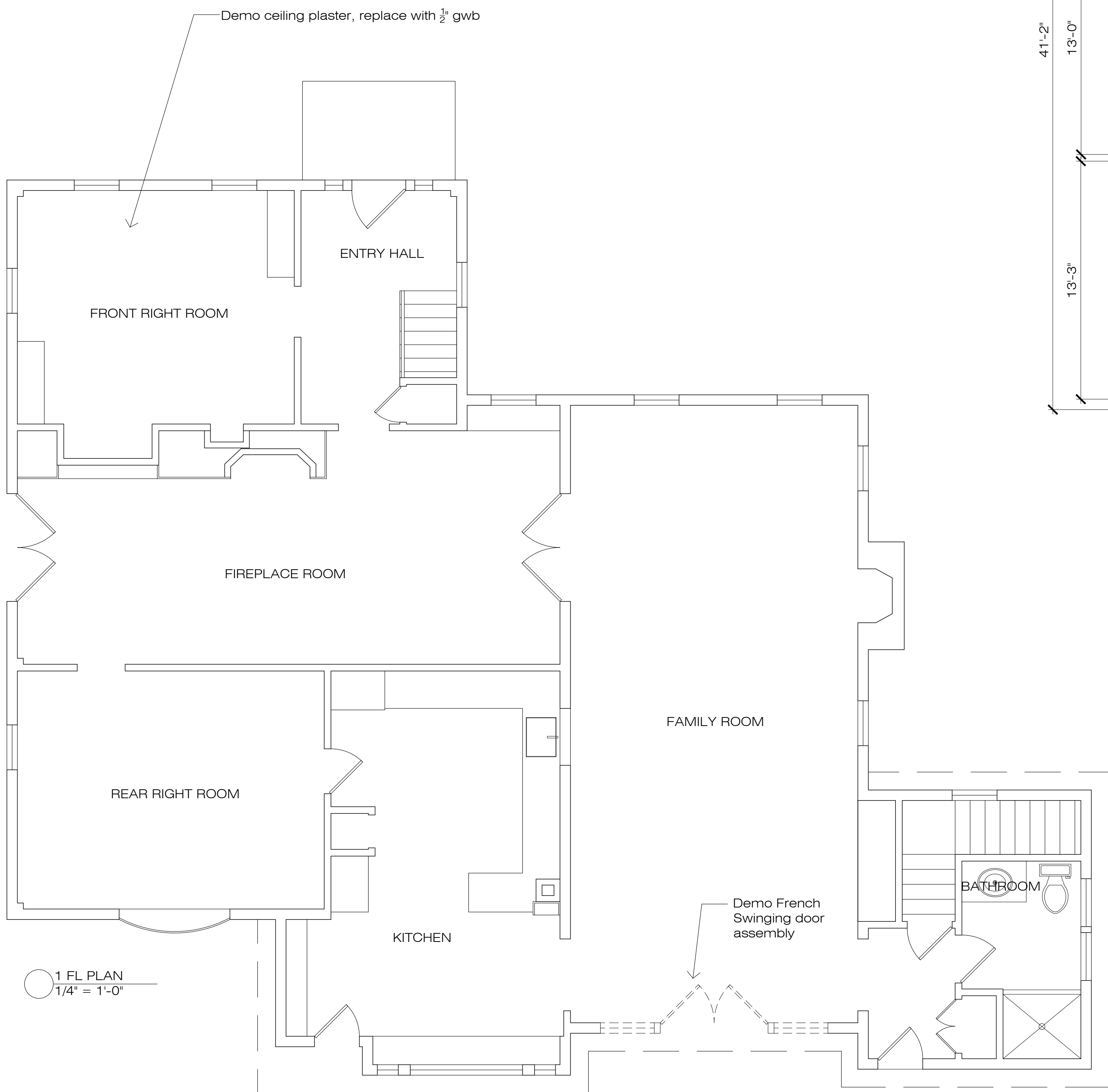
- Obtain necessary demolition permits.
- Check with the Fire Department and Utility Companies.
- Inspect for Hazardous Materials.
- Demolish building components completely and remove from the site.
- Use methods required to complete Work within limitations of all governing regulations.
- Remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.
- Demolish concrete and masonry in sizes that will be suitable for acceptance at recycling or disposal facilities, unless otherwise shown to remain.
- Remove all disconnected, abandoned utilities on site.
- Take care to protect utilities, fences, landscaping, etc. to remain on site
- Completely remove below-grade construction, including foundation walls and footings.
- Below-Grade Areas: Completely fill below-grade areas and voids resulting from building demolition operations to average grade level with satisfactory soil materials.
- Damages: Promptly repair damages to adjacent facilities caused by demolition operations.
- Do not burn demolished materials.
- Disposal: Transport demolished materials off [Owner's] property and legally reuse, salvage, recycle, or dispose of materials.
- Consult owner for coordination of valuable material removal before demo

