

WILTON ZONING BOARD OF APPEALS - RESIDENTIAL VARIANCE APPLICATION - ZBA#

Please consult the Zoning Regulations when applying for a variance, particularly Section 29-13.

Please TYPE or print clearly... (See last 2 pages for brief explanation.)

VIKENE SWARAN BALASUBRAMANIAM 25 OVERIDGE LN.
 ANNA MARIA MALIK
 APPLICANT'S NAME ADDRESS
 SAME
 OWNER'S NAME ADDRESS
 25 OVERIDGE LN R-2A
 PROPERTY LOCATION ZONING DISTRICT
 WLR MAP# 2459 443 4 3411 2.02 AC.
 VOLUME PAGE TAX MAP # LOT # ACREAGE

VARIANCE DESCRIPTION: In the space below, please state concisely the section(s) of the Zoning Regulations proposed to be varied and the specific variance requested (i.e: Request a variance of Section 29- to allow (an addition, a pool, average lot width, or whatever) with in lieu of the required . For instance, a variance request for a building addition that encroaches into the required fifty foot rear setback area by 7 feet would read as follows: "Request a variance of Section 29-5.D to allow a building addition with a 43 foot rear yard setback in lieu of the required 50 feet." ATTACH SEPARATE SHEETS AS REQUIRED.

Request a variance of sec. 29-4.E.2 To Allow
 Roof projection of 3.7 ft (North side) AND
 1.5 ft (South side) in lieu of 1 ft.
 projection permitted into required set back.

HARDSHIP DESCRIPTION: In the space below, state the specific conditions pertaining to the perceived "exceptional difficulty or unusual hardship" with respect to the parcel of land, not generally encountered within the zoning district, which would make development in full accordance with the existing Zoning Regulations extremely difficult. ATTACH SEPARATE SHEETS AS REQUIRED.

Lot is narrow in dimension where residence constructed, 40' set back maintained for residence. Only location residence could be constructed without disturbing stone walls on site. House Design necessitates roof projection.

THE FOLLOWING MATERIAL SHALL BE ATTACHED: (see last 2 pages for brief explanation)

All submitted plans and documents shall bear the signature, seal and license number, as appropriate, of the professional responsible for preparing each item.

All plans shall be collated into sets (either clipped or stapled), with maps folded (not rolled).

SUBMIT TEN (10) **COLLATED** SETS (INCLUDING 1 ORIGINAL SET) OF THE FOLLOWING DOCUMENTS:

- ☒ APPLICATION FORM
- ☒ LIST OF OWNERS WITHIN 500' of the subject property as shown by Tax Map & Lot #.
- ☒ A-2 SURVEY of the subject property showing all existing building and site conditions.
- ☐ SITE DEVELOPMENT PLAN showing all proposed additions, amendments and/or site improvements, including building elevations, septic systems, wells, and all measurements pertaining to the application, such as location and distance(s) of proposed structures and/or improvements from the subject property lines.
- ☒ LOCATION MAP at a scale of 1"=800' or less. Said map shall identify the site location and shall show the surrounding area and streets.
- ☒ DIRECTIONS to subject property from Town Hall, 238 Danbury Road, Wilton, CT (e.g. hand-written, computer-generated or similar).
- ☒ LIST OF PREVIOUS ZONING VARIANCES describing any variances and the action taken.
- ☒ PHOTOGRAPHS of property showing building and site conditions from all geographic perspectives.

ALSO SUBMIT:

- ☒ ONE COPY OF DEED INCLUDED WITH ORIGINAL SET ONLY (Obtain in Town Clerk's Office)
- ☒ ENVELOPES, addressed to each property owner within 500' (see "Envelopes Instructions" online)
- ☐ **ELECTRONIC EMAILED SUBMISSION of all materials (Consolidated into 1-2 PDFs Maximum)**
- ☒ TWO #10 (4"x 9.5") PLAIN ENVELOPES addressed to the applicant (No Return Address)
- ☒ \$310 FILING FEE payable to: Town of Wilton

IS THE SUBJECT PROPERTY LOCATED WITHIN 500 FEET OF THE MUNICIPAL BORDER? YES or NO

IS THE SUBJECT PROPERTY LOCATED WITHIN THE PUBLIC WATER SUPPLY WATERSHED BOUNDARY? YES or NO [If YES, contact Planning & Zoning Dept for DPH Addendum Form.]

IS THE SUBJECT PROPERTY LOCATED IN THE FLOOD PLAIN? YES or NO

WHEN WAS THE SUBJECT PROPERTY PURCHASED? 10/18/2016

IN WHAT YEAR WAS THE MAIN STRUCTURE CONSTRUCTED? 2020

SITE COVERAGE PROPOSED: 29%
(AS PERCENTAGE OF SITE) Total area of disturbance

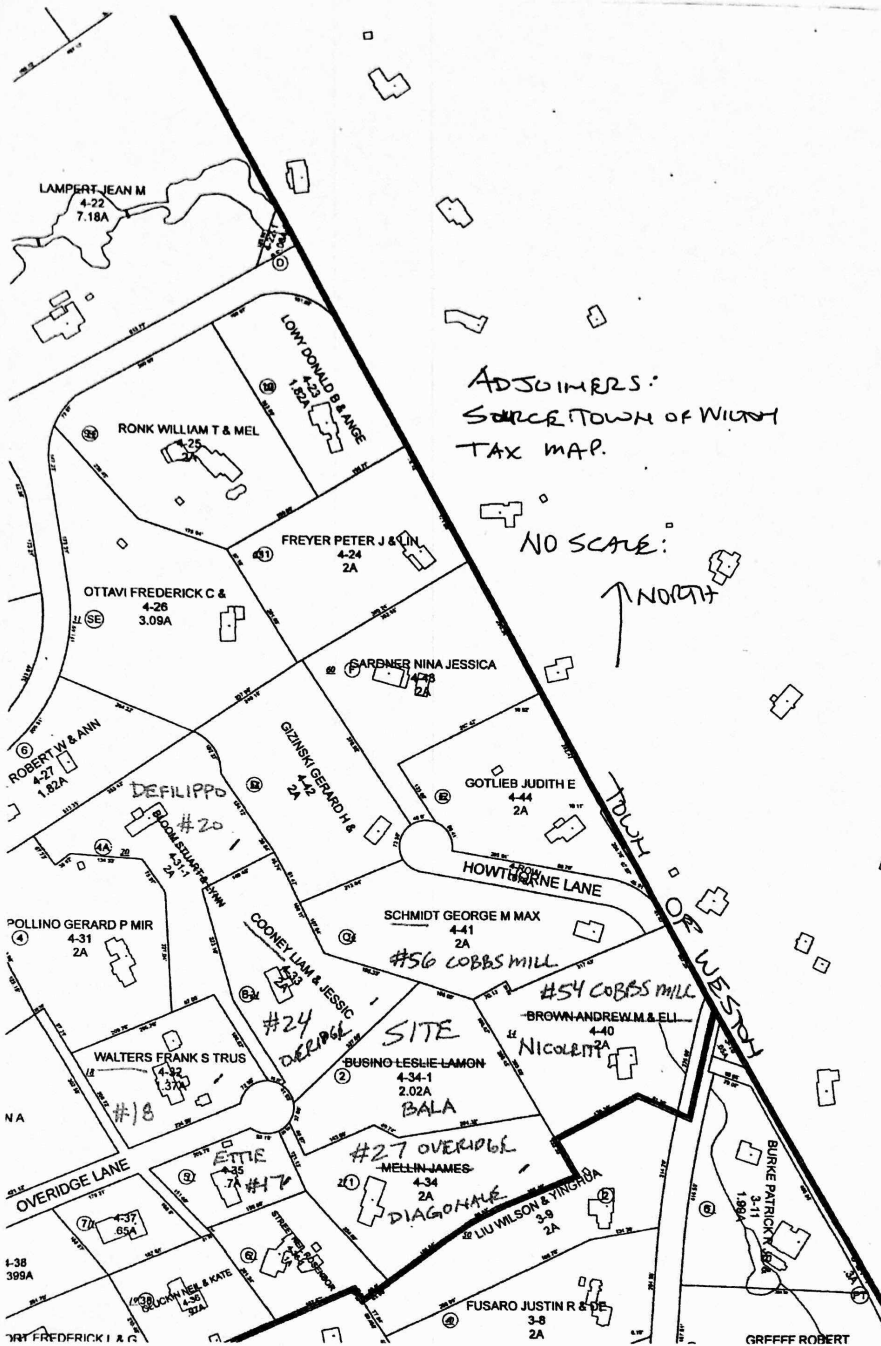
BUILDING COVERAGE PROPOSED: 3%
(AS PERCENTAGE OF SITE)

with driveway
7.8%

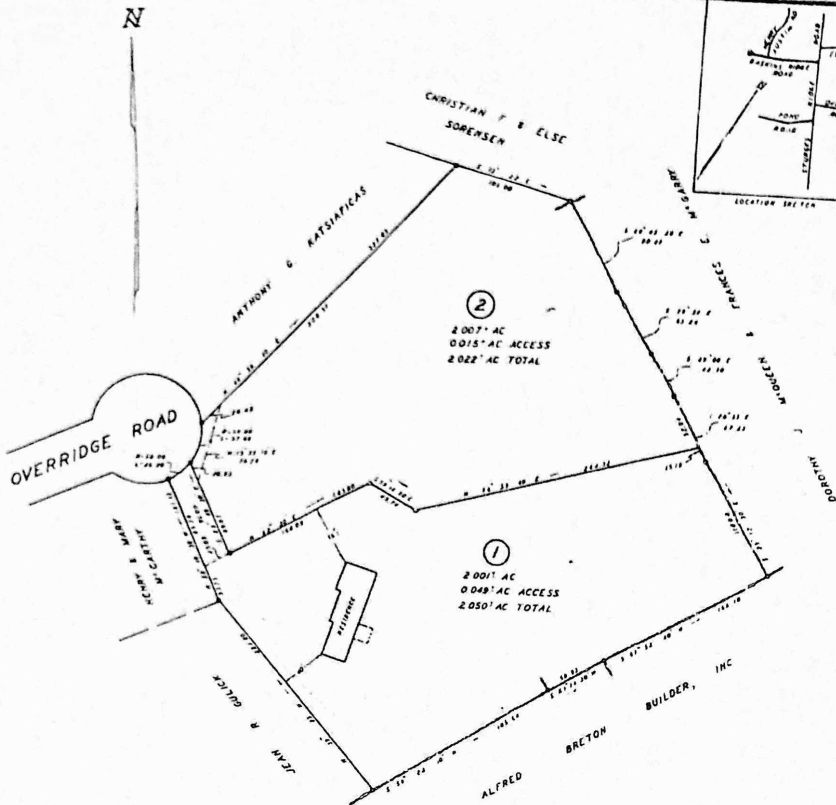
THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Board have been submitted.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

[Signature] 5/19/21 VIK. Bala e Horganil.com
APPLICANT'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE
[Signature] (203) 502 3410
OWNER'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE



3-1 SCHNEIDER THOMAS P & LEE ANN MCN 50 STURGES RIDGE RD WILTON CT 06897	3-1-1 HAASE JON F & MARGARET C 48 STURGES RIDGE RD WILTON CT 06897	3-2-1 DARST DANIEL & 1054 RIDGEFIELD RD WILTON CT 06897
3-8 FUSARO JUSTIN R & DEARTA L 40 COBBS MILL RD WILTON CT 06897	3-9 PIAZZA JOHN & FRIDA 50 COBBS MILL RD WILTON CT 06897	3-10 GOLDBLATT ROBERT & ELANA 66 OLD MILL RD WESTON CT 06883
3-11 BURKE PATRICK R JR & KIMBERLY S 51 COBBS MILL RD WILTON CT 06897	3-12 GREEFF ROBERT & KERRY A 37 COBBS MILL RD WILTON CT 06897	3-21-1 KIM EUN-KYUNG C TRUSTEE 70 OLD MILL RD WESTON CT 06883
4-30 ANDA JON A 76 STURGES RIDGE RD WILTON CT 06897	4-31 CONTI GRIFFITH & 16 OVERIDGE LA WILTON CT 06897	4-31-1 LEITTEN ANDREW & 20 OVERIDGE LA WILTON CT 06897
4-32 WALTERS FRANK S TRUSTEE 18 OVERIDGE LA WILTON CT 06897	4-33 PROANO RENZO & 24 OVERIDGE LA WILTON CT 06897	4-34 DIAGONALE MARC & JENNIFER 27 OVERIDGE LA WILTON CT 06897
4-34-1 BALASUBRAMANIAM VIKENESWARAN & 3540 PARK AVE BRIDGEPORT CT 06604	4-35 ETTIE DEREK & SUZANNE 17 OVERIDGE LA WILTON CT 06897	4-36 DEGASPERI ANDREW LODOVICO & 19 OVERIDGE LA WILTON CT 06897
4-36-1 STREET NEIL 21 OVERIDGE LA WILTON CT 06897	4-37 HISCOCK JOHN M & CATHERINE M 5080 N OCEAN DR APT 10D RIVIERA BEACH FL 33404	4-38 WEHRLI GREGORY R AS TR REVOC 5 OVERIDGE LA WILTON CT 06897
4-39 FORT FREDERICK L 58 STURGES RIDGE RD WILTON CT 06897	4-40 NICOLETTI ROCCO & TARA 54 COBBS MILL RD WILTON CT 06897	4-41 AVD CONSULTING LLC 56 COBBS MILL RD WILTON CT 06897
4-42 TALAK TOMAS & JITKA 58 COBBS MILL RD WILTON CT 06897	4-43 PIEDRA BEVERLY 60 COBBS MILL RD WILTON CT 06897	4-44 GOTLIEB JUDITH E 62 COBBS MILL RD WILTON CT 06897
3-2-2 GITTES DANIEL & 36 STURGES RIDGE RD WILTON CT 06897		



NOTES

REFER TO MAP NO. 212 WILTON LAND RECORDS
PROPERTY IS LOCATED IN P.24 EDGE
LOTS TO BE SERVED BY PUMPS & SEPTIC SYSTEMS
TOTAL AREA: 4.0512 ACRES

REFER TO ZONING BOARD OF APPEALS & LANDMAN
JUNIOR: 10-10-10 FOR PARCELS GRANTED
JANUARY 22, 1973

PERMUTATION TESTS AS REQUIRED IN THE PUBLIC HEALTH CODE OF THE STATE OF CONNECTICUT HAVE BEEN
PERFORMED BY AKHAB G. DILLMAN LICENSE NO. 6279 ON MARCH 2, 1973
ON EACH LOT IN THE APPROPRIATE AREA PROPOSED FOR SANITARY BASIN FIELDS AND SAID REPORTS
AND TEST DATA ARE ON FILE IN THE OFFICES OF THE BUILDING INSPECTOR AND THE
PLANNING AND ZONING COMMISSION

PRIOR TO THE ISSUANCE OF BUILDING PERMITS, SUTABILITY FOR THE INSTALLATION OF SEPTIC SYSTEMS
ON EACH LOT MUST BE DEMONSTRATED TO THE SATISFACTION OF THE BUILDING INSPECTOR AND
SANITARY OFFICE OF THE TOWN OF WILTON

<p>— MAP OF LOTS 1 & 2 — PREPARED FOR</p> <p>STROME B. LAMON & JOAN LAMON WILTON, CONN.</p>	
<p>BY RYAN & FAULDS ~ LAND SURVEYORS ~ WILTON, CONN.</p>	
<p>SCALE 1" = 30'</p> <p>OFFICE OF RECORD: STROME B. LAMON & JOAN LAMON OCEANVIEW ROAD WILTON, CONN.</p>	<p>DATE: APRIL 4, 1973 REVISED JUNE 14, 1973</p> <p>CONSIDERED SUBSTANTIALLY CORRECT</p> <p><i>W. J. Faulds</i> COM. REC. NO. 111</p>

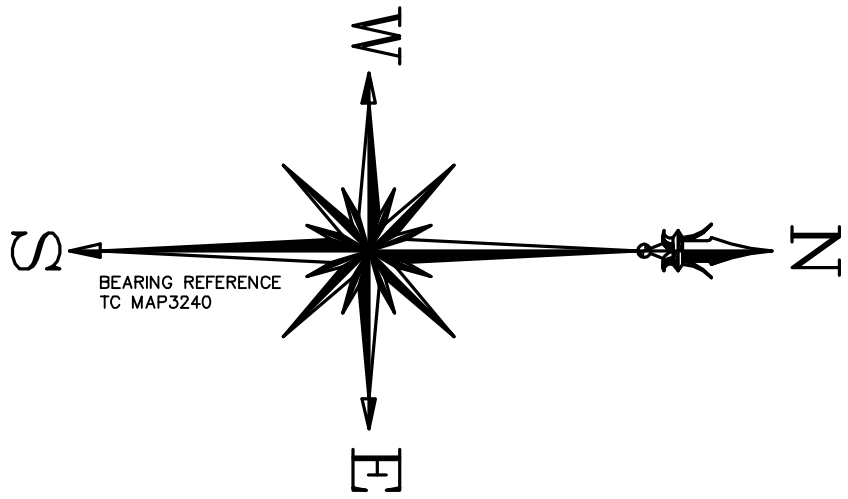
APPROVED BY WILTON PLANNING AND ZONING COMMISSION
WILTON, CONN.

