

WILTON ZONING BOARD OF APPEALS - RESIDENTIAL VARIANCE APPLICATION - ZBA#

Please consult the Zoning Regulations when applying for a variance, particularly Section 29-13.

Please TYPE or print clearly... (See last 2 pages for brief explanation.)

Katrina Rusin	30 Hollow Tree Place, Wilton, CT 069897				
APPLICANT'S NAME	ADDRESS				
Thomas & Katrina Rusin	30 Hollow Tree Place, Wilton, CT 06897				
OWNER'S NAME	ADDRESS				
30 Hollow Tree Place, Wilton, CT 06897	R2A				
PROPERTY LOCATION	ZONING DISTRICT				
3724	1701	336	128-28	3	1.44
WLR MAP#	VOLUME	PAGE	TAX MAP #	LOT #	ACREAGE

VARIANCE DESCRIPTION:

Requesting a variance of Section 29-4.D.1.g – Minimum Lot Size and Yard Requirements – 2 acres required, 1.446 acres provided

HARDSHIP DESCRIPTION:

We wanted to build a detached garage with a bedroom above for our oldest son, and then eventually one of our elderly parents who will likely need care soon. (Now 82 and 83 and finding it difficult to live on their own.) We didn't want to build it if we were not going to be able to have a bath with a shower. If we couldn't do the full bath we would have sold and moved. However, as you know, a homeowner can't get a permit without plans. But since we were going with a structure built off-site, we couldn't get plans from the company without signing a contract and paying a non-refundable \$15,000.00 deposit first!

So, we spent significant time with planning and zoning, health, erosion, and wetlands before purchasing the plans. We spent thousands on a survey and a B-100 all to confirm the bathroom with shower would be ok. While we fully appreciate that final approval is only possible once plans are submitted, in every case we received a verbal, "you should be fine." So, we signed the contract, and paid not only for the plans but an additional \$30K to try and accelerate construction to beat the winter. (This was all in the fall.)

It was after all that in a conversation with Tim Bunting we were told, "Oh wait, you're in a conservation zone, you can't have a shower." He was very frank and presented the "finding" to be helpful, but at that point the deposits we paid were largely non-refundable and we had done all the septic tests and had health approvals for a full bath, so we decided to go forward with the garage and apply for a variance for the shower. We have a building permit for the garage and it has been built. Electrical is signed off and we are up to the plumbing and if we are able to obtain the variance would rather just complete it with the full bath. If we can't obtain the variance, we will finish the approved structure with the half-bath and then have to move.

From a foot-print perspective, a septic perspective, an exterior elevation perspective, a floor plan perspective, and an environmental perspective, there is nothing different about what has already been built and approved than what will be here if we get the variance. The only difference will be whether or not the building has a shower.

Further more we are being placed under a hardship in comparison with other Wilton land owners. Our deed is for the 1.446 acres *and* 1/5th of the Swamp Hollow Conservation land which is 6.398 acres. The two together is 2.725 acres. In comparison to other Wilton residents, if our 2.725 acres was contiguous, the shower would be fine. So, given there is nothing different about the structure nor the environmental impact, this seems like we are being denied appropriate use of our land in comparison to other residents, which seems unfair and quite a hardship.

Specifically, CGS § 8-6 allows ZBAs to grant variances from zoning bylaws, ordinances, or regulations with respect to a parcel of land when “owing to conditions especially affecting such parcel but not affecting generally the [zoning] district in which it is situated, a literal enforcement of such bylaws, ordinances or regulations would result in exceptional difficulty or unusual hardship.” MBL 128-28-3 is being placed under an unusual hardship that does not affect the other properties in the same zoning district. Despite collectively owning 2.7256 acres of land, with the 1/5th ownership of Swamp Hollow Conservation Corp, we are being deprived of our land’s and usage. A similar property with *less acreage* in the same R2A zone would be fully allowed the shower above the garage. Additionally, since there is NO change to the footprint, NO change to the external appearance, NO change to the septic, NO incremental impact to the environment , and the building ALREADY EXISTS we are being placed under an unusual hardship that does not apply to other homes under the same R2A zoning.

Additionally, while we understand financial impact is not a hardship we did spent significant time, effort and money with the town, (building, wetlands, erosion), as well as surveyors, and septic engineers, ensuring that the bathroom was possible, before contracting with a builder.

THE FOLLOWING MATERIAL SHALL BE ATTACHED: (see last 2 pages for brief explanation)

All submitted plans and documents shall bear the signature, seal and license number, as appropriate, of the professional responsible for preparing each item.

All plans shall be collated into sets (either clipped or stapled), with maps folded (not rolled).

SUBMIT TEN (10) **COLLATED** SETS (INCLUDING 1 ORIGINAL SET) OF THE FOLLOWING DOCUMENTS:

- X APPLICATION FORM
- X LIST OF OWNERS WITHIN 500' of the subject property as shown by Tax Map & Lot#.
- X A-2 SURVEY of the subject property showing all existing building and site conditions.
- X SITE DEVELOPMENT PLAN showing all proposed additions, amendments and/or site improvements, including building elevations, septic systems, wells, and all measurements pertaining to the application, such as location and distance(s) of proposed structures and/or improvements from the subject property lines.
- X LOCATION MAP at a scale of 1"=800' or less. Said map shall identify the site location and shall show the surrounding area and streets.
- X DIRECTIONS to subject property from Town Hall, 238 Danbury Road, Wilton, CT (e.g. hand-written, computer-generated or similar).
- none LIST OF PREVIOUS ZONING VARIANCES describing any variances and the action taken.
- X PHOTOGRAPHS of property showing building and site conditions from all geographic perspectives.

ALSO SUBMIT:

- X ONE COPY OF DEED INCLUDED WITH ORIGINAL SET ONLY (Obtain in Town Clerk's Office)
- mailed ENVELOPES, addressed to each property owner within 500' (see "Envelopes Instructions" online)
- X **ELECTRONIC EMAILED SUBMISSION** of all materials (Consolidated into 1-2 PDFs Maximum)
- done TWO #10 (4"x 9.5") PLAIN ENVELOPES addressed to the applicant (No Return Address)
- done \$310 FILING FEE payable to: Town of Wilton

IS THE SUBJECT PROPERTY LOCATED WITHIN 500 FEET OF THE MUNICIPAL BORDER? NO

IS THE SUBJECT PROPERTY LOCATED WITHIN THE PUBLIC WATER SUPPLY WATERSHED BOUNDARY?
NO [If YES, contact Planning & Zoning Dept for DPH Addendum Form.]

IS THE SUBJECT PROPERTY LOCATED IN THE FLOOD PLAIN? NO

WHEN WAS THE SUBJECT PROPERTY PURCHASED? 2004

IN WHAT YEAR WAS THE MAIN STRUCTURE CONSTRUCTED? 1980

SITE COVERAGE PROPOSED: 14.7
(AS PERCENTAGE OF SITE)

BUILDING COVERAGE PROPOSED: 6.9
(AS PERCENTAGE OF SITE)

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Board have been submitted.
THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

APPLICANT'S SIGNATURE

DATE

EMAIL ADDRESS

TELEPHONE



4/23/21

therusins@yahoo.com

203-246-2677

OWNER'S SIGNATURE

DATE

EMAIL ADDRESS

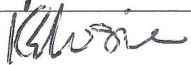
TELEPHONE



4/23/21

Tom.rusin1@gmail.com

203-912-4167



4/23/21

therusins@yahoo.com

NEWPORT GARAGE FOR:
TOM RUSIN

30 HOLLOW TREE PLACE
WILTON, CT 06897



24' X 24' 1-1/2 STORY CUSTOM GARAGE

DESIGN DATA:

ROOF SNOW LOAD:	30 PSF
ULTIMATE WIND SPEED: V(ULT)	120 MPH (3-SEC. GUST)
BUILDING CODE REFERENCE:	THE 2018 CT STATE BUILDING CODE, 2015 IRC

REVISIONS: 12/15/20 - REVISION #1 12/21/20 - REVISION #2

FABRICATED BY:



DRAWING LIST

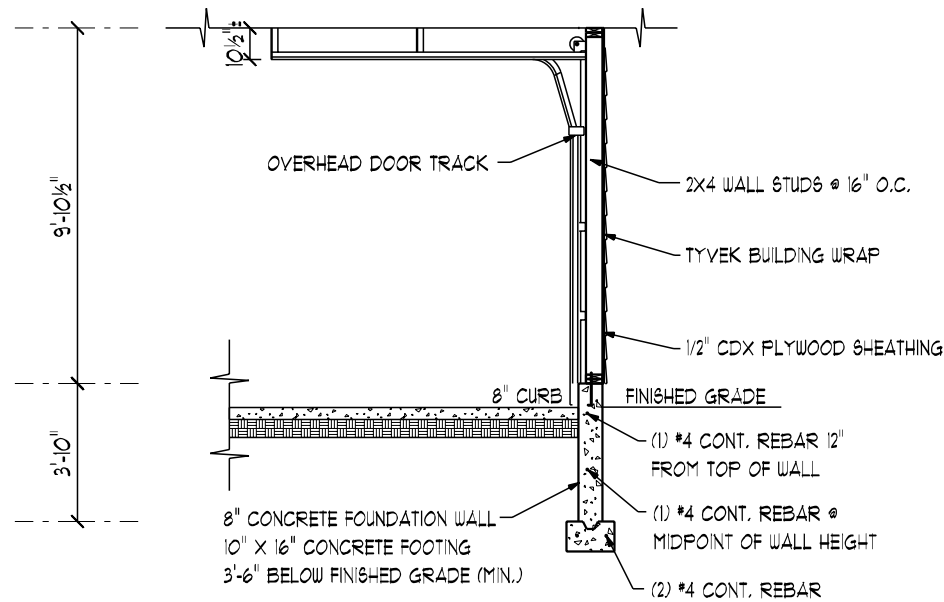
COVER	TITLE SHEET & DESIGN DATA
SHEET 1	FRONT ELEVATION & OHD SECTION
SHEET 2	LEFT ELEVATION
SHEET 3	RIGHT ELEVATION
SHEET 4	REAR ELEVATION
SHEET 5	FOUNDATION PLAN & DETAILS
SHEET 6	FIRST FLOOR PLAN
SHEET 7	ROOF FRAMING PLAN & NOTES
SHEET 8	BUILDING SECTION
SHEET 9	BRACED WALL SECTION & DETAILS
SHEET 10	TRUSS INFORMATION

THE BARN YARD

SHOWCASE LOCATION RTE. 83 120 WEST ROAD ELLINGTON, CT 06029 860-896-0636	HEADQUARTERS 9 VILLAGE STREET ELLINGTON, CT 06029 860-454-9103	SHOWCASE LOCATION RTE. 6 BETHEL, CT 203-740-7433
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PROJECT NO. 6136 PRINT DATE: 3/12/21

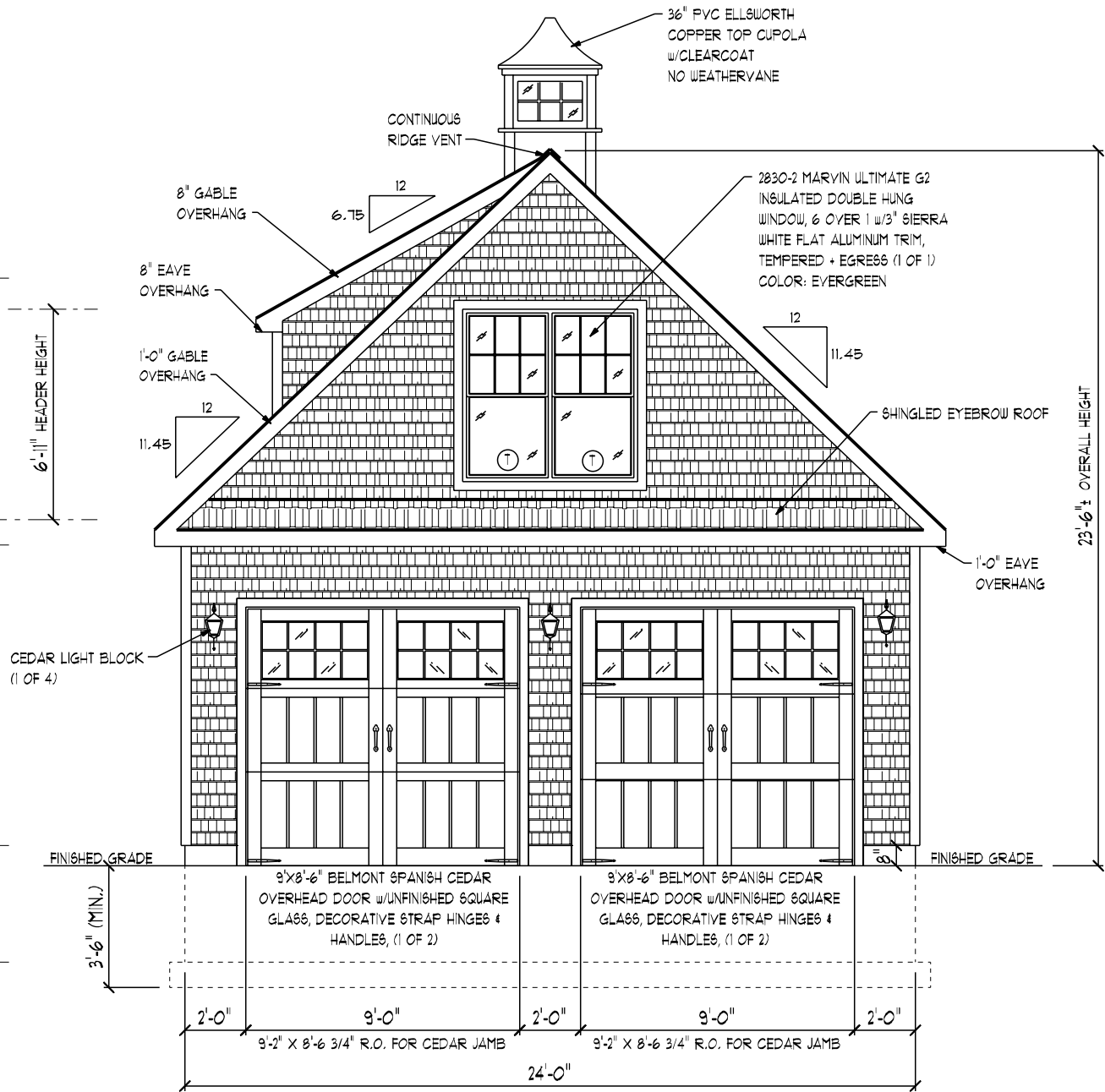
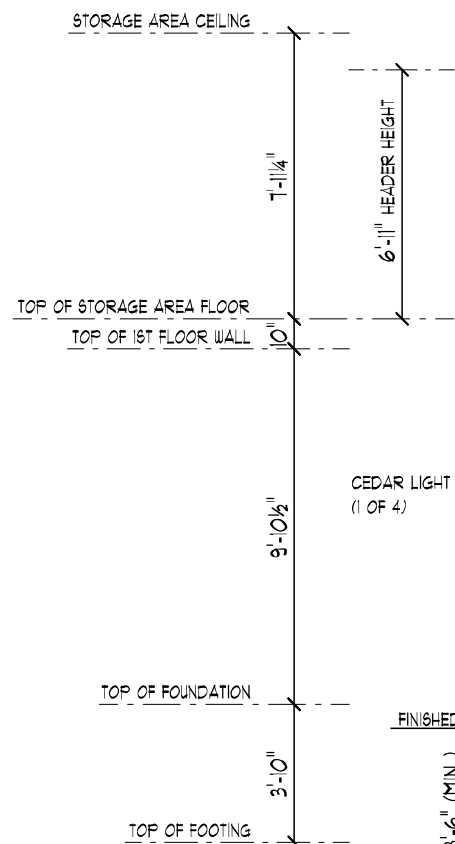


1 OHD SECTION
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL SCHEDULE		
ITEM	DESCRIPTION	FINISH/COLOR
ROOF ASSEMBLY		
ROOF SHEATHING	1/2" CDX PLYWOOD	NA
WEATHER BARRIER	ICE & WATER SHIELD @ 1ST 6 FEET OF EAVES, 15# FELT PAPER	NA
ROOFING	30YR TAMKO ARCHITECTURAL SHINGLES	WEATHERED WOOD
EAVE OVERHANGS	1'-0" CEDAR SOFFIT w/2" WIDE CONT. VENT STRIP	EVERGREEN
FASCIAS	CEDAR	EVERGREEN
GABLE OVERHANGS	1'-0" w/SOLID CEDAR SOFFIT	EVERGREEN
RAKES	CEDAR	EVERGREEN
RIDGEVENT	CONTINUOUS ROLLED VENT	NA
WALL ASSEMBLY		
INT. SIDING	NONE	NA
FRAMING	2X6 SPRUCE	NA
SHEATHING	1/2" CDX PLYWOOD	NA
WEATHER BARRIER	TYVEK BUILDING WRAP	NA
SPACER	NONE	NA
EXT. SIDING	MAIBEC NANTUCKET KENNEBUNK CEDAR SHINGLES	NAVAJO WHITE
OHD JAMB & TRIM	CEDAR	EVERGREEN
WINDOW TRIM	3" FLAT ALUMINUM FROM MARVIN	SIERRA WHITE
DOOR TRIM	CEDAR	SIERRA WHITE
SHUTTERS	NONE	NA