The following codes are to be followed as amended by 2016 Connecticut State Building Code:

- 2012 International Code Council (ICC) International Building Code
- 2012 International Code Council (ICC) International Residential Code
- 2012 International Code Council (ICC) International Existing Building Code
- 2012 International Code Council (ICC) International Mechanical Code
- 2012 International Code Council (ICC) International Plumbing Code
- 2012 International Code Council (ICC) International Energy Conservation Code
- 2014 National Fire Protection Association (NFPA) 70 - National Electrical Code
- 2009 International Code Council (ICC) ANSI A117.1 - Accessible and Usable Buildings and Facilities

INSULATION REQUIREMENT NOTES Climate Zone: 5

Fenestration U-Factor:	.32
Skylight U-Factor:	.55
Ceiling R-Value:	R49
Wood Frame Wall R-Value:	R20 cavity OR R13 cavity + R5 continuous
Mass Wall R-Value:	R13 OR R17 if more than half of the insulation is on the interior of the mass wall
Floor R-Value:	R30 OR fill the framing cavity with min R19
Basement Wall R-Value:	R15 continuous on interior or exterior OR R19 interior cavity OR R13 interior cavity + R5 continuous
Slab R-Value / Depth:	R10 / 2ft
Crawl Space Wall R-Value:	R15 continuous on interior or exterior OR R19 interior cavity OR R13 interior cavity + R5 continuous



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1 FLOOR PLANS

DATE: 062018

SCALE: as noted

DRAWN BY: MFC

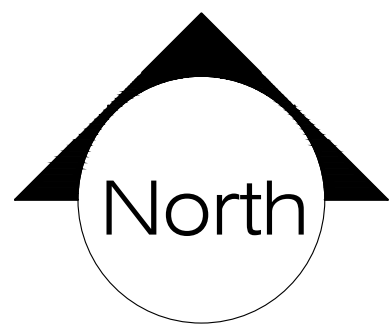
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PROJECT TITLE:
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2 FL DEMO PLAN
ATTIC DEMO PLAN