RESOLUTION 673-85 DATE JULY 25, 1973

SIGNED Joan Lamon DATE JULY 1, 1973
THE OWNER

NO 3270 Filed July 6, 1973 at 3:15 PM by Julius G. Chelappo, Asst. Town Clerk

NO 3270

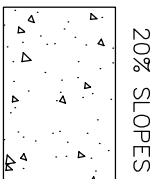


N/F
DIANA M. MIHALITSE, TR

N/F
GEORGE M. SCHMIDT

N/F
ANDREW M. BROWN
& ELIZA BROWN

AREA:
INCLUDING ACCESS
88,079± S.F.
2.022± ACRES



NOTES:

THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-30B-1 THROUGH 20-30B-2 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES, MANAGED BY THE DEPARTMENT OF CONSTRUCTION, AND THE STANDARDS AND PRACTICES AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. 9/26/96. IT IS A ZONING LOCATION SURVEY BASED ON A RE-SURVEY CONFORMING TO CLASS 4-2* ACCURACY AND IS INTENDED TO BE USED ON TOWN COMPANIED PARCELS.

PROPERTY IS LOCATED AS LOT 34-1 ON MAP 4 IN THE ASSESSORS OFFICE.

PROPERTY IS LOCATED IN R2A ZONE.

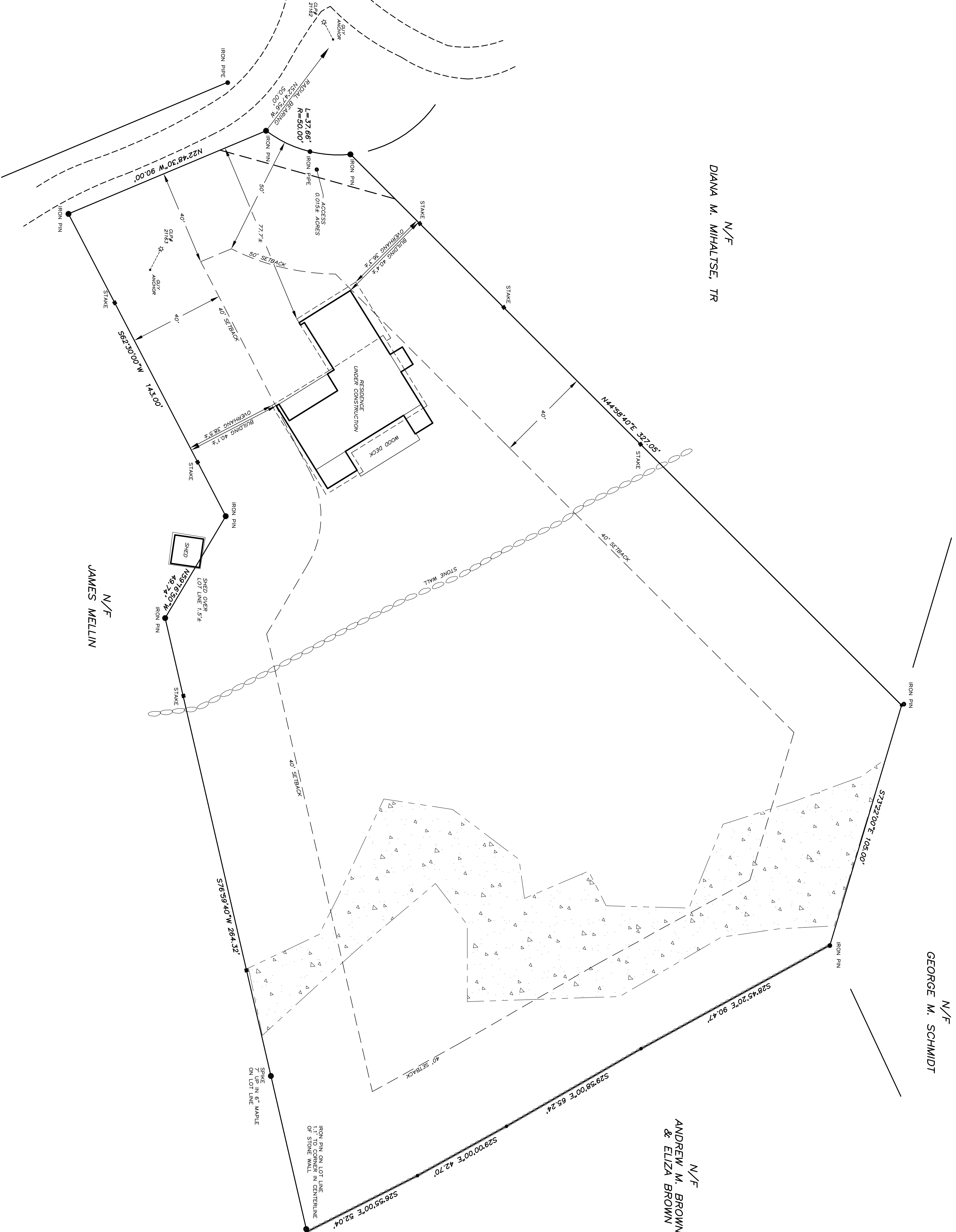
ZONE AND SETBACKS ARE SUBJECT TO THE DETERMINATION OF THE ZONING ENFORCEMENT OFFICER.

REFER TO MAP Nos. 1996, 3158 & 3240 ON FILE IN THE TOWN CLERKS OFFICE.

UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY ARE NOT DEPICTED OR NOTED.

THIS SURVEY WAS PREPARED FOR A SPECIFIC PURPOSE. ANY USE OTHER THAN THAT WHICH WAS ORIGINALLY INTENDED IS A MISUSE OF THIS INFORMATION AND RENDERS THE PREPARERS DECLARATION NULL AND VOID.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY WHICH BEARS THE LICENSED HEREON NULL AND VOID.



BRAUTIGAM LAND SURVEYORS, P.C.

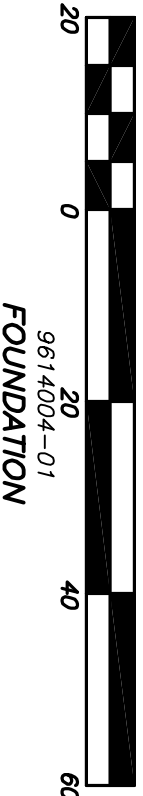
90 South Main Street
Newtown, Connecticut 06470
Telephone (203) 270-7810
Facsimile (203) 270-6592
E-mail: surveyor@brautigamland.com

TO MY KNOWLEDGE AND BELIEF, THIS SURVEY AND MAP ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

PAUL A. BRAUTIGAM, CT. LIC. NO. 13166

THE SURVEY DEPICTED HEREON IS NULL AND VOID WITHOUT THE LICENSED SURVEYORS LIVE SIGNATURE AND EMBOSSED SEAL.

JOB No. 9616004-02	SCALE: 1" = 20'	DRAWN BY: JMB/SRM	DATE:
FIELD NOTES: 202-92	DATE: 4/20/21	CHECKED BY: PAB	



REVISIONS	DATE

ZONING LOCATION SURVEY
PREPARED FOR
VIK BALA
LOT 34-1 OVERIDGE LANE
WILTON, CONNECTICUT

TEST HOLE DATA

DEEP TEST HOLES WERE PERFORMED BY PEAK ENGINEERS, LLC AND WITNESSED BY THE TOWN, ON MAY 16, 2013.

TEST HOLE #1

0-15" TOPSOIL
15-25" RED/BROWN SILTY LOAM
25-35" GRAY SILTY SANDY LOAM, SOME GRAVEL, BOULDERS AT 24"
BOULDERS AT BOTTOM
RESTRICTOR LAYER AT 28"

TEST HOLE #2

0-11" TOPSOIL
11-29" LIGHT RED/BROWN SILT
29-38" GRAY SILTY FINE SAND, SOME GRAVEL, COMPACT
RESTRICTOR LAYER AT 29"

TEST HOLE #3

0-11" TOPSOIL
11-38" RED/BROWN SILTY LOAM
38-48" GRAY SILTY SANDY FINE SANDY LOAM WITH
GRAVEL AND INTERLOCKING STONES
MOTTLED AT 35"
ROOTS AT 48"

TEST HOLE #4

RESTRICTOR LAYER AT 38"

0-10" TOPSOIL
10-26" RED/BROWN SILTY FINE SANDY LOAM WITH ROOTS
26-38" GRAY SILTY FINE SAND WITH A LITTLE GRAVEL, COMPACT
RESTRICTOR LAYER AT 26"

DEEP TEST HOLES WERE PERFORMED BY PEAK ENGINEERS, LLC AND WITNESSED BY THE TOWN HEALTH DEPT. (J. ZIEL) ON DECEMBER 8, 2017.

TH 5 TOPSOIL
5-15" YELLOW BROWN SILTY LOAM
15-34" SANDY HARDPAN
HARDPAN 34"

TH 6

TOPSOIL
0-23" RED/BROWN SILTY LOAM
23-23" GREY HARDPAN
HP 59"

TH 7

TOPSOIL
0-15" RED/BROWN SILTY SANDY LOAM
15-22" MODERATELY COMPACT OLIVE BROWN SILTY SANDY LOAM
HP 35"

TH 8

TOPSOIL
0-14" RED/BROWN SILTY LOAM
14-29" MOTTLED HP
HP 29"

TH 9

TOPSOIL
0-12" RED BROWN SANDY SILTY LOAM WITH ROCKS
12-24" RED BROWN SILTY SILTY LOAM
24-34" OLIVE GREY HARDPAN
HP 34"

TH 10

TOPSOIL
0-24" RED BROWN SILTY FINE SANDY LOAM
24-44" RED BROWN SILTY SILTY FINE SANDY LOAM
44-55" GREY MOTTLED HARDPAN
ROOTS TO 44"

TH 11

TOPSOIL
0-5" YELLOW BROWN SILTY SANDY LOAM
5-32" TAN/BROWN SILTY SANDY LOAM
32-73" OLIVE BROWN HARDPAN
RL 32"

WETLAND APPLICATION INFORMATION

AREA OF SITE 2.02 ACRES = 88,079 SF
TOTAL AREA OF DISTURBANCE (INCLUDES WORK WITHIN THE TOWN RIGH-OF-WAY) 26,735 SF
TOTAL AREA OF DISTURBANCE ON THE PROPERTY 25,833 SF
PROPOSED BUILDING ROOF 2,460 SF
PROPOSED DRIVEWAY SURFACE ON PROPERTY 3,610 SF
TOTAL IMPERVIOUS AREA PROPOSED ON SITE 6,270 SF
% IMPERVIOUS AREA PROPOSED ON-SITE 7.1%

DRAINAGE PLAN

THE CULTE DETENTION AND INFILTRATION SYSTEM HAS BEEN DESIGNED AND SIZED TO RECEIVE RUNOFF FROM THE BUILDING ROOF AREA AND THE PORTION OF THE DRIVEWAY BEING COLLECTED BY THE DRIVEWAY TRENCH DRAIN.
THE ALL ROOF DRAINS TOGETHER AND DISCHARGE INTO THE SEDIMENT TRAP.
CONNECT THE DRIVEWAY TRENCH DRAIN TO THE SEWMENT TRAP.
INSTALL CULTE SYSTEM WITH OVERFLOW PORT.

SEPTIC DESIGN DATA

1. PROPOSED 5 BEDROOM RESIDENCE.
2. REQUIRED TRENCHING AREA IS 17,720.0 SQUARE FEET.
3. REQUIRED TRENCHING AREA IS 17,720.0 SQUARE FEET.
4. MASS CALCULATIONS

AVERAGE RL OF TEST HOLES WITHIN THE SYSTEM AREA (TH 5, 9) IS

$$RL = \frac{34 + 34}{2} = 34'$$

AVERAGE RL OF DOWNGRADE TEST HOLES (TH 6, 7)

$$RL = \frac{29 + 35}{2} = 47'$$

MASS DESIGN RL =

$$\frac{34' + 47'}{2} = 40.5'$$

HYDRAULIC GRADIENT (4% SLOPE)
= 10-15"
HYDRAULIC LAYER (4" MIN)
= 18"
FLOW FACTOR (FF) = 5 BEDROOMS
= 2.0
PERCOLATION FACTOR (PF)
= 1.50
MASS (IN FEET) = FF x FF x PF
= 54"

5. LINEAL FEET OF LEACHING SPREAD IS PROVIDED

PROPOSED PRIMARY SYSTEM

TWO 55 LINEAL FOOT ROWS OF 6" MANHOLE 55" x 8" 12" INVERT, LEACHING AREA PROVIDED IS 1210 SF.

PROPOSED RESERVE SEPTIC AREA -

50 LINEAL FEET OF MANHOLE DOUBLE WIDE 100" EFFECTIVE

LEACHING RATE 500 GALLONS PER LINEAL FOOT.

LEACHING AREA PROVIDED IS 1000 SQUARE FEET.

THIS SYSTEM IS NOT DESIGNED TO ACCEPT WASTES FROM

GRASS, DISPOSAL UNITS OR BACKWASH EFFLUENT FROM WATER

EXCESS OF 100 GALLONS OR BACKWASH FROM CENTRAL

VACUUM SYSTEMS. TUBS EXCEEDING 100 GALLONS AND LESS

BE INCREASED BY 250 GALLONS.

PERCOLATION DATA

PERCOLATION TEST PERFORMED BY PEAK ENGINEERS, LLC ON MAY 30, 2013.