WINDOW SCHEDULE							
MANUFACTURER	MODEL #	TEMP	QTY	ROUGH OPENING	COLOR	GRILLES	NOTES
MARVIN ULTIMATE G2 SERIES	2420 DH	YES	3	2'-6 1/4" X 4'-0"	EVERGREEN w/3" SIERRA WHITE FLAT ALUMINUM TRIM	SDL, 6 OVER 1	LOW E w/ARGON
MARVIN ULTIMATE G2 SERIES	2830-2 DH (EGRESS)	YES	1	5'-9" X 5'-8"	EVERGREEN w/3" SIERRA WHITE FLAT ALUMINUM TRIM	SDL, 6 OVER 1	LOW E w/ARGON
MARVIN ULTIMATE G2 SERIES	2420-2 DH	YES	1	5'-1" X 4'-0"	EVERGREEN w/3" SIERRA WHITE FLAT ALUMINUM TRIM	SDL, 6 OVER 1	LOW E w/ARGON
MARVIN ULTIMATE G2 SERIES	CUSTOM AWNING	YES	3	1'-10 1/2" X 2'-1/2"	EVERGREEN w/3" SIERRA WHITE FLAT ALUMINUM TRIM	SDL, 2 OVER 2	LOW E w/ARGON

DOOR SCHEDULE								
MANUFACTURER	MODEL #	SIZE	HINGE	SWING	QTY	ROUGH OPENING	COLOR	DESCRIPTION
CUSTOM	SPANISH CEDAR	3010	R	IN	1	38 1/2" X 86 1/2"	PRIMED	6-LITE HALF GLASS
CUSTOM	BELMONT SERIES SPANISH CEDAR	9' X 8'-6"			2	9'-2" X 8'-6 3/4"	NA	DECORATIVE STRAP HINGES AND HANDLES, SQUARE GLASS



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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REVISIONS: 12/15/20 - REVISION #1
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860-454-9103
RTE 83/20 WEST ROAD
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860-866-0636
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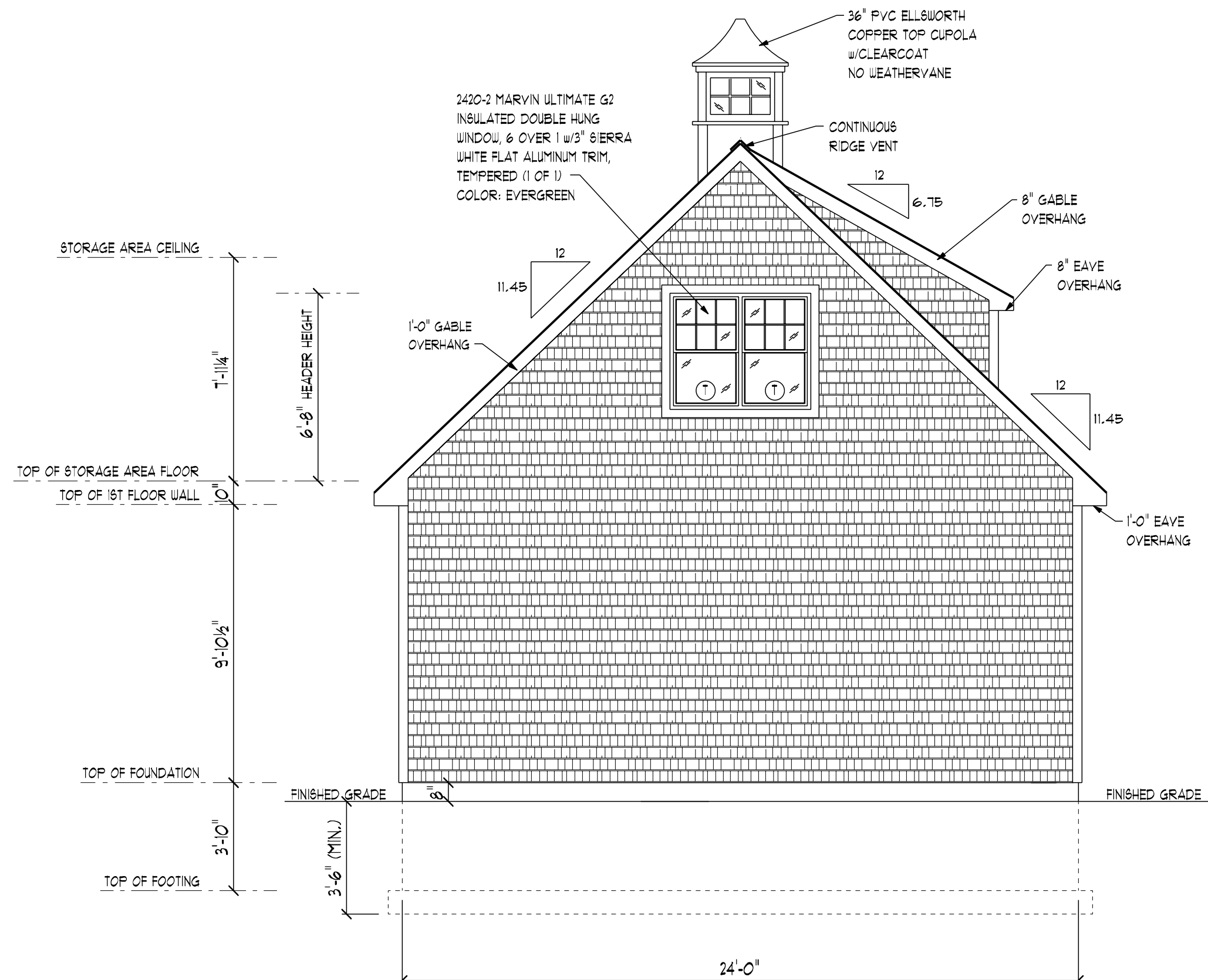
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NEWPORT GARAGE FOR:
TOM RUSIN
30 HOLLOW TREE PLACE
WILTON, CT 06897

FRONT ELEVATION & OHD SECTION
STYLE: NEWPORT

JOB NO: 6136
DATE: 3/12/21
SCALE: AS NOTED
DRAWN BY: KRO
CHECKED BY: JRO

DRAWING #
A-1 OF 10




REAR ELEVATION

SCALE: 1/4" = 1'-0"

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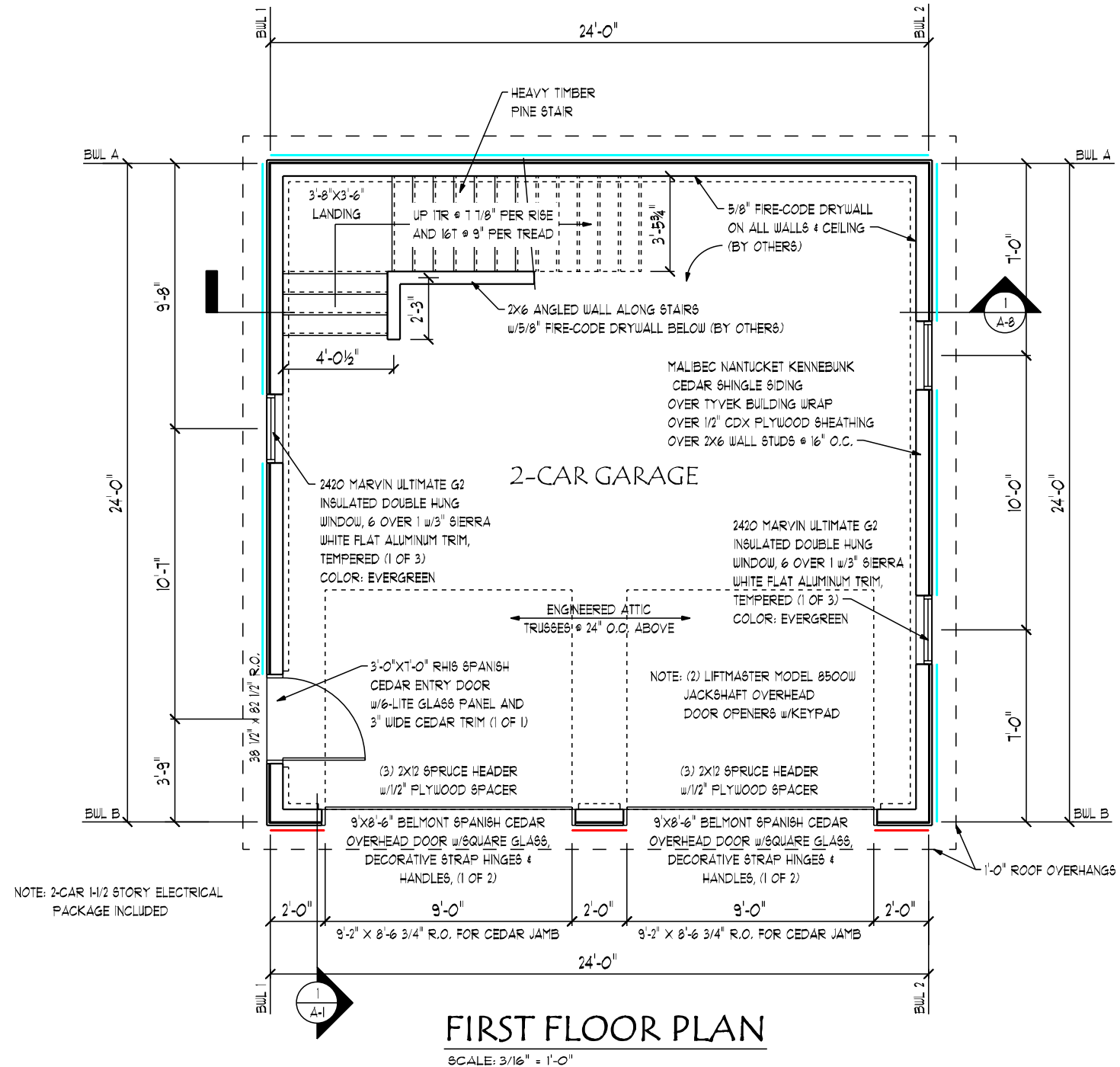
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NEWPORT GARAGE FOR: TOM RUSIN 30 HOLLOW TREE PLACE WILTON, CT 06897					
REAR ELEVATION		STYLE: NEWPORT			
JOB NO: 6136					
DATE: 3/12/21					
SCALE: AS NOTED					
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A-5 OF 10