DATE: 062018

SCALE: as noted

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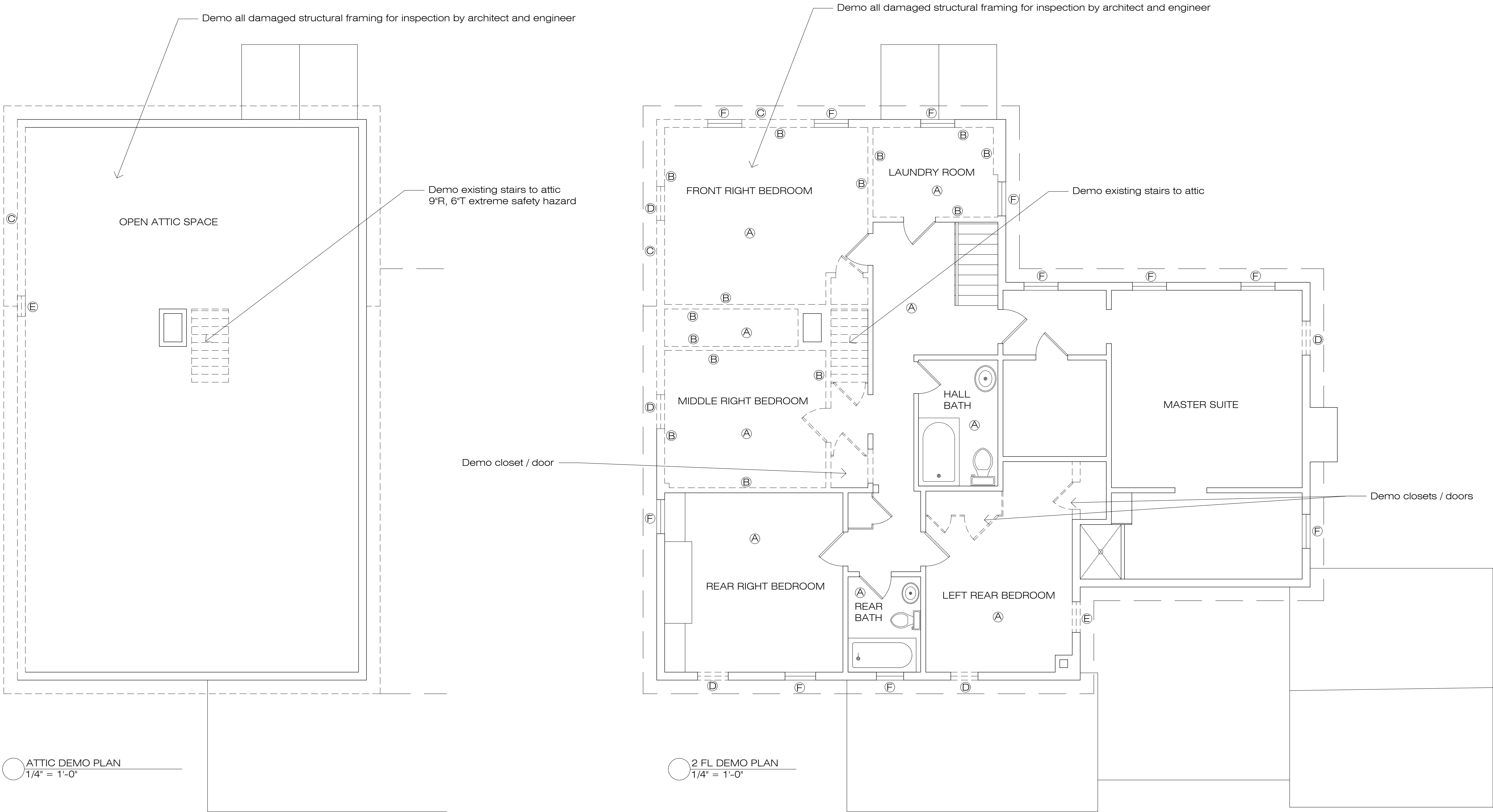
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A2

- (A) Demo ceiling plaster, replace with 1/2" gwb
- (B) Demo wall plaster, replace with 1/2" gwb
- (C) Demo exterior siding, sheathing per damage, replace with 1/2" CDX sheathing, clapboard to match
- (D) Demo window, replace with Anderson 400 series egress window
- (E) Demo window, replace with non-egress window
- (F) Window to remain



ATTIC DEMO PLAN
1/4" = 1'-0"

2 FL DEMO PLAN
1/4" = 1'-0"



NORTH ELEVATION - DEMO
1/4" = 1'-0"



NORTH ELEVATION - PROPOSED
1/4" = 1'-0"