PH A 10" DIAMETER 24" DEEP

TIME MEASURE DROP MIN ELAPSED RATE

1:53 12 7/8"

2:04 16 5/8"

2:16 17 3/4"

2:26 19 1/8"

2:36 20 1/2"

DESIGN RATE

PH B 10" DIAMETER 24" DEEP

TIME MEASURE DROP MIN ELAPSED RATE

1:53 13 1/2"

2:06 16 5/8"

2:17 19"

2:28 20 3/8"

2:39 21 5/8"

DESIGN RATE

PH C 10" DIAMETER 24" DEEP, JUNE 9, 2018

PRESEAL 516, STICK 10" DOWN FROM GRADE

TIME MEASURE DROP MIN ELAPSED RATE

4:26 4 3/4"

4:36 6"

4:46 6 3/4"

4:56 7 7/8"

5:06 8 3/4"

5:16 9 1/2"

5:26 9 7/8"

5:36 10 1/2"

GEORGE M. SCHMIDT

N/F

IRON PIN

430

420

410

400

390

380

370

360

350

340

330

320

310

300

290

280

270

260

250

240

230

220

210

200

190

180

170

160

150

140

130

120

110

100

90

80

70

60

50

40

30

20

10

0

-10

-20

-30

-40

-50

-60

-70

-80

-90

-100

-110

-120

-130

-140

-150

-160

-170

-180

-190

-200

-210

-220

-230

-240

-250

-260

-270

-280

-290

-300

-310

-320

-330

-340

-350

-360

LEGEND

EXISTING CONTOUR

PROPOSED CONTOUR

EXISTING SPOT ELEVATION

PROPOSED SPOT ELEVATION

PERCOLATION HOLE

DEEP TEST HOLE

UPLAND REVIEW AREA

PRE-ACTIVITY DRAINAGE PATTERN

FOOTING DRAIN

ROOF DRAIN

GRADE TO DRAIN

STONE WALL EXISTING

CONSTRUCTION ACCESS ROUTE

CONSTRUCTION ENTRANCE

ORANGE CONSTRUCTION FENCE

SILT FENCE

SILT FENCE BACKED WITH STAKED HAYBALE

SILT FENCE, DOUBLE ROW WITH HAYBALE IN BETWEEN

STOCKPILE AREA

RRAP PAD

PROPOSED DRIVEWAY CURBED

PROPOSED PAVO

PROPOSED CHUNKED RUBBLE WALL

Boulder Wall Proposed

Limit of Disturbance

SLOPES GREATER THAN 20%

Boulder Demarcation Placed at Limit of Lawn

Tree to Remain Tree Protection

Tree to be Removed

Tree to Remain No Protection Proposed

Tree to be Removed

Tree to Remain

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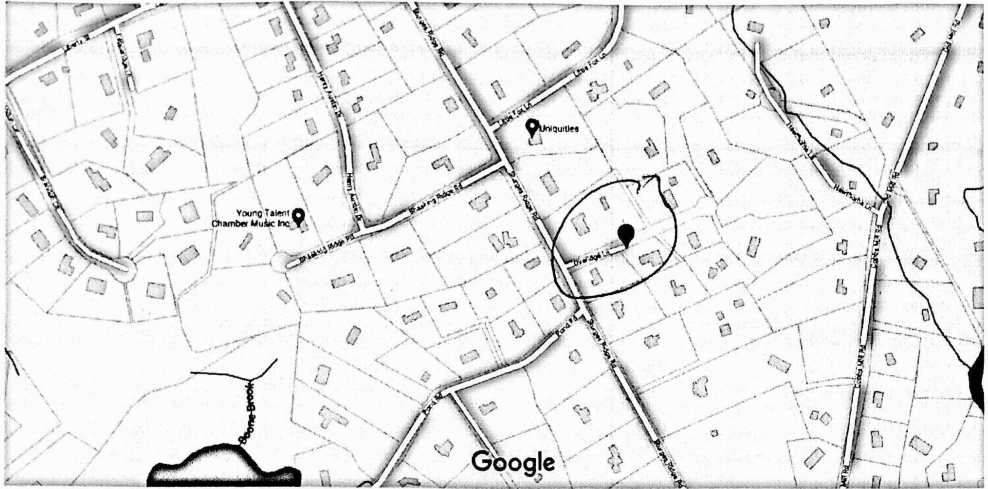
Tree to be Removed

Tree to Remain

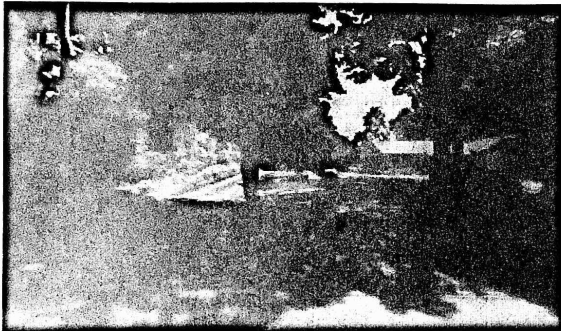
Tree to be Removed

Tree to Remain

Google Maps 25 Overidge Ln



Map data ©2021 200 ft



25 Overidge Ln

Wilton, CT 06897



Directions



Save



Nearby

Send to your
phone

Share

Photos

Wilton Town Hall

Done



**25 Overidge Ln, Wilton, CT 06897,
United States**



250 ft

Turn right onto Sturges Ridge Rd



0.3 mi

Turn left onto Liberty St



0.5 mi

Turn left onto Hurlbutt St



0.3 mi

Turn right onto Sharp Hill Rd



1.2 mi

Turn right onto Danbury Rd



0.4 mi

Turn right



50 ft

Arrive at the destination



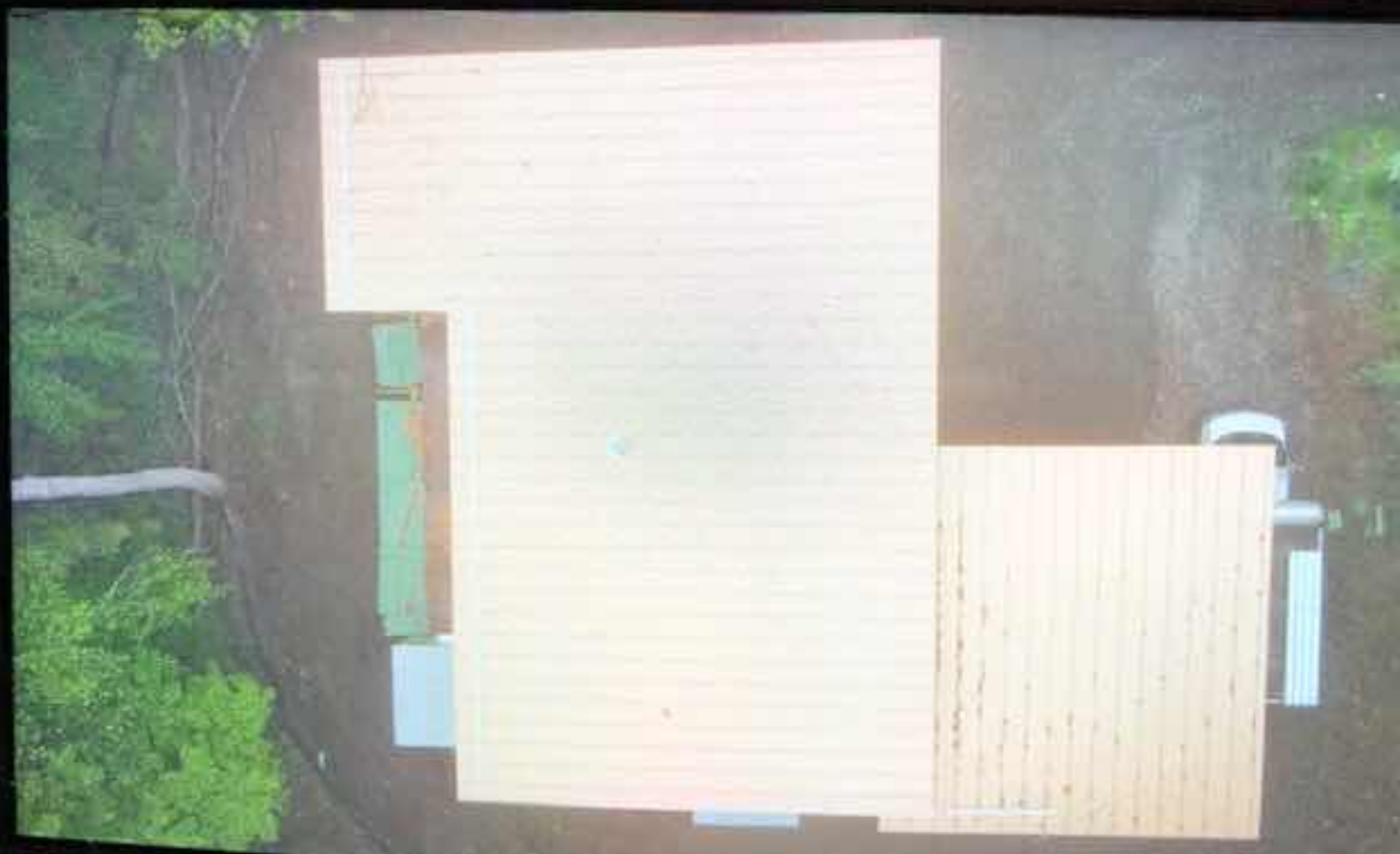
**238 Danbury Rd, Wilton, CT 06897,
United States**











AFTER RECORDING, RETURN TO:
McDonough Law Offices, LLC
150 Alexandra Drive
Stratford, CT 06614-1034

WARRANTY DEED

LESLIE ADLA LAMON, of 28 Mount Pleasant Road in the Town of Newtown, County of Fairfield and the State of Connecticut, for SIXTY THOUSAND and 00/100 DOLLARS (\$60,000.00) consideration paid, grants to **VIKENESWARAN BALASUBRAMANIAM** and **ANNA MARIA A. MALIK**, of 3540 Park Avenue in the City of Bridgeport, County of Fairfield, and State of Connecticut, as Joint Tenants with Rights of Survivorship, with **WARRANTY COVENANTS** the following described premises known as 34-1 Overidge Lane, Wilton, Connecticut:

SEE SCHEDULE "A" ATTACHED HERETO AND MADE APART HEREOF.

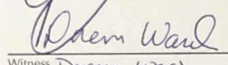
Said premises is subject to the following:

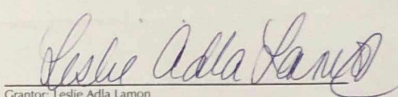
1. Any and all provisions of any ordinance, municipal regulation, public or private law, including but not limited to the planning and zoning rules and regulations of the Town of Wilton.
2. Taxes due the Town of Wilton on the list of October 1, 2015, hereinafter becoming due and payable.
3. Encumbrances of record which may appear.

Signed this 17th day of October, 2016.

WITNESSED BY:


Witness: Andrew J. Buzzzi, Jr.


Witness: Doreen Ward

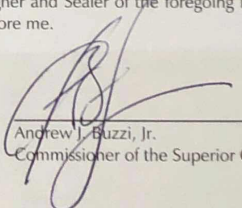

Grantor: Leslie Adla Lamon

STATE OF CONNECTICUT)

COUNTY OF FAIRFIELD)

ss: Danbury

Personally appeared, **LESLIE ADLA LAMON**, Signer and Sealer of the foregoing instrument, and acknowledged the same to be her free act and deed before me.


Andrew J. Buzzzi, Jr.
Commissioner of the Superior Court

Conveyance Tax Received
TOWN \$ 150.00
STATE \$ 450.00

Lori A. Kaback
Town Clerk of Wilton

00141808

VOL: 2459 PG: 444

SCHEDULE A

(Legal Description)

ALL THAT CERTAIN premises situated in the Town of Wilton, County of Fairfield, and State of Connecticut, shown as Lot 2, 2.022 acres, more or less on map entitled "**Map of Lots 1 & 2 Prepared for Strome B. Lamon & Joan Lamon, Wilton, Connecticut**", dated April 4, 1973, revised June 14, 1973, and recorded in the Wilton Town Clerk's Office as Map No. 3240.

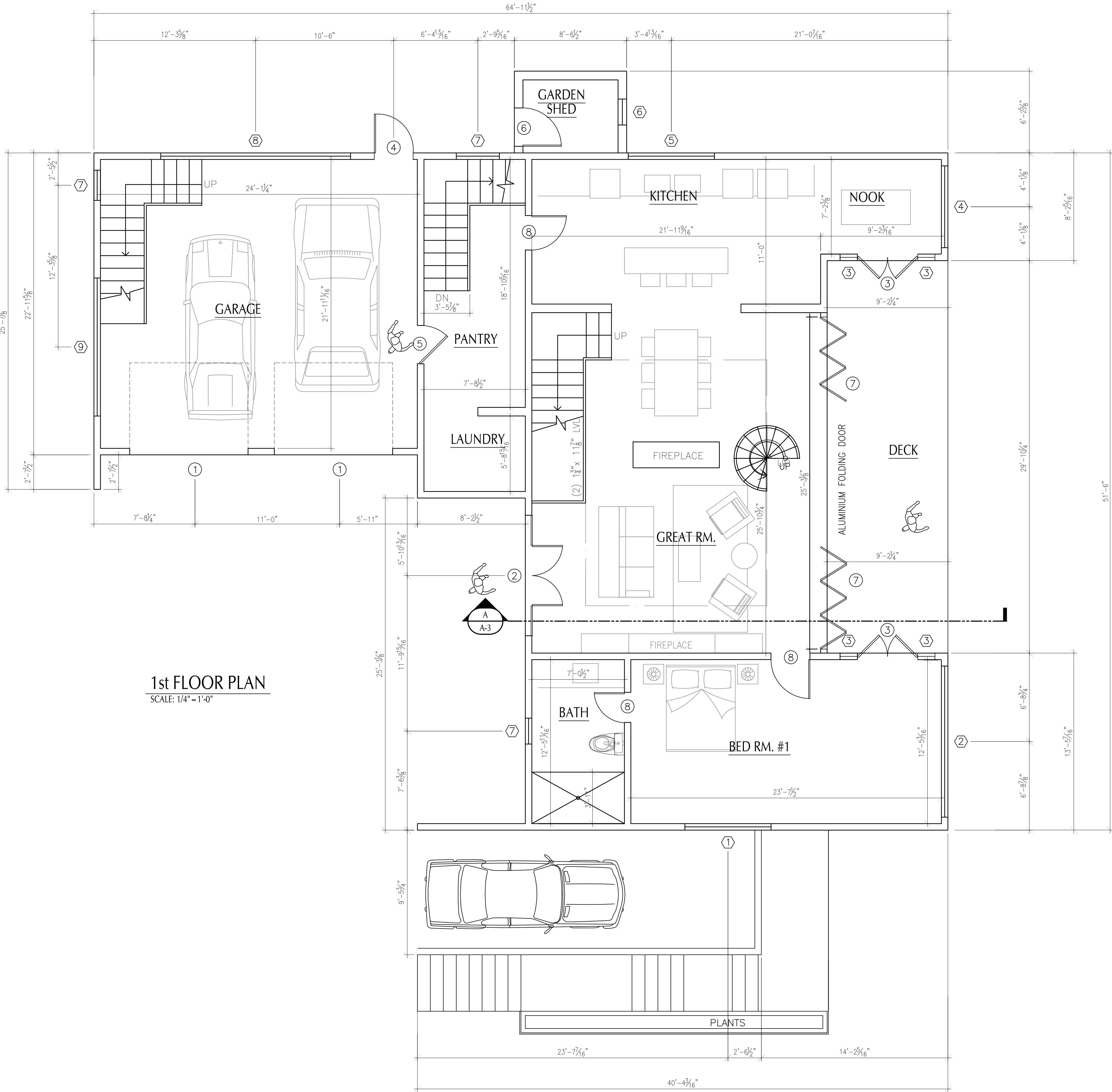
Said premises are also known as Assessor Lot 34-1 Overidge Lane, Wilton, CT 06897