BRACED WALL PANEL "BWP" LOCATION IN ACCORDANCE WITH METHOD C5-WBP SECTION R602.10.4 SEE SCHEDULE ON SHEET 9

BRACED WALL PANEL "BWP" LOCATION IN ACCORDANCE WITH METHOD C5-PF SECTION R602.10.4.1.1 SEE SCHEDULE ON SHEET 9

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NEWPORT GARAGE FOR:

TOM RUSIN
30 HOLLOW TREE PLACE
WILTON, CT 06897

FIRST FLOOR PLAN

STYLE:
NEWPORT

JOB NO: 6136

DATE: 3/12/21

SCALE: AS NOTED

DRAWN BY: KRO

CHECKED BY: JRO

STRUCTURAL NOTES:

ALL WORK SHALL CONFORM TO THE CURRENT REQUIREMENTS OF THE 2018 CONNECTICUT STATE BUILDING CODE AND 2018 INTERNATIONAL RESIDENTIAL CODE. DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST ENGINEERING DRAWINGS. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHORS AS REQUIRED BY ALL TRADES. OPENINGS NOT SPECIFICALLY SHOWN SHALL BE APPROVED BY THE ENGINEER. ALL WORK TO CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS, AND THE CUNERS OR DESIGNATED CONTRACTORS SHALL SECURE APPROPRIATE PERMITS REQUIRED BEFORE COMMENCEMENT OF ACTUAL CONSTRUCTION. ALL CONTRACTORS, SUBCONTRACTORS, SUPPLIERS AND ALL OTHER PERSONS ENGAGED IN ANY CAPACITY ON THIS PROJECT SHALL BE SUBJECT TO PROVISIONS OF THE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) WHICH IS ADMINISTERED AND ENFORCED BY U.S. DEPARTMENT OF HEALTH.

FOUNDATIONS:

ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL MATERIAL OR GRANULAR FILL. ELEVATIONS OF BOTTOM OF FOOTING SHOWN ON PLANS ARE FOR BIDDING PURPOSES AND SHALL BE LOWERED IF NECESSARY TO THE REQUIRED BEARING MATERIAL AS FOUND UPON EXCAVATION. IF THE REQUIRED BEARING MATERIAL IS NOT ENCOUNTERED AT ELEVATIONS SHOWN, NOTIFY ENGINEER IMMEDIATELY. CONTROLLED BACK FILL AND COMPACTION IS REQUIRED. A. SCOPE: WHERE UNACCEPTABLE MATERIAL MUST BE REMOVED AND REPLACED WITH PROPER MATERIAL. A CONTROLLED PROCEDURE MUST BE FOLLOWED TO ENSURE PROPER BEARING FOR THE BUILDING. B. FILLING AND GRADING: BEFORE BACK FILLING, REMOVE CONSTRUCTION DEBRIS, STUMPS, TREES, ROOTS, BCD, HEAVY GRASS, DECAYED VEGETABLE MATTER AND OTHER UNSUITABLE MATERIALS. FILL MATERIAL SHALL BE AS APPROVED BY THE ENGINEER. C. CONSTRUCTION METHOD: AFTER DEPOSITING FILL OR BACK FILL IN 1 FOOT LIFTS, WELL WASHED IN, COMPACT TO THE FOLLOWING PERCENT OPTIMUM DENSITY: THE DRY DENSITY AFTER COMPACTION SHALL NOT BE LESS THAN 98% OF THE DRY DENSITY FOR THAT SOIL WHEN TESTED IN ACCORDANCE WITH ASTM D698, METHOD D. IN THE TEST, MATERIALS RETAINED ON THE THREE-QUARTER SIEVE SHALL BE REPLACED WITH MATERIAL RETAINED ON THE NO. 4 SIEVE, AS NOTED AS AN OPTION IN THE SPECIFICATIONS FOR THIS TEST. D. FIELD TESTS: PERFORM ONE FIELD DENSITY TEST FOR EACH SOURCE OF FILL MATERIAL PERFORMED IN ACCORDANCE WITH ASTM D2922. PERFORM STANDARD FIELD DENSITY TESTS EACH OF AN ACCURACY OF PLUS OR MINUS ONE PERCENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER AND TESTING LABORATORY WHEN EACH LAYER OF FILL IS TO BE IN PLACE AND READY FOR TESTING. THE CONTRACTOR SHALL ALLOW AMPLE TIME FOR TESTING. IF ANY FILL IS PLACED IN EXCESS OF SIXTEEN (16) INCHES WITHOUT TESTING, IT SHALL BE SUBJECT TO REMOVAL. SIEVE ANALYSIS SHALL BE AT THE CONTRACTOR'S EXPENSE. E. OBSERVATION: ALL EXCAVATION OF UNACCEPTABLE MATERIAL, INSTALLATION OF CONTROLLED FILL, COMPACTION, FIELD TESTING AND LABORATORY TESTING SHALL BE DONE UNDER THE SUPERVISION OF A TESTING LABORATORY WHO SHALL PROVIDE WRITTEN REPORTS OF ALL PHASES OF THE WORK TO THE ENGINEER.

REINFORCED CONCRETE:

ALL CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 318-02). CONCRETE SHALL BE: 3500 P.S.I. NORMAL WEIGHT. ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS ASTM A618-GR60. DETAIL ALL BARS IN ACCORDANCE WITH "ACI DETAILING MANUAL - 1988" SHOWN ON THE PLACING DRAWINGS, THE NUMBER AND LOCATION OF ALL BAR SUPPORTS AND ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT IN POSITIONS INDICATED. FINISH CONCRETE PROTECTION FOR REINFORCEMENT WHEN NOT OTHERWISE INDICATED SHALL BE: 3" FOR CONCRETE POURED IN FORMS BUT EXPOSED TO EARTH OR WEATHER. 1 1/2" FOR BARS #5 AND #4 SMALLER. 2" FOR BARS LARGER THAN #5. 1/2" FOR PIERES. 3/4" FOR SLABS AND WALLS NOT EXPOSED EARTH OR WEATHER. NO SPICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. LAP SPICES WHERE PERMITTED SHALL BE A MINIMUM OF 36 BAR DIAMETERS UNLESS SHOWN OTHERWISE. MAKE ALL BARS CONTINUOUS AROUND CORNERS. PROVIDE 1/2" (1 EACH FACE) WITH 1'-0" PROJECTION AROUND ALL OPENINGS IN CONCRETE UNLESS SHOWN OTHERWISE. SLABS, BEAMS AND WALLS SHALL HAVE NO JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT CENTER OF SPAN OR AT CENTER OF SUPPORT WITH VERTICAL BULKHEADS. HORIZONTAL KEYS AND REINFORCING CONTINUING THROUGH. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR AS APPROVED BY THE STRUCTURAL ENGINEER.

GRADES AND SPECIES OF WOOD:

ALL LUMBER USED FOR STRUCTURAL JOISTS, RAFTERS AND OCCUPYING SHALL BE OF ENTIRELY ONE OF THE FIR, SPRUCE OR HELOCK SPECIES WHICH SHALL BE NOT LESS THAN NO. 1 GRADE AND SHALL HAVE A MINIMUM MODULUS OF ELASTICITY (EI) OF 1400,000 IN⁴ AND A SINGLE MEMBER FIBER STRESS IN BENDING (FB) OF 1,000 PSI. MOISTURE CONTENT AT DELIVERY SHALL NOT EXCEED 19%.