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NORTH ELEVATION

DATE: 062018

SCALE: as noted

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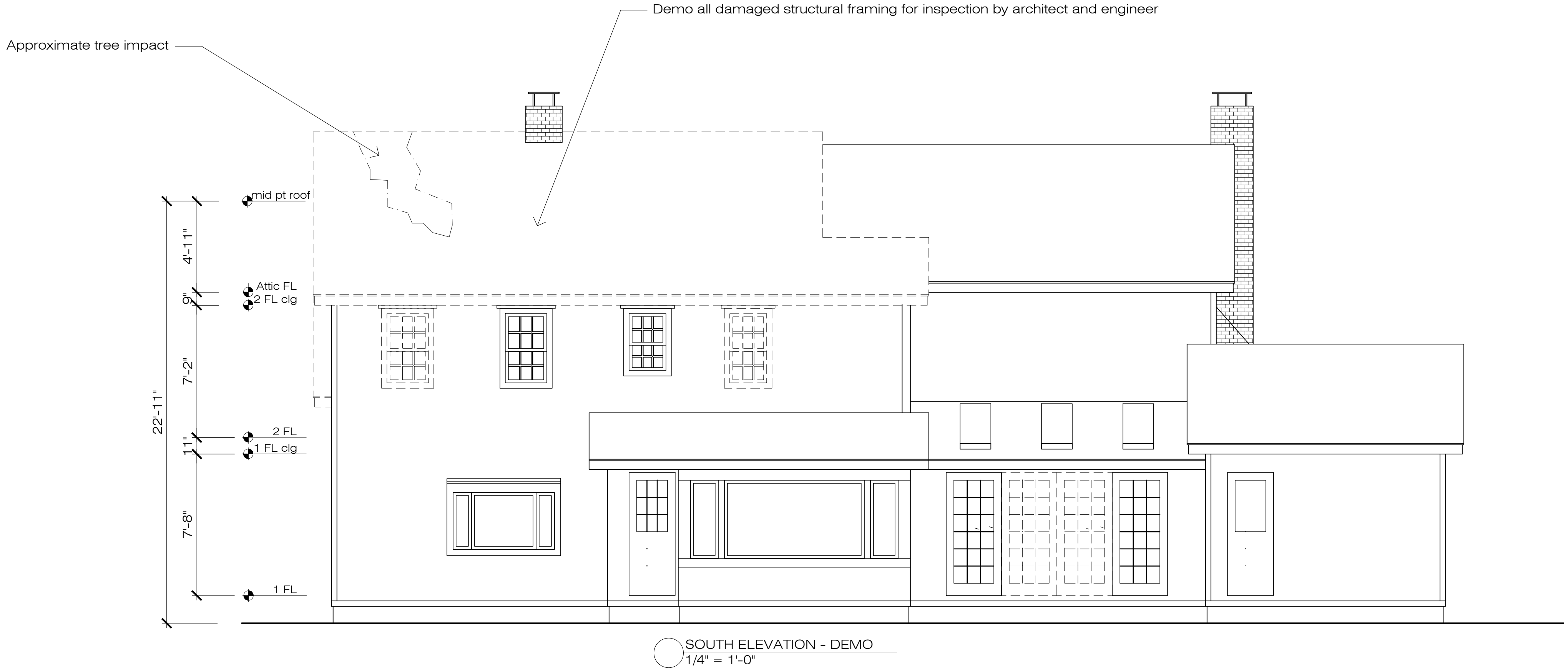
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PROJECT TITLE:
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SOUTH ELEVATION

DATE: 062018

SCALE: as noted

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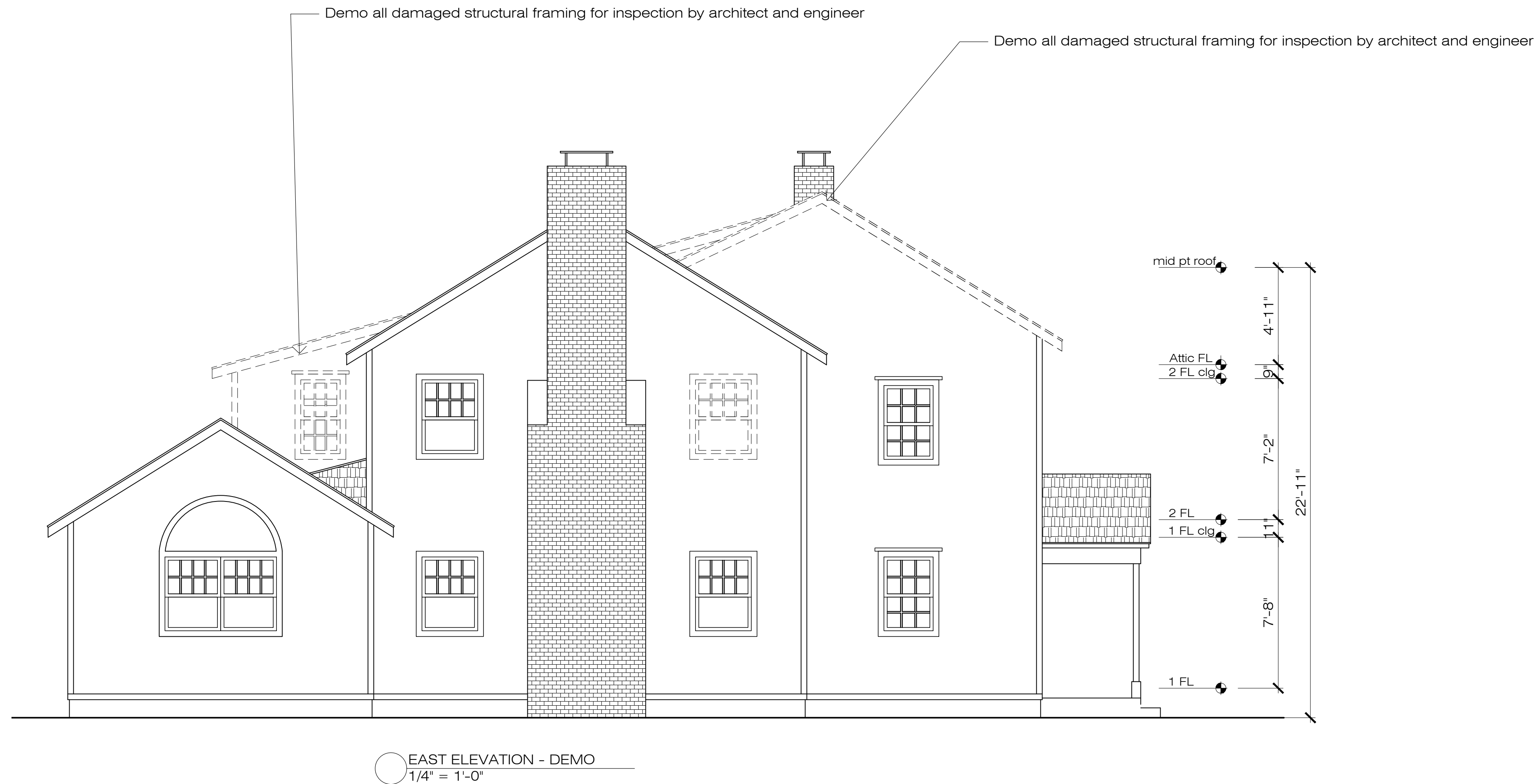
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DATE / REVISION:

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PROJECT TITLE:
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EAST ELEVATION

DATE: 062018

SCALE: as noted

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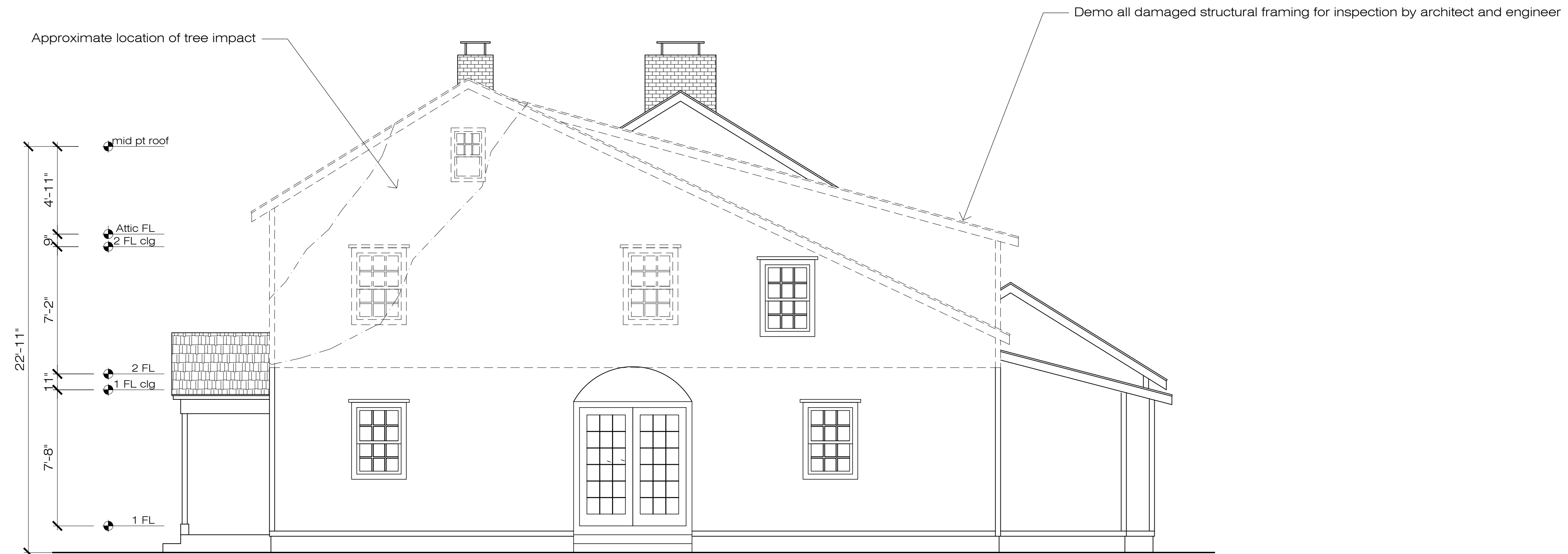
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WEST ELEVATION - DEMO
1/4" = 1'-0"