Received For Record
Oct 18, 2016 AT 02:10P
Lori A. Kaback
Wilton Town Clerk

SYM DOOR SCHED.			
I.D.	SIZE		QTY.
1	9070	OVERHEAD	2
2	6068	DOUBLE HINGED INS. EXTERIOR	1
3	4668	DOUBLE HINGED FRENCH EXTERIOR	2
4	2668	4 LITE EXTERIOR	1
5	3068	STEEL INS. 1 HR. FIRE RATED	1
6	3068	EXTERIOR WOOD	1
7	25'x7"	"NANA WALL" TYPE DOOR TO BE DETERMINED NY CLIENT	1
8	2668	INTERIOR WOOD	7
9	2068	INTERIOR WOOD	1
10	3068	INTERIOR WOOD	1
11	4668	DBL. INS. FULL LITE SLIDER	1

SYM WINDOW SCHED.			
I.D.	SIZE	TYPE	QTY.
1	6'-6"x3'-6"	?	1
2	11'-2"x3'-3"	?	1
3	5'-11"x3'-3"	?	4
4	5'-8"x3'-3"	?	1
5	6'-6"x3'-3"	?	2
6	1'-8"x3'-3"	?	1
7	3'-0"x1'-3"	?	4
8	14'-1"x1'-3"	?	1
9	10'-6"x1'-7"	?	1
10	14'-5"x3'-7"	?	1
11	3'-0"x1'-3"	TEMPERED	1
12	1'-7"x8'-10"	?	3
13	6'-10"x6'-6"	?	1
14	5'-7"x1'-4"	?	1
15	3'-7"x4'-11"	?	1
16	11'-2"x6'-2"	?	?
17	7'-6"x6'-6"	?	2
18	3'-7"x3'-3"	?	1
19	2'-3"x3'-7"	?	1
20	10'-6"x3'-7"	?	1

ALL WINDOWS TO BE LOW "E" ARGON GAS FILLED WITH A "U" FACTOR OF NOT LESS THAN 0.29, INSULATED WITH THERMAL-BREAK FRAMES. ALL WINDOWS SHALL BE EXTERIOR CLAD. SUPPLY SCREENS AS REQUIRED. PROVIDE TEMPERED GLASS WINDOWS AT ALL DOORS, STAIRS, AND TUB/SHOWER LOCATIONS. PROVIDE EGRESS WINDOWS AT ALL BEDROOM LOCATIONS. THIS IS A PRELIMINARY WINDOW SCHEDULE. AEDIFEX, LLC OR ANY OF IT'S EMPLOYEES, OWNERS, ETC. DOES NOT TAKE ANY RESPONSIBILITY FOR SIZES, LOCATIONS, FRAMES, ETC. UNTIL ACCURATE DETAILS HAVE BEEN SUBMITTED FOR REVIEW. VERIFICATION OF EXACT WINDOW SIZES, ROUGH OPENINGS, ETC. RESTS SOLELY WITH THE GENERAL CONTRCTOR AND/OR SKY VIEW BUILDERS.



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Atlantic Consulting & Engineering LLC

325 John Street
Bridgeport, Connecticut
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(203) 336-4422
(203) 336-1769 FAX
info@atlantic-eng.com

TWO STORY SINGLE FAMILY DWELLING
BALASUBRAMANI RESIDENCE
34-1 OVERIDGE LANE
WILTON, CT

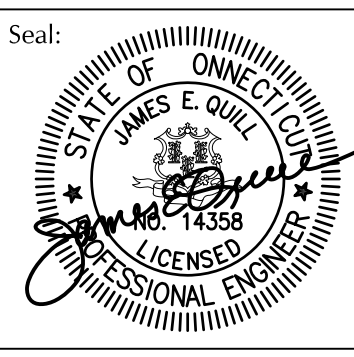
Job Number:
18-3456

Start Date:
8/10/18

Issued For:	Date:
APPROVAL	8/13/18
PERMIT	8/16/18

REVISION	Date:
DIMENSIONED FOUND. PLAN	10/29/18
COORDINATED DIMS. BETWEEN FLOOR PLANS	

Drawn By: TJP Checked By: JEQ



Sheet Title:
1st FLOOR PLAN

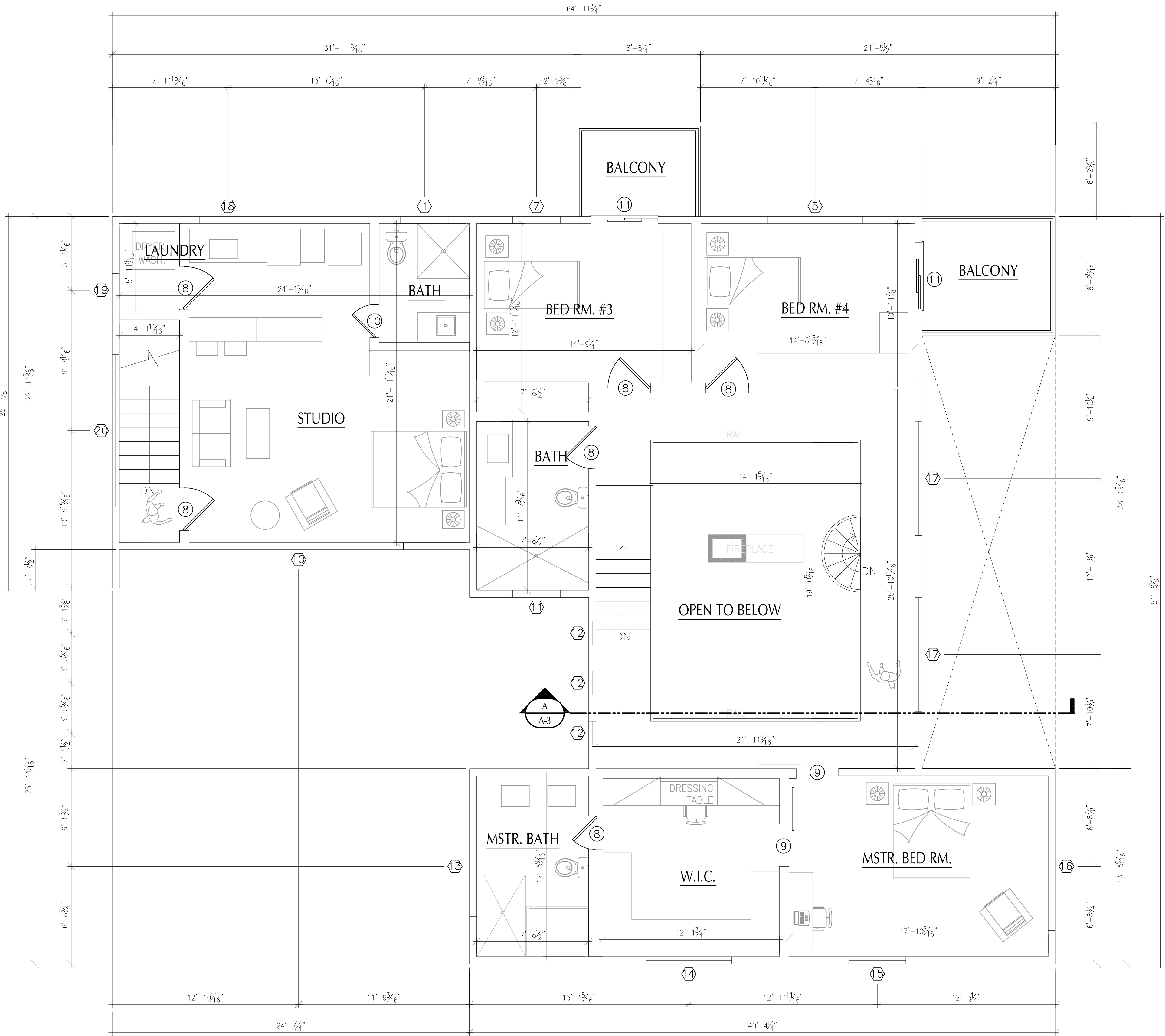
Scale:
AS NOTED

Sheet Number:
A-1

SYM	DOOR SCHED.		
I.D.	SIZE		QTY.
1	9070	OVERHEAD	2
2	6068	DOUBLE HINGED INS. EXTERIOR	1
3	4668	DOUBLE HINGED FRENCH EXTERIOR	2
4	2668	4 LITE EXTERIOR	1
5	3068	STEEL INS. 1 HR, FIRE RATED	1
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10	3068	INTERIOR WOOD	1
11	4668	DBL. INS. FULL LITE SLIDER	1

SYM	WINDOW SCHED.		
I.D.	SIZE	TYPE	QTY.
1	6'-6"x3'-6"	?	1
2	11'-2"x3'-3"	?	1
3	5'-11"x3'-3"	?	4
4	5'-8"x3'-3"	?	1
5	6'-6"x3'-3"	?	2
6	1'-8"x3'-3"	?	1
7	3'-0"x1'-3"	?	4
8	14'-1"x1'-3"	?	1
9	10'-6"x1'-7"	?	1
10	14'-5"x3'-7"	?	1
11	3'-0"x1'-3"	TEMPERED	1
12	1'-7"x8'-10"	?	3
13	6'-10"x6'-6"	?	1
14	5'-7"x1'-4"	?	1
15	3'-7"x4'-11"	?	1
16	11'-2"x6'-2"	?	?
17	7'-6"x6'-6"	?	2
18	3'-7"x3'-3"	?	1
19	2'-3"x3'-7"	?	1
20	10'-6"x3'-7"	?	1

ALL WINDOWS TO BE LOW "E" ARGON GAS FILLED WITH A "U" FACTOR OF NOT LESS THAN 0.29. INSULATED WITH THERMAL-BREAK FRAMES. ALL WINDOWS SHALL BE EXTERIOR CLAD. SUPPLY SCREENS AS REQUIRED. PROVIDE TEMPERED GLASS WINDOWS AT ALL DOORS, STAIRS, AND TUB/SHOWER LOCATIONS. PROVIDE EGRESS WINDOWS AT ALL BEDROOM LOCATIONS. THIS IS A PRELIMINARY WINDOW SCHEDULE. AEDIFEX, LLC OR ANY OF IT'S EMPLOYEES, OWNERS, ETC. DOES NOT TAKE ANY RESPONSIBILITY FOR SIZES, LOCATIONS, FRAMES, ETC. UNTIL ACCURATE DETAILS HAVE BEEN SUBMITTED FOR REVIEW. VERIFICATION OF EXACT WINDOW SIZES, ROUGH OPENINGS, ETC. RESTS SOLELY WITH THE GENERAL CONTRCTOR AND/OR SKY VIEW BUILDERS.



2nd FLOOR PLAN

SCALE: 1/4" = 1'-0"

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TWO STORY SINGLE FAMILY DWELLING
BALASUBRAMANI RESIDENCE
34-1 OVERIDGE LANE
WILTON, CT

Job Number:
18-3456

Start Date:
8/10/18

Issued For: Date:
APPROVAL 8/15/18
PERMIT 8/16/18

REVISION Date:
DIMENSIONED FOUND. PLAN 10/29/18
COORDINATED DIMS. BETWEEN FLOOR PLANS

Drawn By: Checked By:
TJP JEQ

Seal:
STATE OF CONNECTICUT
JAMES E. JELLY
LICENSED PROFESSIONAL ENGINEER
No. 14359

Sheet Title:
2nd FLOOR PLAN

Scale:
AS NOTED

Sheet Number:
A-2

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TWO STORY SINGLE FAMILY DWELLING
BALASUBRAMANI RESIDENCE
34-1 OVERIDGE LANE
WILTON, CT

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DIMENSIONED FOUND. PLAN	10/29/18
COORDINATED DIMS. BETWEEN FLOOR PLANS	

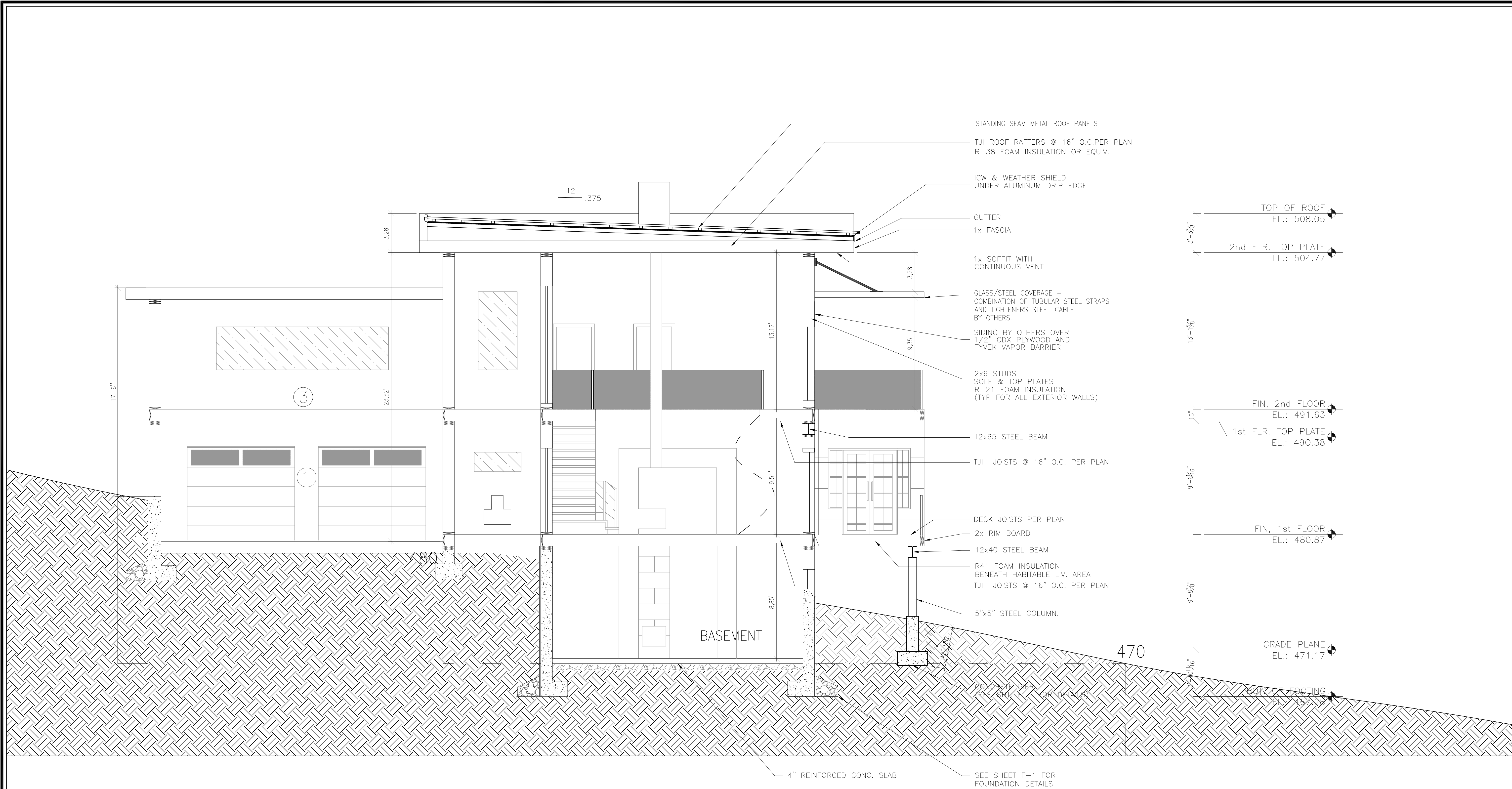
Drawn By: TJP
Checked By: JEQ

Seal:
STATE OF CONNECTICUT
JAMES E. QUELL
1438
LICENSED
PROFESSIONAL ENGINEER

Sheet Title:
SECTION
DETAILS

Scale:
AS NOTED

Sheet Number:
A-3



FOR ALL WINDOWS: ALUMINUM FRAMES
WITH THERMAL BREAK

- GLASS
- LONGBOARD SIDING (WOOD GRAIN - MAHOGANY COLOR) ③
- CASSETTE PANEL SYSTEM (STEEL) ②
- DARK BRICK
- GRAY PAINT - ACRYLIC STUCCO (SMOOTH TEXTURE)
- WHITE PAINT - ACRYLIC STUCCO (SMOOTH TEXTURE) ①