LIGHT FRAMING LUMBER USED FOR STUDS IN WALLS AND PARTITIONS SHALL NOT BE LESS THAN STUD OR STANDARD GRADE OR BETTER AND SHALL HAVE A COMPRESSIVE STRESS PARALLEL TO GRAIN (FC) OF NOT LESS THAN 400 PSI.

ALL SHEATHING MATERIAL SHALL BE SOFTWOOD PLYWOOD MEETING THE REQUIREMENTS OF PRODUCT STANDARD #24 FOR SOFTWOOD PLYWOOD CONSTRUCTION AND INDUSTRIAL AS USED BY THE AMERICAN PLYWOOD ASSOCIATION OR APPROVED EQUAL. FOR ROOF SHEATHING, USE STANDARD C-D WITH EXTERIOR GLUE 1/2" 4 PLY 20/16 OR GROUP 1.

LUMBER FOR BILL PLATES SHALL BE TREATED AGAINST TERMITES, DAMAGE AND DECAY USING SOLVANT PRESSURE TREATMENT, CHROMIATED COPPER ARSENATE PRESSURE TREATMENT, PENTACHLOROPHENOL PRESSURE TREATMENT, OR APPROVED EQUAL.

WOOD TRUSSES:

ALL WOOD TRUSSES SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH CODE OF STANDARD PRACTICE FOR THE METAL PLATE CONNECTED WOOD TRUSS INDUSTRY.

TRUSSES SHALL BE BRACED DURING ERECTION IN ACCORDANCE WITH COMMENTARY AND RECOMMENDATION FOR BRACING WOOD TRUSSES PUBLISHED BY TRUSS PLATE INSTITUTE.

TEMPORARY TRUSS BRACING SHALL NOT BE REMOVED UNTIL PERMANENT LATERAL TRUSS BRACING IS INSTALLED AND ALL OTHER IMPROVEMENTS ARE COMPLETE.

PERMANENT TRUSS BRACINGS SHALL BE ANCHORED TO SOLID END WALLS OR CROSS-BRACED AT BRACING ENDS.

PERMANENT TRUSS BRACINGS SHALL BE PROVIDED IN THE PLANE OF THE TRUSS BOTTOM CHORD AND SHALL CONSIST OF BOTH LATERAL BRACING SPACED AT NO MORE THAN 10 FEET ON CENTER AND DIAGONAL BRACED BAYS AT BUILDING ENDS AND INTERMEDIATE INTERVALS OF NOT GREATER THAN 20 FEET ON CENTER.

PERMANENT TRUSS BRACING SHALL BE AT LEAST A NOMINAL 2X4.

NO SPICES, CUTS OR OTHER MODIFICATIONS SHALL BE MADE TO TRUSS MEMBERS UNLESS APPROVED BY THE ENGINEER OR SHOWN ON THE SHOP DRAWINGS.

BASIC ROOF BRACING SHALL CONFORM TO LOCAL BUILDING CODE REQUIREMENT, CONSIDERING SHEDDING, STACKING AND SLIDING SNOW.

THE ALLOWABLE WOOD STRESSES MAY BE INCREASED 15% WHEN USED UNDER SNOW LOADING.

WOOD TRUSSES ARE TO BE DESIGNED FOR ANY REACTIONS RESULTING FROM ADDITIONAL MEMBERS SUPPORTED BY WOOD TRUSSES.

BOTTOM CHORD TO BE DESIGNED FOR A MINIMUM LOADING OF 10 PSF.

ALL TRUSS DESIGNS SHALL BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MASSACHUSETTS. ALL SUBMISSIONS SHALL BEAR REGISTRATION SEAL OF DESIGN ENGINEER.

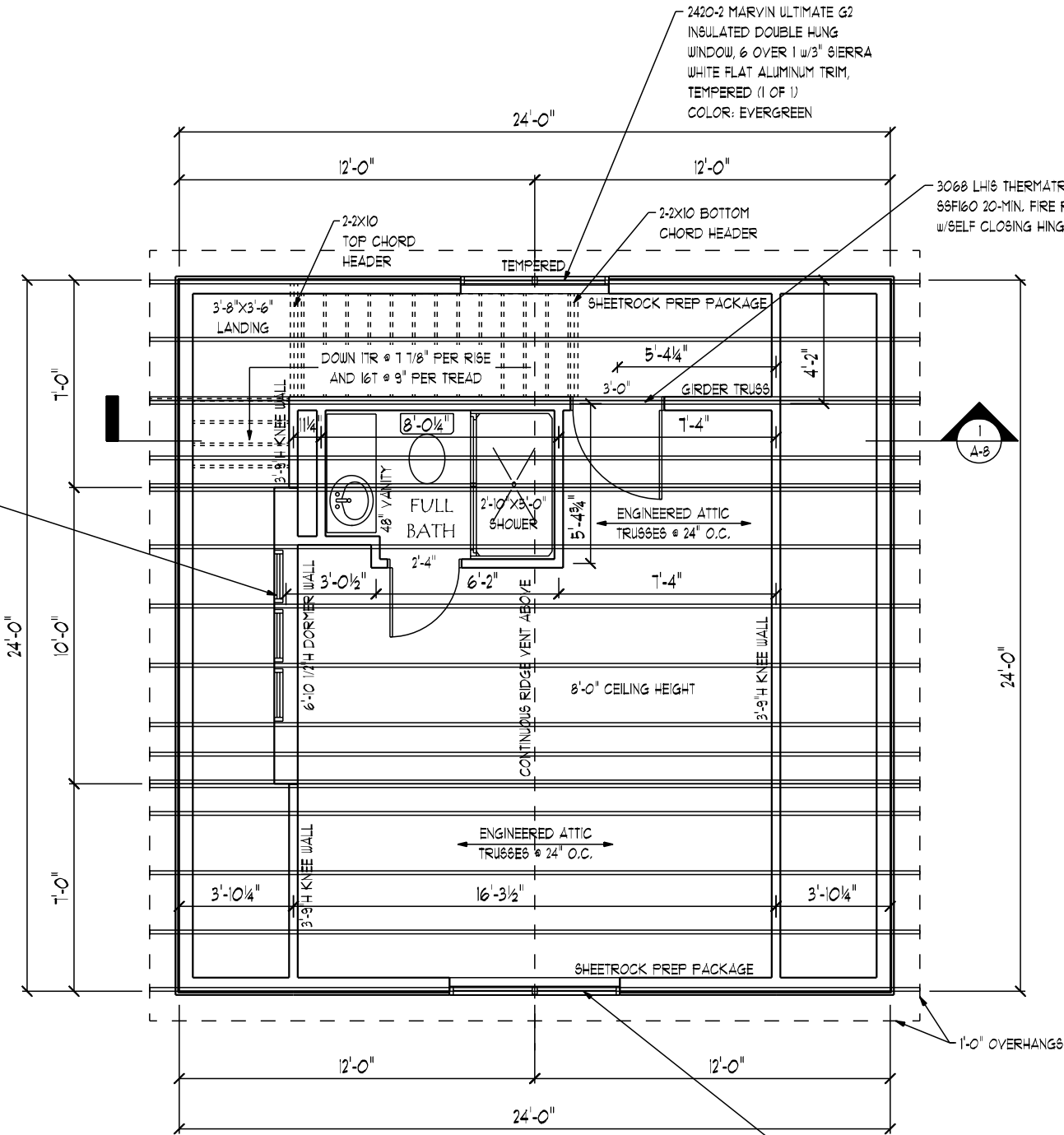
ALL TRUSS SUBMITTALS SHALL INCLUDE THE FOLLOWING:

- ALL TRUSS LOCATIONS, SPACING, BEARING DETAILS, MEMBERS SIZES, PITCH, SPANS AND DIMENSIONS.
- SIZE SPECIES AND STRRESS OF GRADE LUMBER.
- LOADING CONDITIONS AND STRESS INCREASES.
- NOMINAL SIZE AND LOCATIONS OF CONNECTOR PLATES AT ALL JOINTS.
- ACTUAL AXIAL LOADS IN EACH MEMBER.
- CAMBER REQUIREMENTS.
- LOCATION OF PERMANENT LATERAL BRACING.
- LOCATION OF TEMPORARY LATERAL BRACING AS REQUIRED FOR ERECTION.
- MANUFACTURER'S DATA OR FABRICATOR'S SHOP DRAWINGS FOR METAL TRUSS HANGERS AND THEIR LOCATIONS.

PROVIDE MULTIPLE TRUSSES AS REQUIRED FOR LOADING AND BEARING.