WEST ELEVATION - PROPOSED
1/4" = 1'-0"

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WEST ELEVATION

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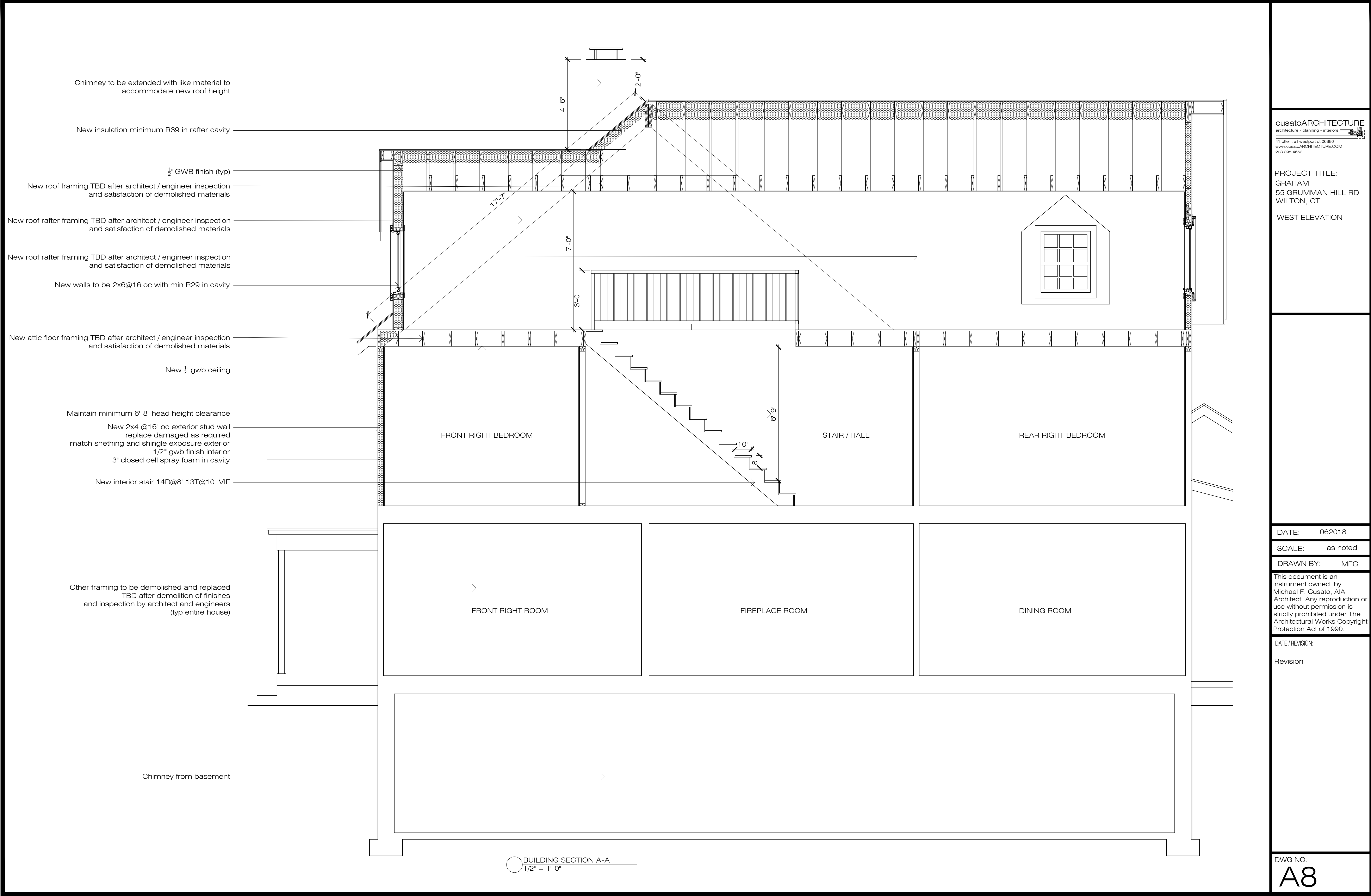
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PROJECT TITLE:
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WEST ELEVATION

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