SECTION DETAIL
SCALE: 1/4" = 1'-0"

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TWO STORY SINGLE FAMILY DWELLING
BALASUBRAMANI RESIDENCE
34-1 OVERIDGE LANE
WILTON, CT

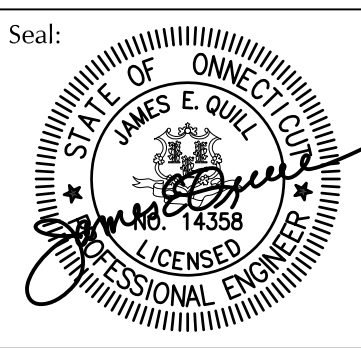
Job Number:
18-3456

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REVISION	Date:
DIMENSIONED FOUND. PLAN	10/29/18
COORDINATED DIMS. BETWEEN FLOOR PLANS	

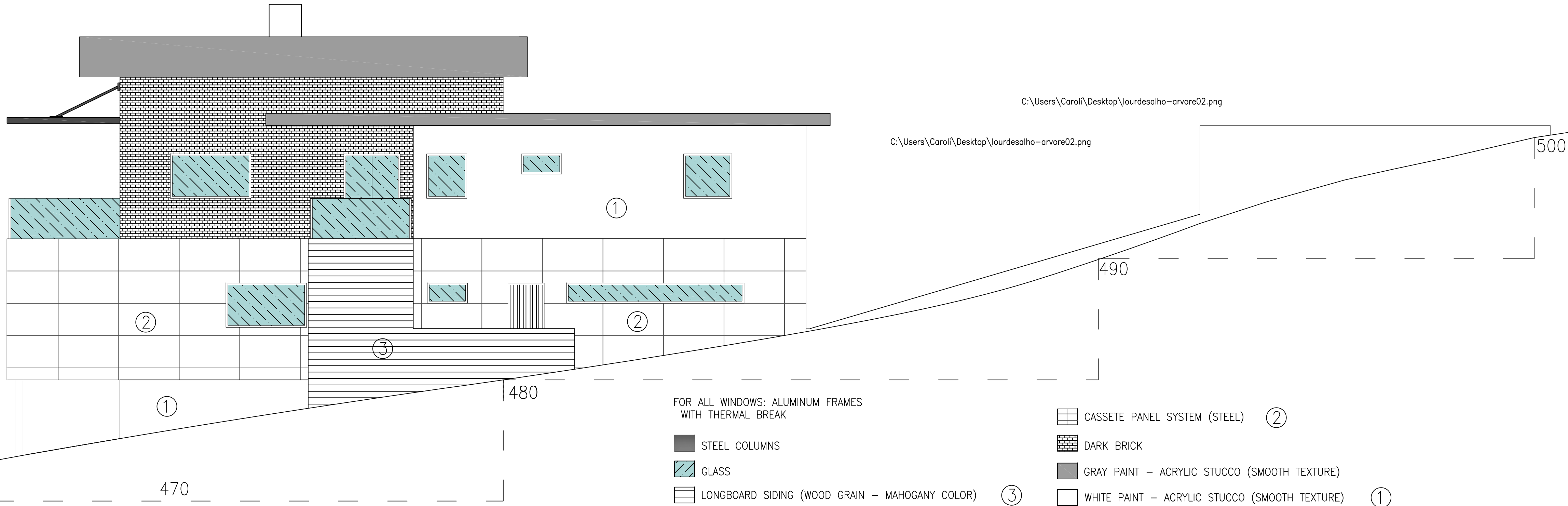
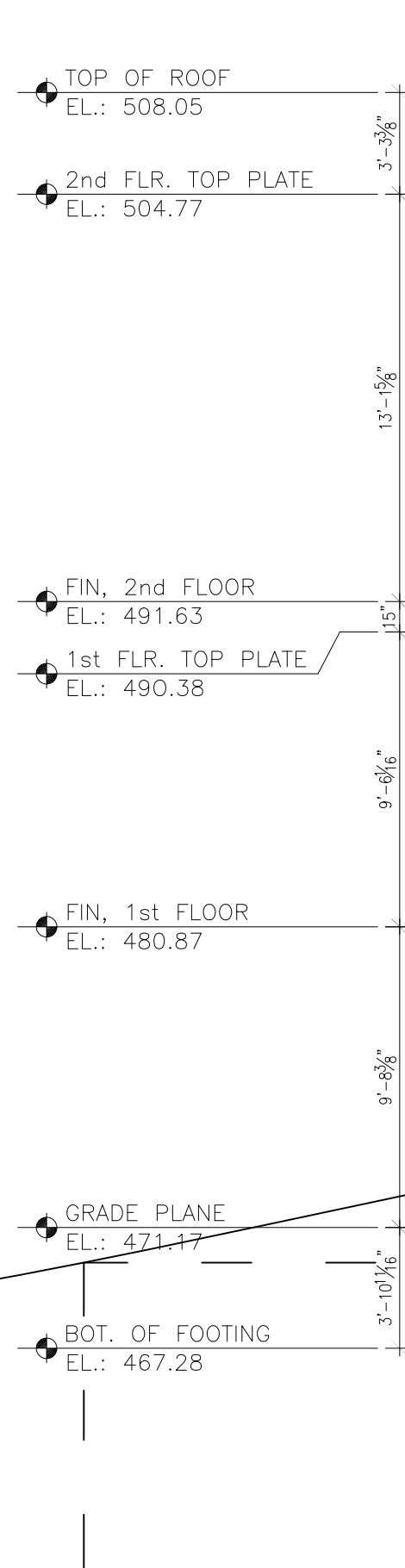
Drawn By: TJP Checked By: JEQ



Sheet Title:
NORTH & SOUTH ELEVATIONS

Scale:
AS NOTED

Sheet Number:
A-4



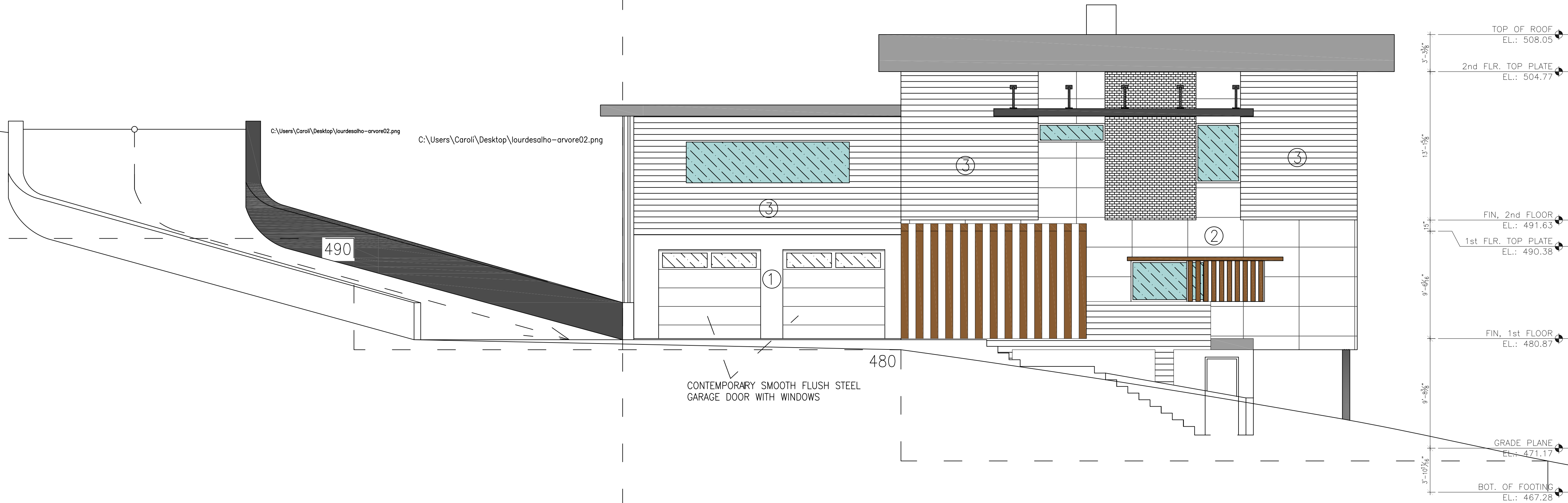
FOR ALL WINDOWS: ALUMINUM FRAMES WITH THERMAL BREAK

- STEEL COLUMNS
- GLASS
- LONGBOARD SIDING (WOOD GRAIN - MAHOGANY COLOR)

- CASSETTE PANEL SYSTEM (STEEL)
- DARK BRICK
- GRAY PAINT - ACRYLIC STUCCO (SMOOTH TEXTURE)
- WHITE PAINT - ACRYLIC STUCCO (SMOOTH TEXTURE)

NORTH ELEVATION
SCALE: 3/16" = 1'-0"

SLOPE DRIVEWAY - PERSPECTIVE



FOR ALL WINDOWS: ALUMINUM FRAMES WITH THERMAL BREAK

- STEEL COLUMNS
- GLASS
- LONGBOARD SIDING (WOOD GRAIN - MAHOGANY COLOR)
- CASSETTE PANEL SYSTEM (STEEL)
- DARK BRICK
- GRAY PAINT - ACRYLIC STUCCO (SMOOTH TEXTURE)
- WHITE PAINT - ACRYLIC STUCCO (SMOOTH TEXTURE)

SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

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34-1 OVERIDGE LANE
WILTON, CT

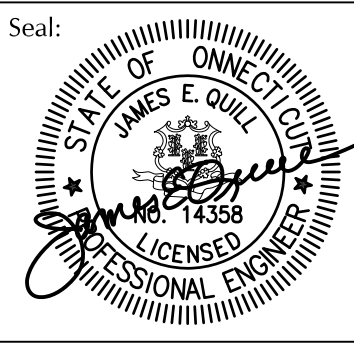
Job Number:
18-3456

Start Date:
8/10/18

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PERMIT	8/16/18

REVISION	Date:
DIMENSIONED FOUND. PLAN	10/29/18
COORDINATED DIMS. BETWEEN FLOOR PLANS	

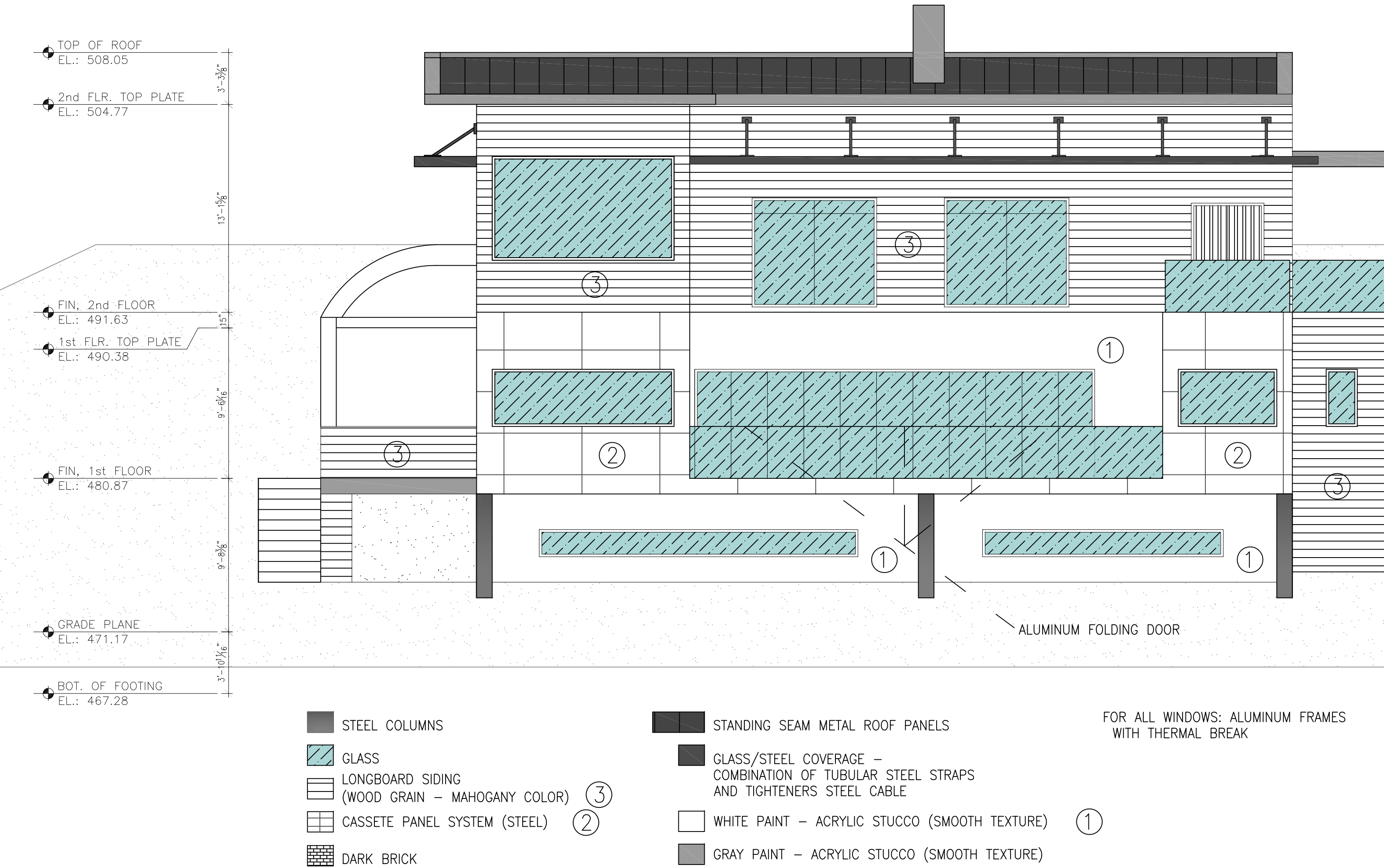
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Checked By: JEQ