TRUSS SUPPLIER SHALL PROVIDE ALL REQUIRED HANGERS, ANCHORS AND CLIPS RATED FOR ANTICIPATED TRUSS OR BEAM END REACTIONS, FRAMING INTO AND/OR SUPPORTED BY ALL TRUSSES. HURRICANE RESTRAINT ANCHORS SHALL BE SUPPLIED AT ALL SUPPORT AND BEARING LOCATIONS OF ALL ROOF TRUSSES.

10' FUNCTIONAL DORMER w/3 MARVIN ULTIMATE G2 1'-10"X2' INSULATED AWNING WINDOWS, 2 OVER 2 w/3 SIERRA WHITE FLAT ALUMINUM TRIM, TEMPERED COLOR: EVERGREEN



ROOF FRAMING PLAN

SCALE: 3/16" = 1'-0"

2830-2 MARVIN ULTIMATE G2 INSULATED DOUBLE HUNG WINDOW, 6 OVER 1 w/3" SIERRA WHITE FLAT ALUMINUM TRIM, TEMPERED + EGRESS (1 OF 1) COLOR: EVERGREEN

REVISIONS: 12/15/20 - REVISION #1
12/21/20 - REVISION #2

SEALED BY:

THE BARN YARD
SHOWCASE LOCATIONS
HEADQUARTERS
9 VILLAGE STREET
ELLINGTON, CT 06029
860-454-9103
RTE 6 BETHEL, CT
203-740-7433
MALDENSE # 127950
WWW.GREATCOUNTRYGARAGES.COM

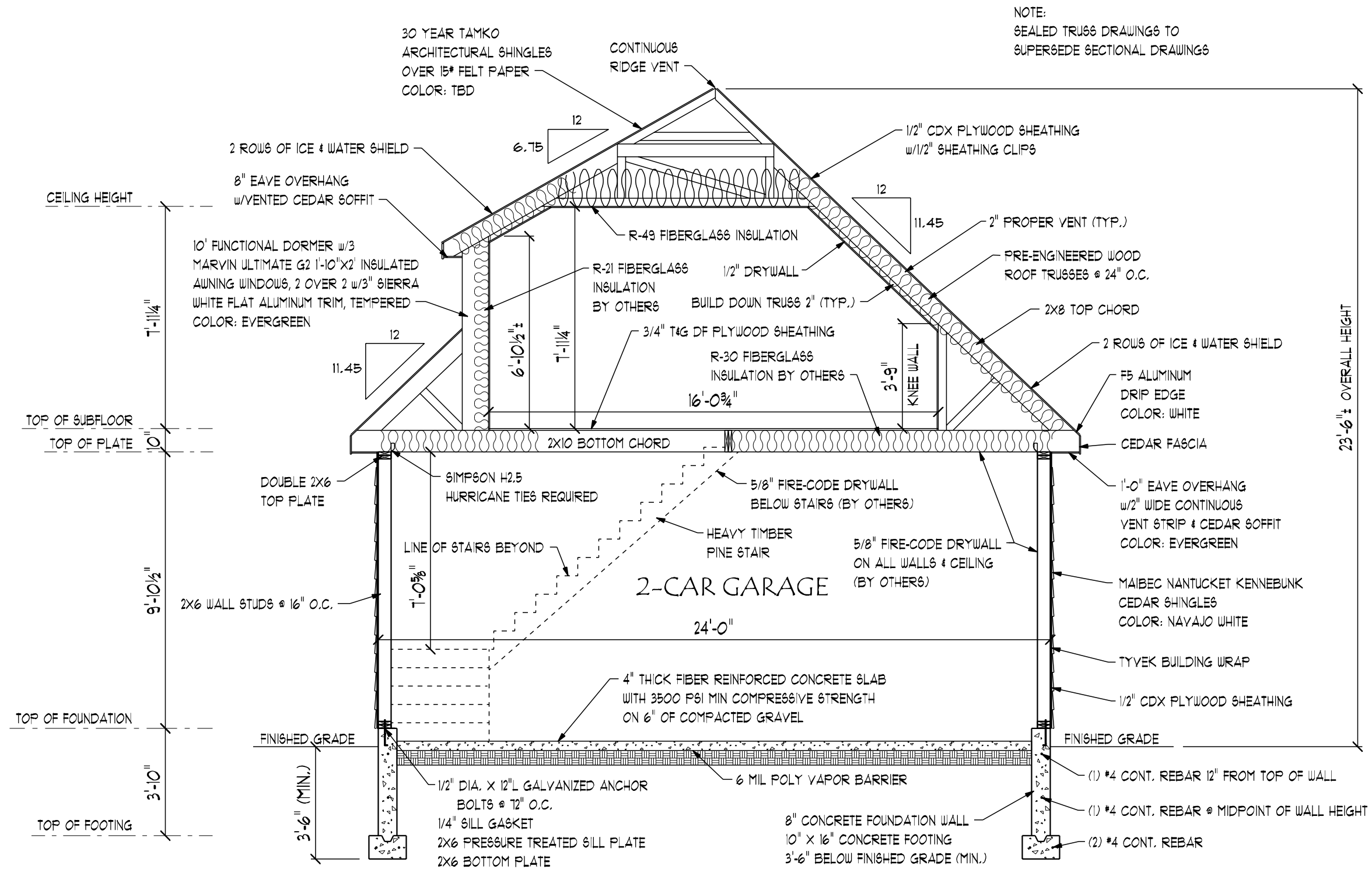
FABRICATED BY:
The BARN YARD & GREAT COUNTRY GARAGES

NEUPORT GARAGE FOR:
TOM RUSIN
30 HOLLOW TREE PLACE
WILTON, CT 06897

ROOF FRAMING
PLAN & NOTES
STYLE:
NEUPORT

JOB NO: 6136
DATE: 3/12/21
SCALE: AS NOTED
DRAWN BY: KRO
CHECKED BY: JRO

DRAWING #
A-1 OF 10



1 BUILDING SECTION

SCALE: 1/4" = 1'-0"

REVISIONS: 12/15/20 - REVISION #1
12/21/20 - REVISION #2

SEALED BY:

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THE BARN YARD
HEADQUARTERS
9 VILLAGE STREET
ELLINGTON, CT 06029
860-454-9103
CT LICENSE # 558916
MALCENSE # 127950
WWW.GREATCOUNTRYGARAGES.COM

FABRICATED BY:

The BARN YARD & GREAT COUNTRY GARAGES

NEWPORT GARAGE FOR:
TOM RUSIN
30 HOLLOW TREE PLACE
WILTON, CT 06897

BUILDING SECTION
STYLE:
NEWPORT

JOB NO: 6136

DATE: 3/12/21

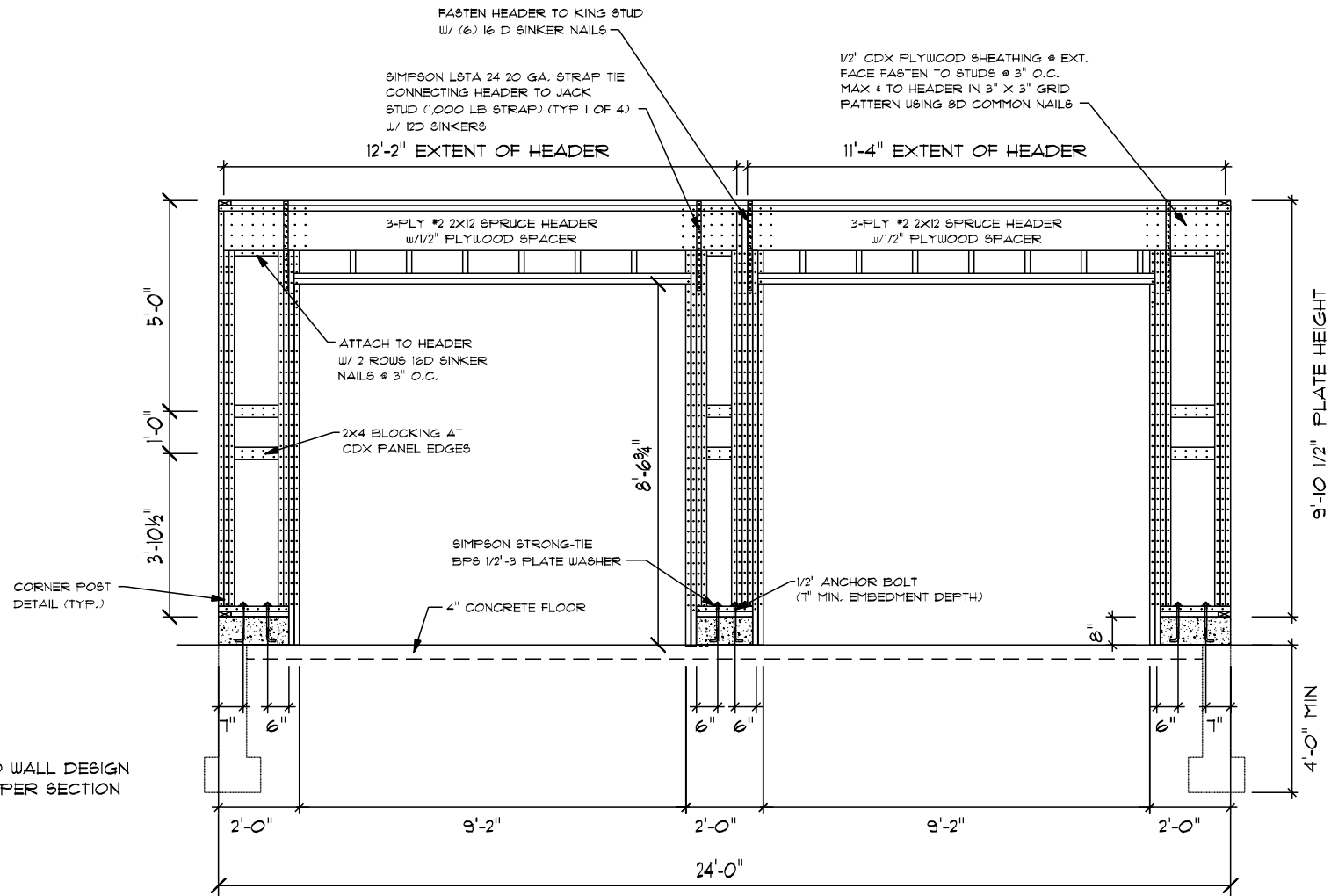
SCALE: AS NOTED

DRAWN BY: KRO

CHECKED BY: JRO

DRAWING #
A-8 OF 10

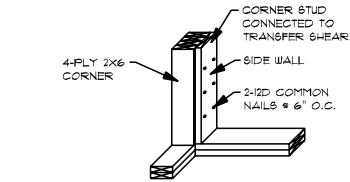
NOTE: BRACED WALL DESIGN
METHOD C6-PF PER SECTION
R602.10.4.1.1



BRACED WALL SECTION

SCALE: 1/4" = 1'-0"

BRACED WALL SCHEDULE & NOTES					
METHOD	NAIL	PERIMETER NAIL	INTERIOR NAIL	SHEATHING	SHEATHING ORIENTATION
C6-WSP	8D COMMON	6" O.C. (MAX)	12" O.C. (MAX)	1/2" APA RATED PLYWOOD SHEATHING (SINGLE SIDE)	VERTICAL
C6-PF	8D COMMON	3" O.C. (MAX)	3"X3" GRID (MAX)	1/2" APA RATED PLYWOOD SHEATHING (SINGLE SIDE)	HORIZONTAL



2X6 GARAGE CORNER DETAIL

REVISIONS: 12/15/20 - REVISION #1
12/21/20 - REVISION #2

SEALED BY:

THE BARN YARD
SHOWCASE LOCATIONS
HEADQUARTERS
9 VILLAGE STREET
ELLINGTON, CT 06029
860-454-9103
RTE 83/20 WEST ROAD
ELLINGTON, CT 06029
860-885-0586
RTE 8 BETHEL CT
203-740-7433
MALICENSE # 127950
WWW.GREATCOUNTRYGARAGES.COM