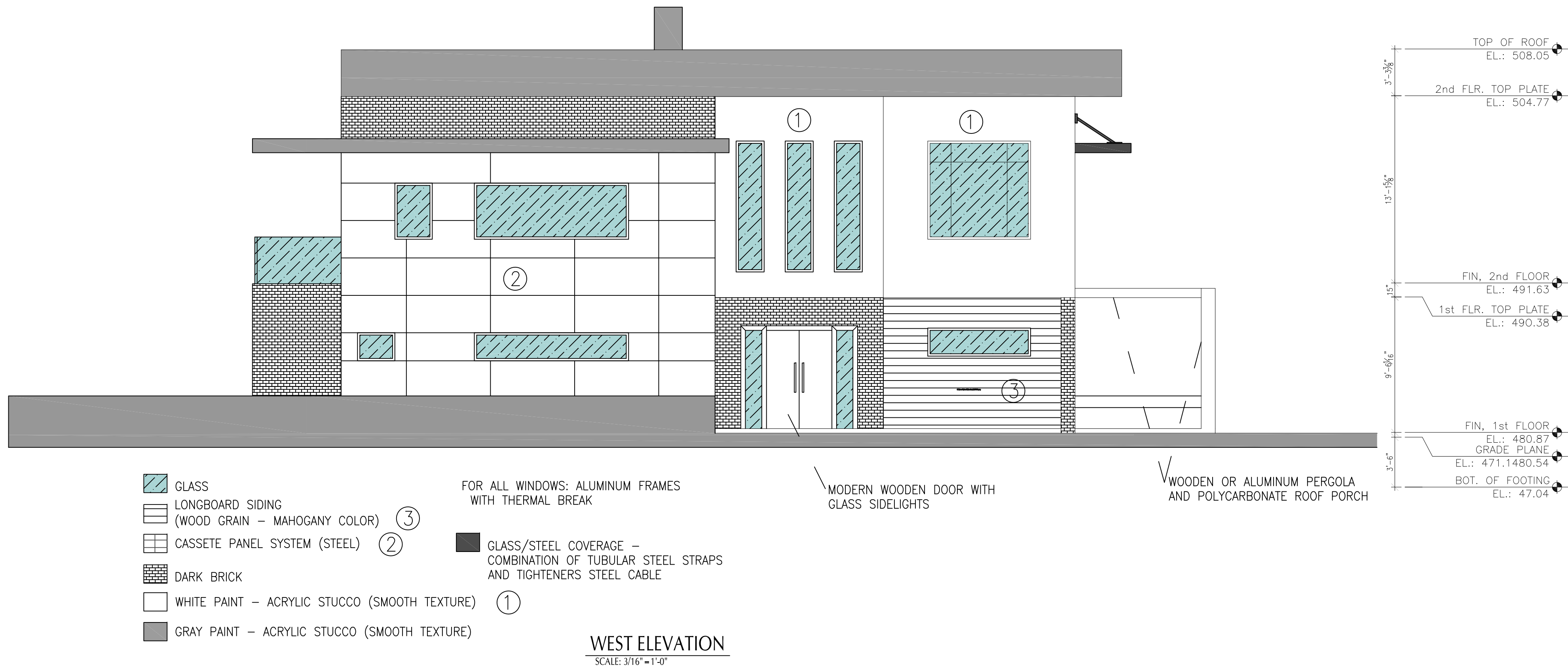
Sheet Title:
EAST & WEST ELEVATIONS

Scale:
AS NOTED

Sheet Number:
A-5



EAST ELEVATION
SCALE: 3/16" = 1'-0"



WEST ELEVATION
SCALE: 3/16" = 1'-0"

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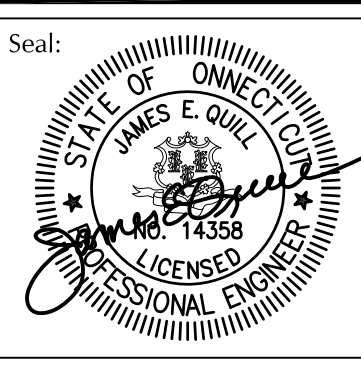
Job Number:
18-3456

Start Date:
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Issued For:	Date:
APPROVAL	8/15/18
PERMIT	8/16/18

REVISION	Date:
DIMENSIONED FOUND. PLAN	10/29/18
COORDINATED DIMS. BETWEEN FLOOR PLANS	

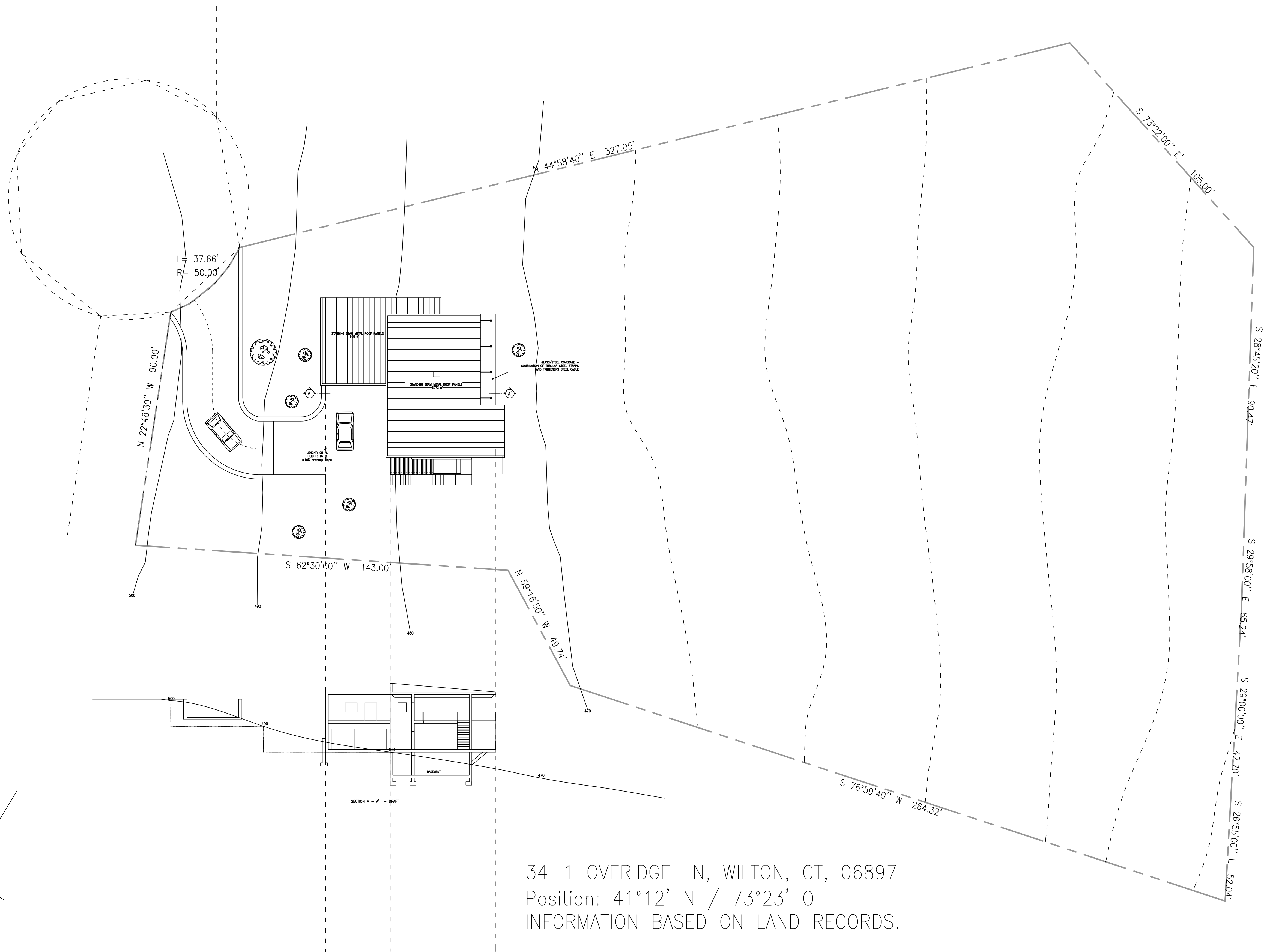
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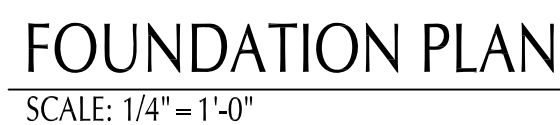


Sheet Title:
SITE PLAN

Scale:
AS NOTED

Sheet Number:
A-6





- 1.) ASSUMED SOIL BEARING CAPACITY OF 4,000 P.S.F. BRG. CAP. TO BE VARIFIED BY GEOTECHNICAL ENGINEER. EXCAVATE TO TOP OF INORGANIC MATERIAL (TYPICAL - ALL FOOTINGS) AS DETERMINED BY ATLANTIC CONSULTING ENGINEERING LLC
- 2.) STRUCTURAL INSPECTION MUST BE CONDUCTED BY ATLANTIC CONSULTING & ENGINEERING.
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OTHERWISE ATLANTIC CONSULTING & ENGINEERING IS RELEASED OF ANY LIABILITY RELATED TO THE INSTALLATION.



F-1

ALL EXTERIOR HEADERS SHALL BE DBL
2x10 #SPF (UNO ON PLANS)
SILL HEIGHTS TO BE NOT MORE THAN
44" ABOVE SUB-FLOOR

CLEAR SPAN	PLY	MEMBER SIZE	# OF JACK STUDS	# OF KING STUDS
------------	-----	-------------	-----------------	-----------------

6' TO 8'	2	2x10	2	1
8' OR +	1-3/4"xAS SPECIFIED LVL			

LVL - 1 $\frac{3}{4}$ " MICROLAM 1.9E (SEE PLANS FOR SIZES)
SPF - SPRUCE_PINE_FIR #2 (OR BETTER)
TJI - 9 $\frac{1}{2}$ " OR 11 $\frac{1}{8}$ " 110, 230, 360, 560 1.8E
SEE PLANS FOR SIZE AND SERIES USED

CRITERIA:
MAXIMUM DEFLECTION = $L/380$
LL = 40 AND DL = 15

(1) LVL

SIMPSON
HGU1.75
(OR EQUIV.)

(2) LVL's

SIMPSON
HGU3.5
(OR EQUIV.)

(3) LVL's

SIMPSON
HGU5.25
(OR EQUIV.)

(4) LVL's

SIMPSON
HGU7.00-SDS
(OR EQUIV.)

- NOTES:
1. METAL FRAMING CONNECTORS TO BE SIMPSON—STRONG TIE OR EQUIV.
 2. SEE TYPICAL WOOD DETAILS ON PLANS FOR POST CONNECTION DETAILS.
 3. INSTALL METAL FRAMING CONNECTORS PER MANUFACTURER'S RECOMMENDATION

MARK	PLY	SIZE	COMMENTS
P1	1	$\frac{3}{8} \times 7''$ PSL	-
P2	1	$\frac{3}{8} \times 7''$ PSL	-
P3	1	$\frac{3}{8} \times 8\frac{1}{2}''$ PSL	-
P4	1	$\frac{3}{8} \times 8\frac{1}{2}''$ PSL	-
P5	1	$\frac{3}{8} \times 3\frac{1}{2}''$ PSL	-
P6	4	$\frac{3}{8} \times 6''$ SPF	SEE NOTES
P7	4	$\frac{3}{8} \times 6''$ SPF	SEE NOTES
P8	3	$\frac{3}{8} \times 4\frac{1}{2}''$ SPF	SEE NOTES
P9	3	$\frac{3}{8} \times 4\frac{1}{2}''$ SPF	SEE NOTES
P10	1	$6' \times 6''$ SPF	PRESSURE TREATED
P11	1	$4' \times 4''$ SPF	PRESSURE TREATED
SC1	-	$4' \times 6''$ HSS	$\frac{1}{4}''$ WALL
SC2	-	$3' \times 3''$ HSS	
SC3	-	$\frac{3}{8} \times 3\frac{1}{2}''$ HSS	
SC4	-	$4' \times 4''$ HSS	$\frac{1}{4}''$ WALL
SC5	-	$5' \times 5''$ HSS	
SC6	-	$6' \times 6''$ HSS	
SC7	-	$7' \times 7''$ HSS	
SC8	-	$12' \times 12''$ HSS	$\frac{1}{2}''$ WALL THICKNESS

Diagram illustrating the layout of a 2x2 grid of boxes (likely for data entry or coding) with associated labels:

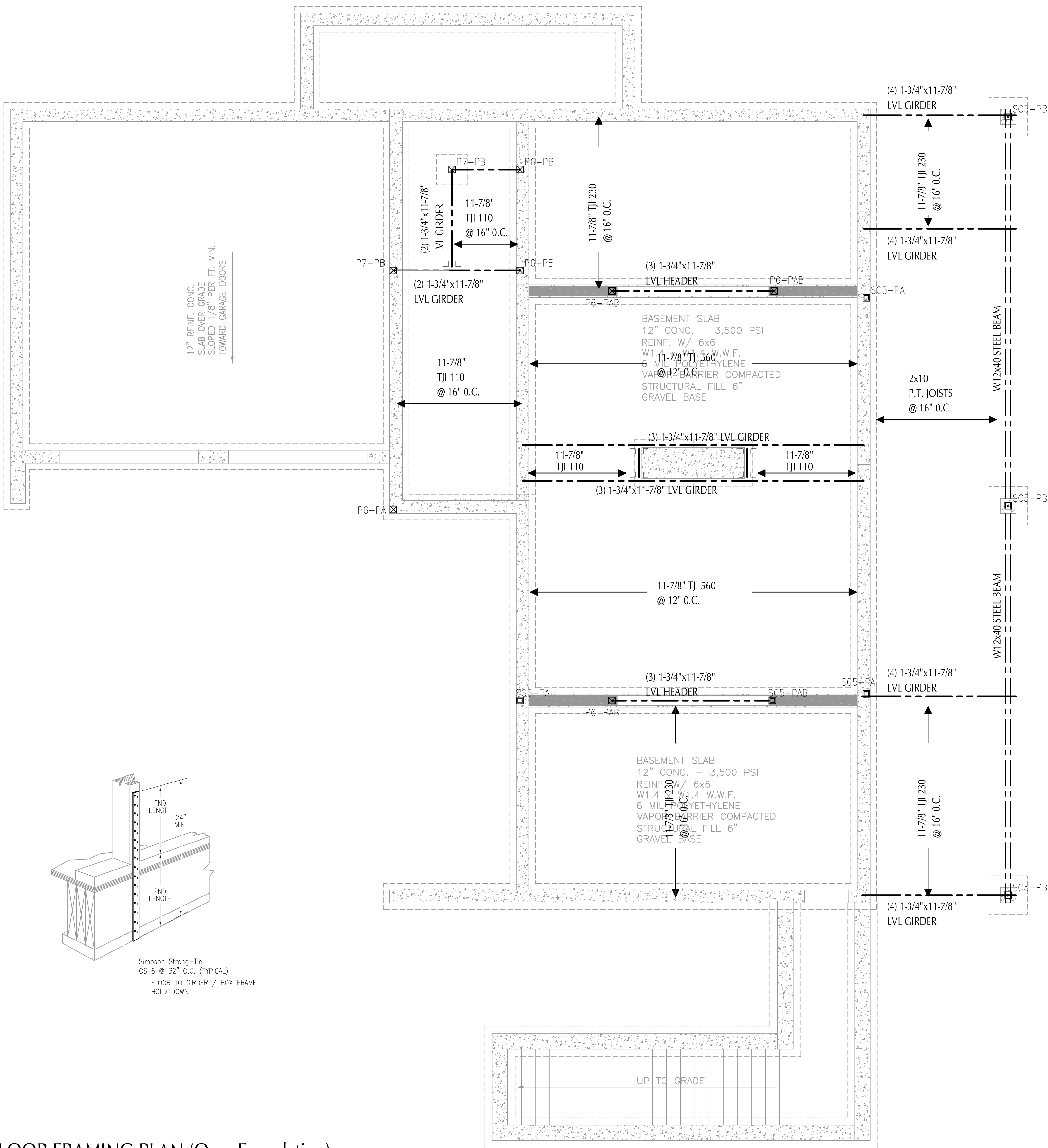
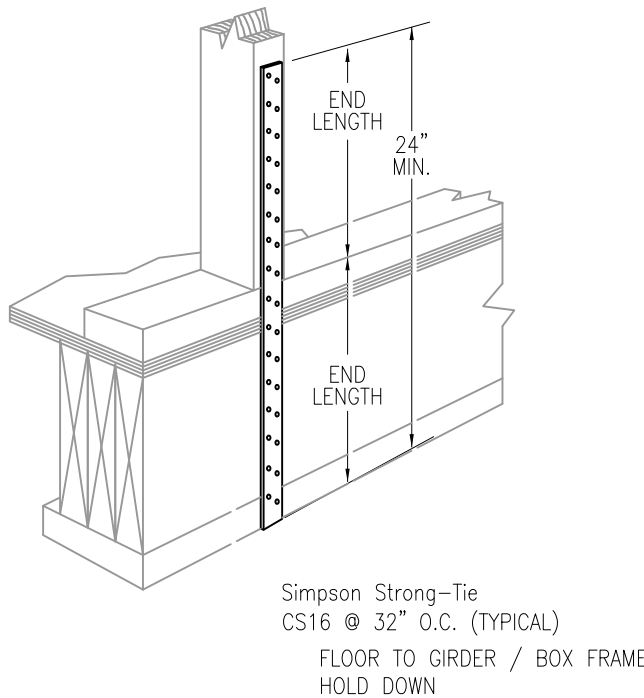
- MARK**: Points to the top-left box (XX).
- POST DIRECTION**: Points to the top-right box (XX).
- LOCATION (T OR B)**: Points to the bottom-left box (XX).
- WHEN NOTED**: Points to the bottom-right box (XX).
- METAL FRAMING CONNECTOR, WHEN NOTED**: Points to the bottom-right box (XX).

Legend for the boxes:

- PA = ABOVE**
- PB = BELOW**
- PAB = ABOVE & BELOW**

- NOTES:
1. WOOD POSTS NOT INDICATED ON PLAN
TO BE MIN: 4X4 SPF#2 OR EQUIVALENT
 2. BUILT UP POSTS SHALL BE MIN 16d @
12"OC STAG
 3. RECOMMENDED COLUMNS ARE SUBJECT TO
REPLACEMENT WITH EQUIVALENT.
 4. ALL LUMBER EXPOSED TO THE ELEMENTS
MUST BE PRESSURE TREATED.
- PSL = PARALLEL STRAND LUMBER - USE 2.0E
SPR = SPRUCE PINE FIR - USE MIN. #2 LUMBER
HSS = HOLLOW STRUCTURAL SHAPE

STEEL GIRDER / HEADER

 FLUSH CONNECTION

SCALE: 1/4" = 1'-0"

NOTE:
STRUCTURAL INSPECTION MUST BE CONDUCTED
BY ATLANTIC CONSULTING & ENGINEERING.
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LLC

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☎ 800-441-1111
Info@atlantic-eng.com

TWO STORY SINGLE FAMILY DWELLING
BALASUBRAMANI RESIDENCE
34-1 OVERIDGE LANE
WILTON, CT

Job Number:
18-3456


Start Date:	8/1/18
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Issued For:	Date:
APPROVAL	8/15/18
PERMIT	8/16/18

REVISION	Date:
DIMENSIONED FOUND. PLAN	10/29/1
COORDINATED DIMS. BETWEEN FLOOR PLANS	

Drawn By:	Checked By:
TJP	JEQ

Seal:



The seal is circular with a double-lined border. The outer ring contains the text "STATE OF CONNECTICUT" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle features the text "JAMES E. QUILL" at the top and "LICENSED" at the bottom. In the center is a crest with a shield, a sun, and a plow. Below the crest is the number "No. 14358". A handwritten signature, "James E. Quill", is written across the seal.

Sheet Title:

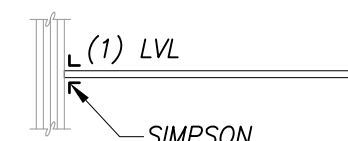
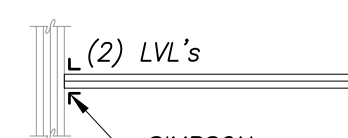


1st FLOOR
FRAMING PLAN

Scale:
AS NOTED

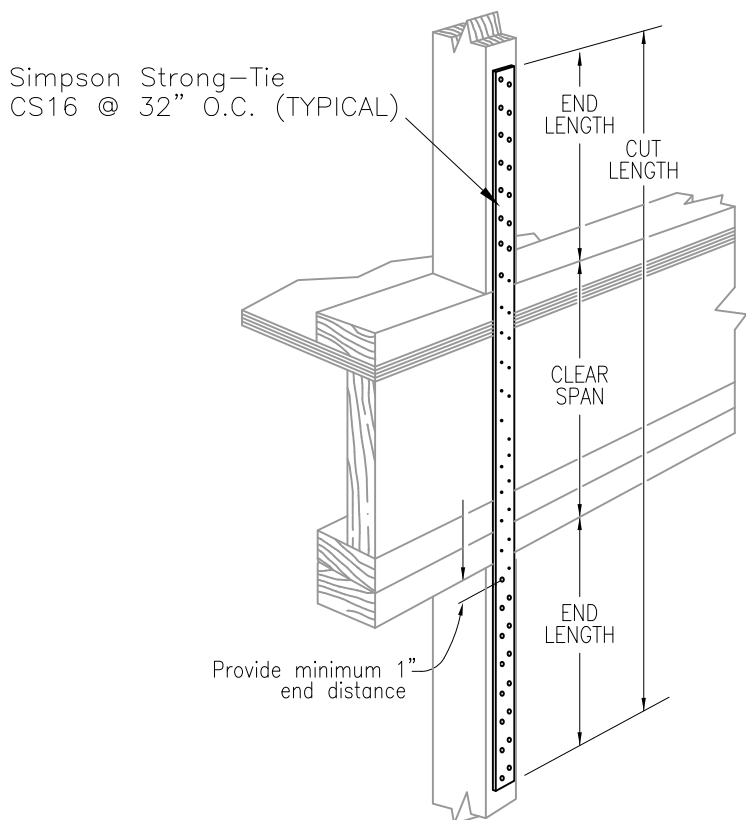
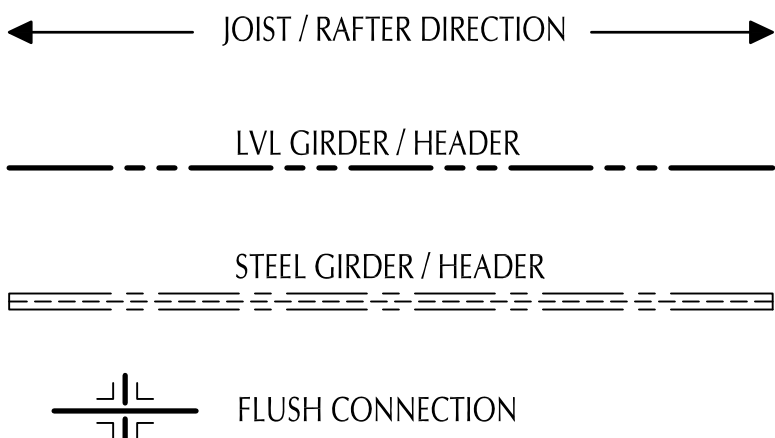
Sheet Number:

S-1

HEADER SCHEDULE				
ALL EXTERIOR HEADERS SHALL BE DBL 2x10 #SPF (UNO ON PLANS) SILL HEIGHTS TO BE NOT MORE THAN 44" ABOVE SUB-FLOOR				
ALL INTERIOR LOAD BEARING HEADERS SHALL BE AS FOLLOWS: (UNO ON PLANS)				
CLEAR SPAN	PLY	MEMBER SIZE	# OF JACK STUDS	# OF KING STUDS
0' TO 3'	2	2x6	1	1
3' TO 6'	2	2x8	1	1
6' TO 8'	2	2x10	2	1
8' OR +	1-3/4"xAS SPECIFIED LVL			
ALL INTERIOR NON-LOAD BEARING TO BE: 2-2x4 - OPN'GS UP TO 3'-4" 2-2x6 - OPN'GS OVER 3'-4"				
LVL - 1 3/4" MICROLAM 1.9E (SEE PLANS FOR SIZES) SPF - SPRUCE_PINE_FIR #2 (OR BETTER) TJI - 9 1/2" OR 1 1/8" 110, 230, 360, 560 1.8E SEE PLANS FOR SIZE AND SERIES USED				
CRITERIA: MAXIMUM DEFLECTION = L/380 LL = 40 AND DL = 15				

LVL CONNECTOR SCHEDULE:	
	(1) LVL
	(2) LVL's
	(3) LVL's
	(4) LVL's
NOTES: 1. METAL FRAMING CONNECTORS TO BE SIMPSON-STRONG TIE OR EQUIV. 2. SEE TYPICAL WOOD DETAILS ON PLANS FOR POST CONNECTION DETAILS. 3. INSTALL METAL FRAMING CONNECTORS PER MANUFACTURERS RECOMMENDATION	

COLUMN SCHEDULE			
MARK	PLY	SIZE	COMMENTS
P1	1	3/2"x7" PSL	-
P2	1	3/2"x7" PSL	-
P3	1	3/2"x3/4" PSL	-
P4	1	3/2"x3/4" PSL	-
P5	1	3/2"x3/2" PSL	-
P6	4	3/2"x6" SPF	SEE NOTES
P7	4	3/2"x6" SPF	SEE NOTES
P8	3	3/2"x4 1/2" SPF	SEE NOTES
P9	3	3/2"x4 1/2" SPF	SEE NOTES
P10	1	6"x6" SPF	PRESSURE TREATED
P11	1	4"x4" SPF	PRESSURE TREATED
SC1	-	4"x HSS	1/4" WALL
SC2	-	3"x3" HSS	
SC3	-	3/2"x3/2" HSS	
SC4	-	4"x4" HSS	1/4" WALL
SC5	-	5"x5" HSS	
SC6	-	6"x6" HSS	
SC7	-	7"x7" HSS	
SC8	-	12"x12" HSS	1/2" WALL THICKNESS
PX-XX OR PX-XX INDICATES STEEL HSS			
PX-XX INDICATES WOOD POST			
MARK POST DIRECTION PA = ABOVE PB = BELOW PAB = ABOVE & BELOW			
(X)-(X) LOCATION (T OR B), WHEN NOTED METAL FRAMING CONNECTOR, WHEN NOTED			
NOTES: 1. WOOD POSTS NOT INDICATED ON PLAN TO BE MIN. 4X4 SPF#2 OR EQUIVALENT 2. BUILT UP POSTS SHALL BE MIN 16d @ 12"oc STAG 3. RECOMMENDED COLUMNS ARE SUBJECT TO REPLACEMENT WITH EQUIVALENT. 4. ALL LUMBER EXPOSED TO THE ELEMENTS MUST BE PRESSURE TREATED. PSL = PARALLEL STRAND LUMBER - USE 2.0E SPF = SPRUCE_PINE_FIR - USE MIN. #2 LUMBER HSS = HOLLOW STRUCTURAL SHAPE			

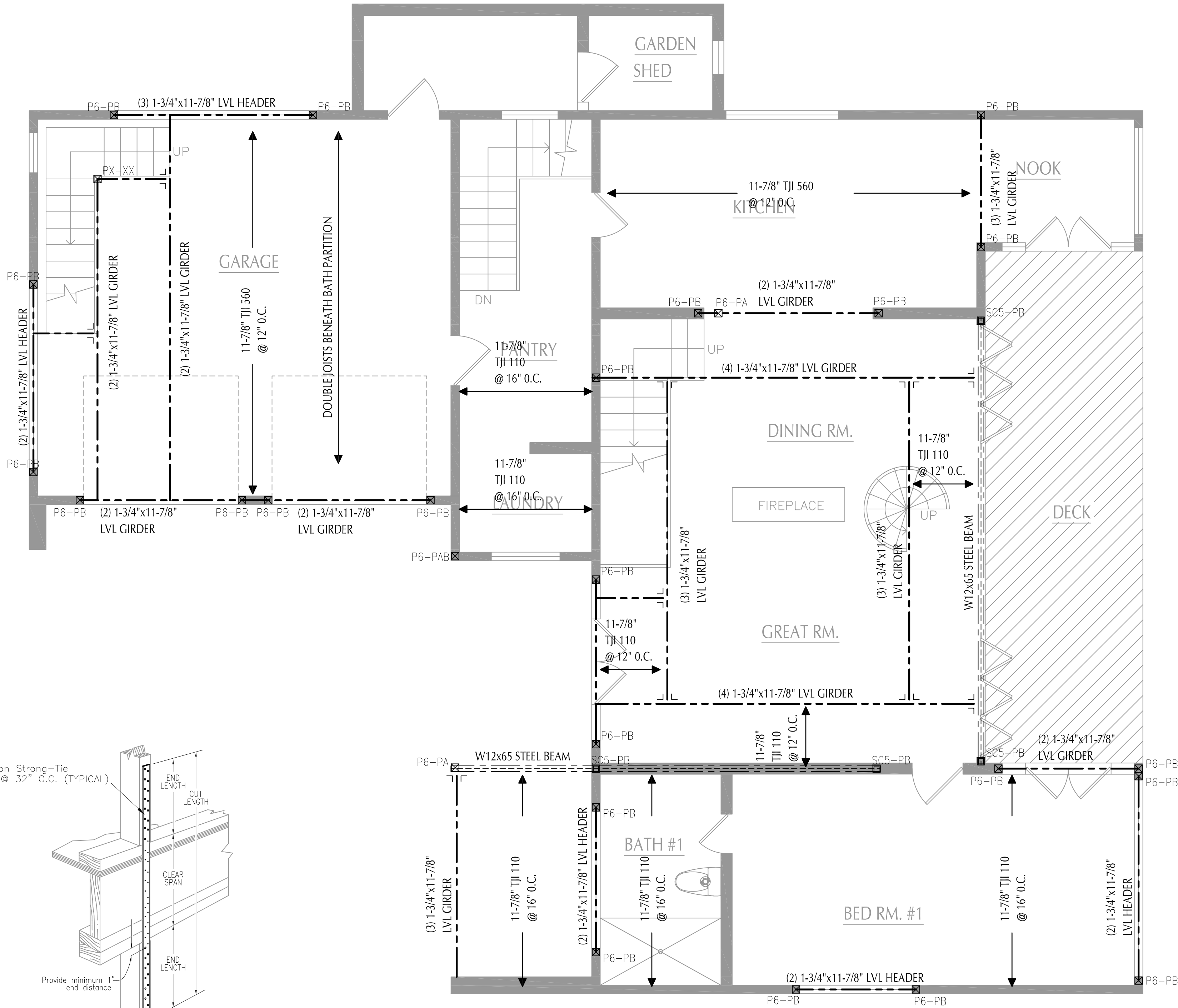


FLOOR TO FLOOR
HIGH WIND HOLD DOWN

2nd FLOOR FRAMING PLAN (Over 1st Floor)

SCALE: 1/4" = 1'-0"

NOTE:
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TWO STORY SINGLE FAMILY DWELLING
BALASUBRAMANI RESIDENCE
34-1 OVERIDGE LANE
WILTON, CT