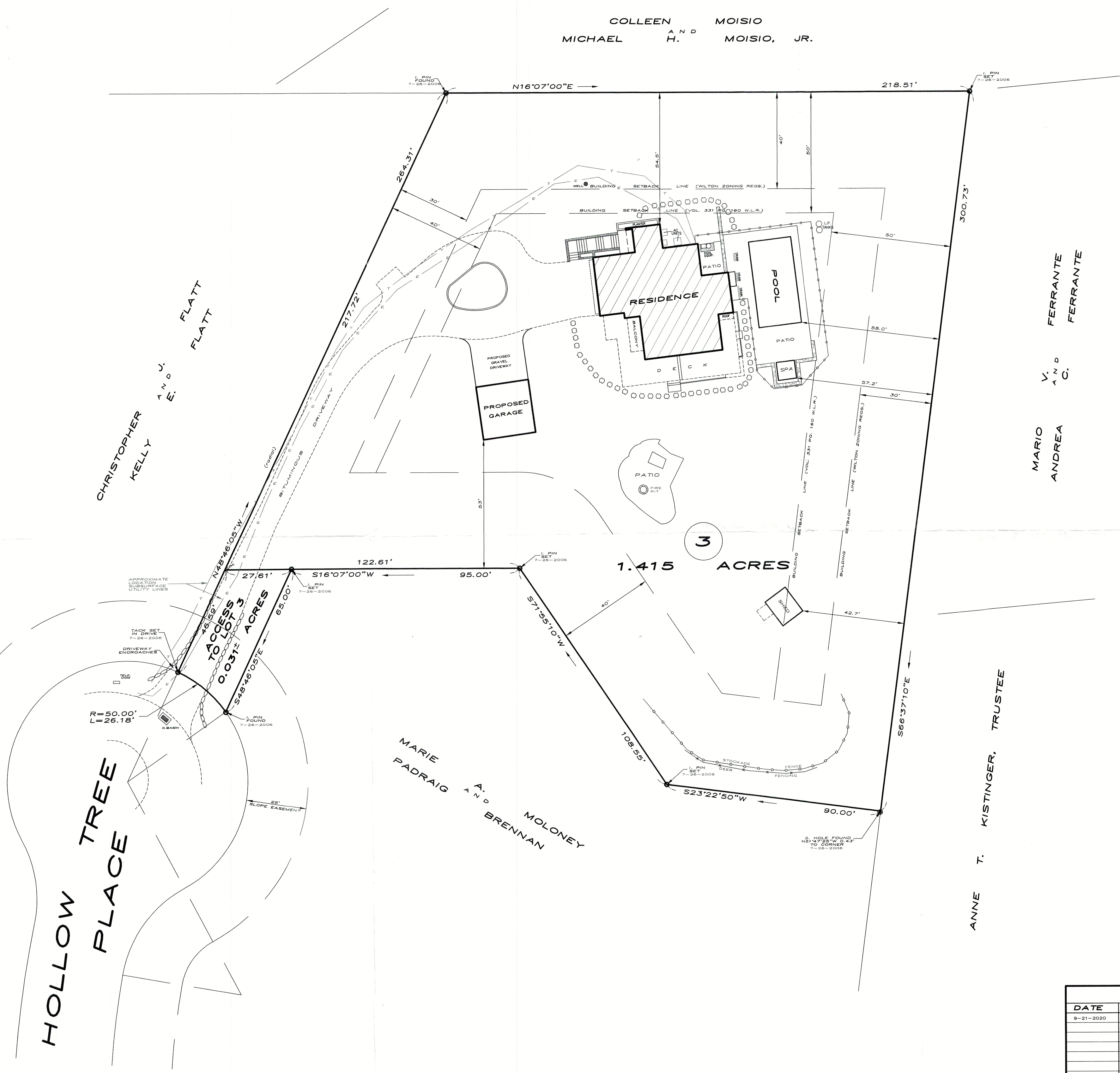
FABRICATED BY:
The BARN YARD &
GREAT COUNTRY
GARAGES

NEWPORT GARAGE FOR:
TOM RUSIN
30 HOLLOW TREE PLACE
WILTON, CT 06897

BRACED WALL
SECTION & DETAILS
STYLE:
NEWPORT

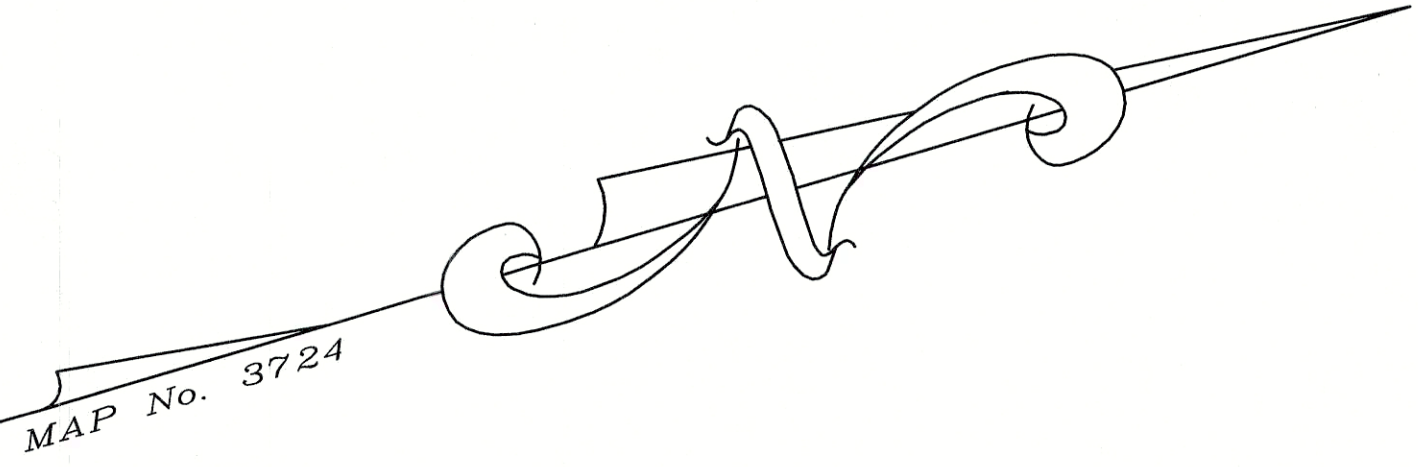
JOB NO: 6136
DATE: 3/12/21
SCALE: AS NOTED
DRAWN BY: KRO
CHECKED BY: JRO

DRAWING #
A-9 OF 10



ZONING INFORMATION				
ITEM	REQUIRED/PERMITTED		EXISTING	PROPOSED
ZONE: R-2A RESIDENCE				
FRONT SETBACK:	40'	MIN.	86.5'	63.3'
REAR:	40'	MIN.	54.5'	54.5'
SIDE:	30'	MIN.	42.7'	42.7'
LOT WIDTH:	150'	MIN.	194.5'	194.5'
LOT AREA:	43,560 S.F.	MIN.	61,628 S.F.	61,628 S.F.
BUILDING HEIGHT:	35'	MAX.	-----	-----
No. STORIES:	2.5	MAX.	2.0	2.0
LOT COVERAGE- BUILDING:	10% = 6,126 S.F.	MAX.	3,780 S.F. = 6.1%	4,270 S.F. = 6.9%
LOT COVERAGE- SITE:	15% = 9,190 S.F.	MAX.	7,325 S.F. = 11.9%	9,030 S.F. = 14.7%

REFERENCE IS MADE TO SECTION 5.4.2 OF THE SUBDIVISION REGULATIONS OF THE TOWN OF WILTON



NOTES

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.

THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY/BOUNDARY - ZONING LOCATION SURVEY. IT IS INTENDED TO DEPICT COMPLIANCE OR NONCOMPLIANCE WITH ZONING REGULATIONS WITH RESPECT TO THE IMPROVEMENTS DEPICTED HEREON.

HORIZONTAL ACCURACY STANDARD - CLASS A-2.

BOUNDARY DETERMINATION/OPINION IS BASED UPON A RESURVEY.

PROPERTY DESIGNATED AS LOT #3, MAP #3724 WILTON LAND RECORDS.

PROPERTY LOCATED IN R-2A RESIDENCE ZONE.

REFERENCE IS MADE TO C. L. & P. EASEMENT DATED OCTOBER 25, 1979 RECORDED IN VOLUME 337 AT PAGE 238 WILTON LAND RECORDS.

REFERENCE IS MADE TO ROAD SPILLAGE EASEMENT DATED AUGUST 6, 1979 RECORDED IN VOLUME 331 AT PAGE 135 WILTON LAND RECORDS.

REFERENCE IS MADE TO ROAD SLOPE EASEMENT DATED AUGUST 6, 1979 RECORDED IN VOLUME 331 AT PAGE 137 WILTON LAND RECORDS.

REFERENCE IS MADE TO DECLARATION OF RESTRICTIVE COVENANTS IN WARRANTY DEED DATED AUGUST 14, 1979 RECORDED IN VOLUME 331 AT PAGE 160 WILTON LAND RECORDS.

SUBSURFACE UTILITY LOCATIONS BASED UPON INFORMATION SUPPLIED BY CORRESPONDING UTILITY COMPANIES, MUNICIPAL MAPPING, PAROLE TESTIMONY, AND LIMITED FIELD MEASUREMENTS. LOCATIONS ARE TO BE CONSIDERED APPROXIMATE ONLY. ADDITIONAL UTILITIES MAY EXIST ON THIS SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS FIRM. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD VERIFIED PRIOR TO EXCAVATION AND/OR CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

PROPERTY ADDRESS
30 HOLLOW TREE PLACE
WILTON, CONNECTICUT

ZONING LOCATION SURVEY, PROPOSED
PREPARED FOR
THOMAS J. RUSIN
AND
KATRINA E. RUSIN
WILTON, CONNECTICUT

TO MY KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

D. R. Faulds
DOUGLAS R. FAULDS
LAND SURVEYOR, CONN. LIC. No. 13292

REVISIONS	
DATE	DESCRIPTION
9-21-2020	PROPOSED GARAGE RELOCATED

JULY 21, 2020

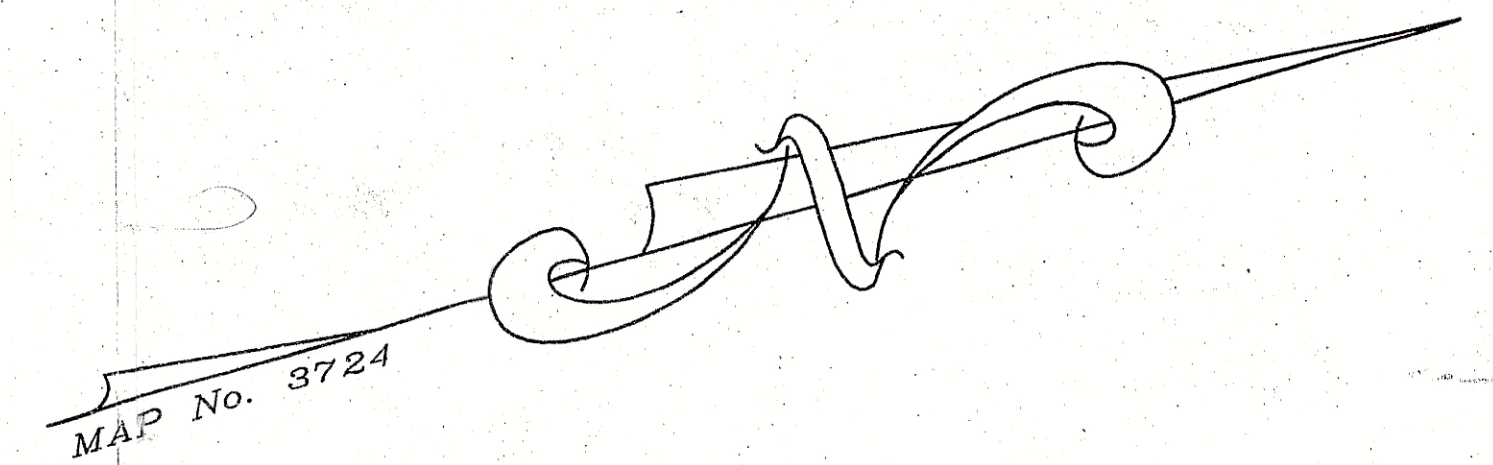
11 GRUMMAN HILL ROAD
WILTON, CT 06897
Ph. (203) 762-9492 ryanandfaulds.com

COLLEEN MOISIO
MICHAEL H. MOISIO, JR.

ZONING INFORMATION

ITEM	REQUIRED / PERMITTED	EXISTING	PROPOSED
ZONE: R-2A RESIDENCE			
FRONT SETBACK:	40'	MIN. 86.5'	63.3'
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REFERENCE IS MADE TO SECTION 5.4.2 OF THE SUBDIVISION REGULATIONS OF THE TOWN OF WILTON



PROPERTY ADDRESS
30 HOLLOW TREE PLACE
WILTON, CONNECTICUT

ANDERSONS SEPTIC SERVICE

140 KELLOGG DRIVE
WILTON CT 06897

P-203-846-2255
F-203-857-1146
WWW.ANDERSONSEPTIC.COM
Email: AndersonsSeptic@aol.com

Atomac & Katrina Rusin
30 HOLLOW TREE PL. WILTON
11-20 AS BUILT FOR GARAGE APPOINTMENT NO. 4160
3.19.21

DAVE ROGERS
LIC# W3403

Signature

ANNE T. KISTINGER, TRUSTEE

MARIO ANDREA
FERRANTE FERRANTE
V. D. AND C.

AS INSTALLED FOR GARAGE

1000 Gallon Infiltrator 2 Chamber
Septic Tank w/4" FILTER
25' MANHOLE 536-8 FOR 275#
4" SCH 40 FROM BUILDING TO TANK
4" SDR 35 AFTER TANK TO D/BOX

	2	3	4	5
A	23	28		
B	16	15	33	42
C		43	45	62

TANK 6" BELOW GRADE
NO RISERS

Including new septic location and notes

HOLLOW TREE PLACE