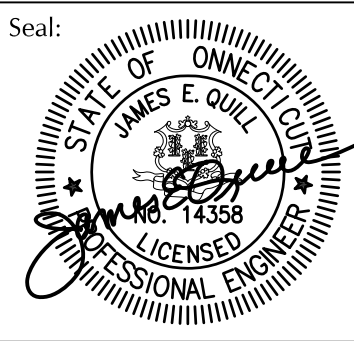
Job Number:
18-3456

Start Date:
8/1/18

Issued For:	Date:
APPROVAL	8/15/18
PERMIT	8/16/18

REVISION	Date:
DIMENSIONED FOUND. PLAN	10/29/18
COORDINATED DIMS. BETWEEN FLOOR PLANS	

Drawn By: TJP
Checked By: JEQ



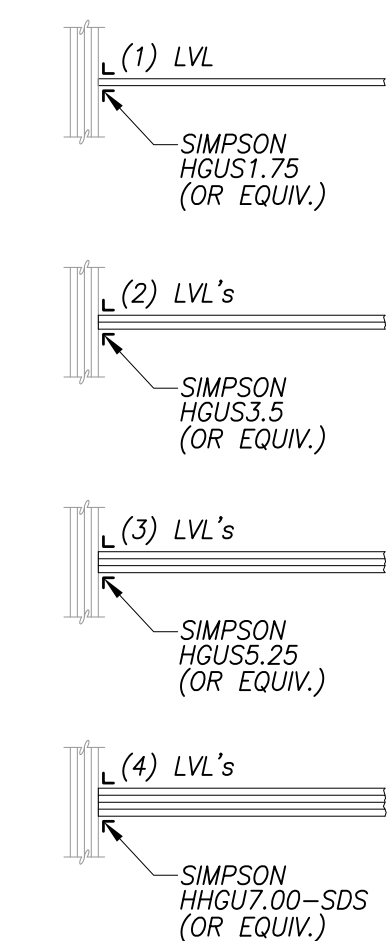
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2nd FLOOR
FRAMING PLAN

Scale:
AS NOTED

Sheet Number:
S-2

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 - SEE TYPICAL WOOD DETAILS ON PLANS FOR POST CONNECTION DETAILS.
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COLUMN SCHEDULE			
MARK	PLY	SIZE	COMMENTS
P1	1	9/2"x7" PSL	-
P2	1	3/2"x7" PSL	-
P3	1	9/4"x9/4" PSL	-
P4	1	3/2"x3/4" PSL	-
P5	1	3/2"x3/2" PSL	-
P6	4	9/2"x6" SPF	SEE NOTES
P7	4	3/2"x6" SPF	SEE NOTES
P8	3	9/2"x4 1/2" SPF	SEE NOTES
P9	3	3/2"x4 1/2" SPF	SEE NOTES
P10	1	6"x6" SPF	PRESSURE TREATED
P11	1	4"x4" SPF	PRESSURE TREATED
SC1	-	4" HSS	1/4" WALL
SC2	-	3"x3" HSS	
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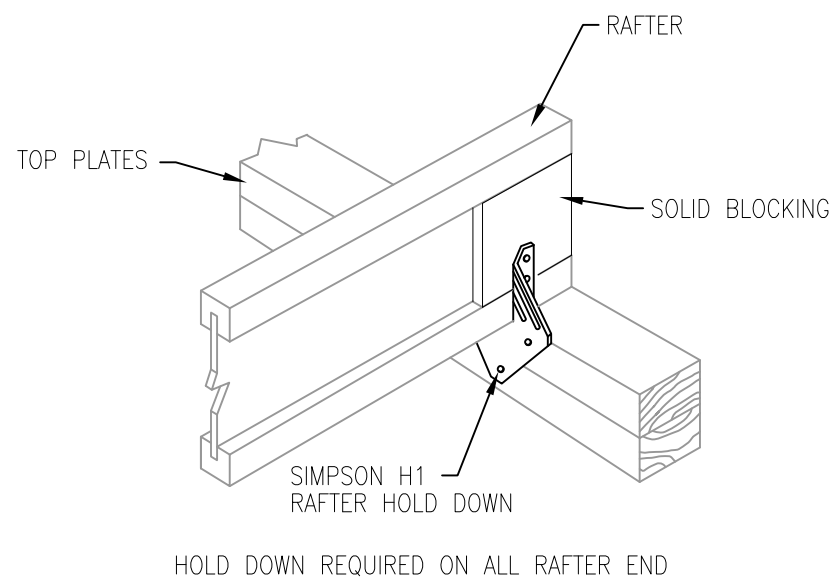
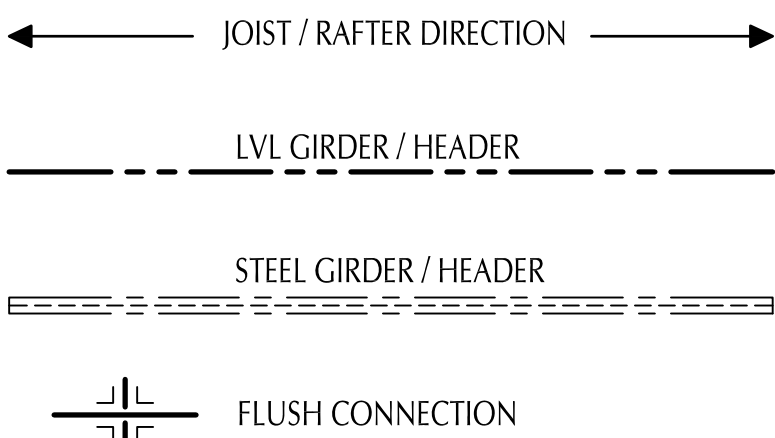
PX-XX OR PX-XX INDICATES STEEL HSS
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MARK
(X)-(X) POST DIRECTION
(X)-(X) LOCATION (T OR B), WHEN NOTED
(X)-(X) METAL FRAMING CONNECTOR, WHEN NOTED

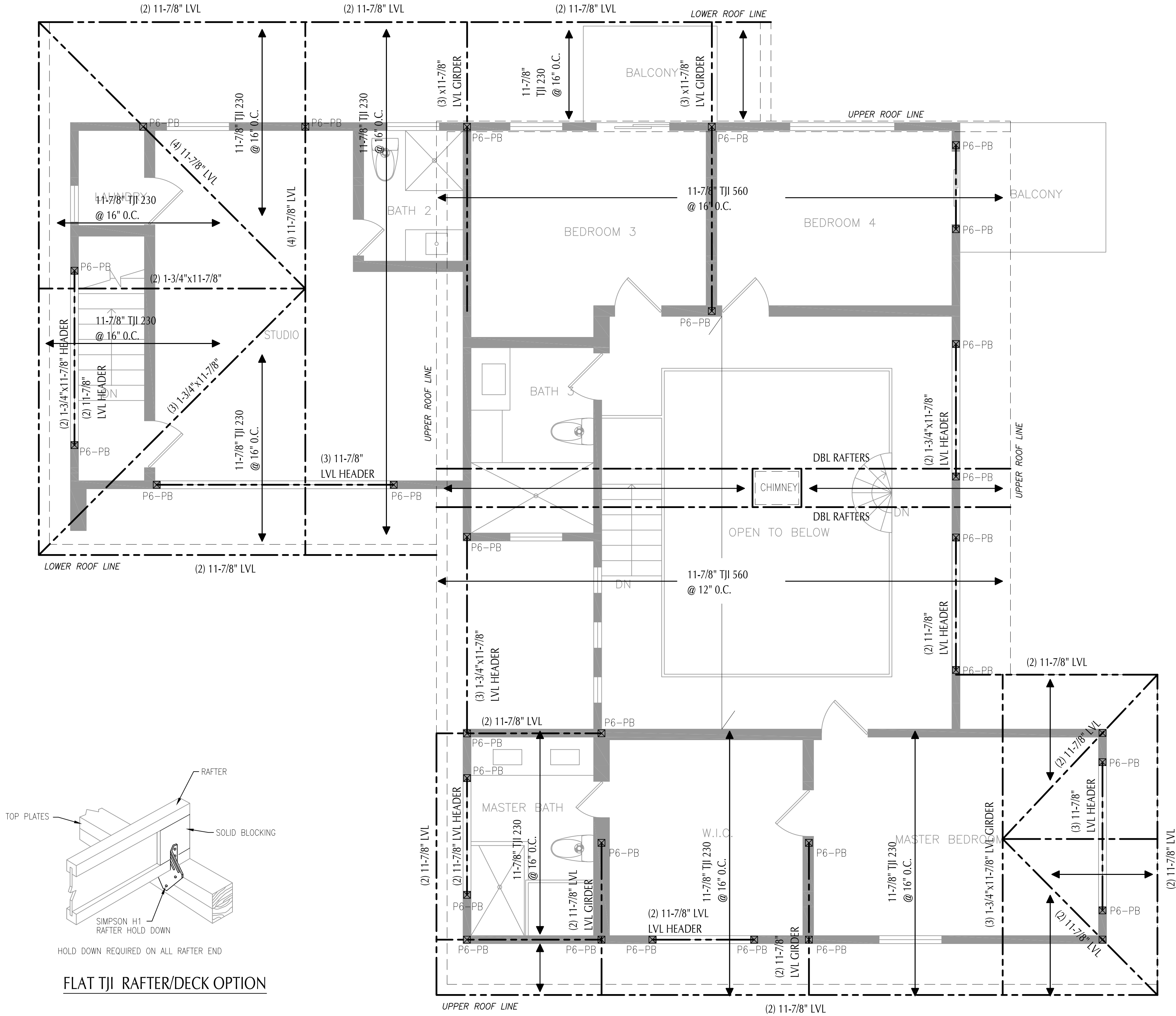
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- ALL LUMBER EXPOSED TO THE ELEMENTS MUST BE PRESSURE TREATED.

PSL = PARALLEL STRAND LUMBER - USE 2.0E
SPF = SPRUCE_PINE_FIR - USE MIN. #2 LUMBER
HSS = HOLLOW STRUCTURAL SHAPE



FLAT TJI RAFTER/DECK OPTION



ROOF FRAMING PLAN (Over Attic Floor)

SCALE: 1/4" = 1'-0"

NOTE:

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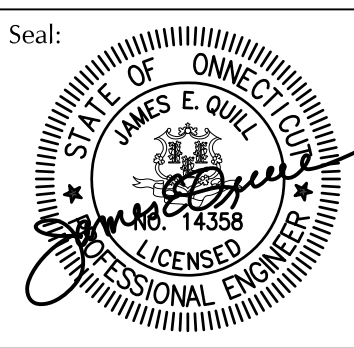
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Drawn By: TJP
Checked By: JEQ



Sheet Title:
ROOF FRAMING PLAN

Scale:
AS NOTED

Sheet Number:
S-3

STRUCTURAL NOTES

- d. ALL FOUNDATIONS SHALL BE PLACED ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL. BEARING CAPACITY OF 3,000 LBS. IS ESTIMATED. DETERMINATION OF FINAL BEARING ELEVATIONS AND FIELD VERIFICATION OF ALLOWABLE BEARING PRESSURE SHALL BE MADE BY A QUALIFIED GEOTECHNICAL ENGINEER FROM ATLANTIC CONSULTING ENGINEERING (203) 336-4422 PRIOR TO PLACING FOUNDATIONS.
- e. CONCRETE FOR FOUNDATIONS SHALL BE PLACED ON THE SAME DAY SUBGRADE APPROVAL IS GIVEN BY THE GEOTECHNICAL ENGINEER.
- f. ALL FOUNDATIONS SUSCEPTIBLE TO FROST SHALL BEAR A MINIMUM OF 42 INCHES BELOW GRADE. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IN ADVANCE OF ANY CONSTRUCTION TO ALLOW FOR ADJUSTMENT.

- g. UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEER'S APPROVAL.
- h. THE SLOPE BETWEEN THE LOWER EDGES OF ADJACENT FOOTINGS SHALL NOT EXCEED 45 DEGREES WITH THE HORIZONTAL, UNLESS INDICATED OTHERWISE IN THE GEOTECHNICAL REPORT.
- i. NEW FOOTING BEARING ELEVATIONS ARE TO MATCH ADJACENT EXISTING FOOTING BEARING ELEVATIONS WHERE APPLICABLE UNLESS INDICATED OTHERWISE ON PLANS.

- j. PROVIDE CONTINUOUS WATERSTOP AT ALL HORIZONTAL AND VERTICAL CONSTRUCTION JOINTS IN ALL ELEVATOR PIT AND OTHER FIT WALLS.
- k. ALL SHORING, SHEETING, AND DOWELING SHALL BE THE TOTAL RESPONSIBILITY OF THE CONTRACTOR. SHEETING AND SHORING SHALL BE DESIGNED BY THE CONTRACTOR'S ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION. ALL SUBMITTALS SHALL BEAR CONTRACTOR'S/ ENGINEERING SEAL AND SIGNATURE.

- l. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT ALL EXISTING STRUCTURES, CURBS, STREETS, ETC. FROM DAMAGE BY CONSTRUCTION EQUIPMENT.

2. BACKFILL:

- a. ALL BACKFILL SHALL BE ACCOMPLISHED USING MATERIAL CONSISTING OF BANK RUN GRAVEL, CRUSHED STONE AND/OR MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER, WITH OPTIMUM MOISTURE CONTENT FOR COMPACTING AND SHALL BE FREE OF ANY DEBRIS.

- b. WHERE THE FINAL GRADE ELEVATIONS ARE APPROXIMATELY EQUAL ON BOTH SIDES OF A WALL, BACKFILL IN LIFTS TO MAINTAIN LEVEL ELEVATIONS WITHIN 12" ON BOTH SIDES AT ANY TIME.

3. STRUCTURAL FILL:

- a. REFER TO SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS FOR COMPACTED STRUCTURAL FILL. REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT ARE PART OF THIS WORK. INSPECTION OF THE PLACEMENT OF COMPACTED STRUCTURAL FILL SHALL BE BY SPECIAL INSPECTOR AND OR TESTING LAB.

H. CONCRETE:

1. CAST-IN-PLACE:

- a. REINFORCING STEEL CLEAR COVER SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....3"
CONCRETE EXPOSED TO EARTH OR WEATHER- #6 AND LARGER.....2"
#5 BARS AND SMALLER.....1½"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND- SLABS, WALL, & JOISTS: #11 BARS AND SMALLER.....¾"
- b. CORE DRILLING OF FOUNDATIONS, BEAMS, JOISTS, SLABS OR COLUMNS SHALL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE STRUCTURAL ENGINEER.
- c. NO SPLICES OF REINFORCEMENT SHALL BE PERMITTED EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. MAKE BARS CONTINUOUS AROUND CORNERS. WHEN PERMITTED, SPLICES SHALL BE MADE BY CONTACT TENSION LAP SPLICES, UNLESS OTHERWISE NOTED.
- d. ALL INSERTS AND SLEEVES SHALL BE CAST-IN-PLACE WHENEVER FEASIBLE. DRILLED OR POWDER DRIVEN FASTENERS WILL BE PERMITTED WHEN PROVEN TO THE SATISFACTION OF THE STRUCTURAL ENGINEER THAT THE FASTENERS WILL NOT SPALL THE CONCRETE AND HAVE THE SAME CAPACITY AS CAST-IN-PLACE INSERTS.
- e. WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. HOLES SHALL BE BLOWN CLEAN PRIOR TO PLACING BOLTS OR ADHESIVE ANCHORS.
- f. CHAMFER ALL EXISTING OR EXPOSED CONCRETE CORNERS ¾ x ¾" x ¾" MINIMUM, SMOOTH FOR SKIM FINISH UNLESS NOTED OTHERWISE ON ARCHITECTURAL DRAWINGS.

- g. THE CONCRETE SLABS SHALL BE FINISHED FLAT AND LEVEL WITHIN TOLERANCE, TO THE ELEVATION INDICATED ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE ADDITIONAL CONCRETE REQUIRED DUE TO FORMWORK AND FRAMING DEFLECTION TO ACHIEVE THIS FINISHED TOP OF SLAB ELEVATION.

- h. CONSTRUCTION JOINTS FOR SLABS ON METAL DECK SHALL BE LOCATED MIDWAY BETWEEN BEAMS WHERE THE JOINT IS PARALLEL TO THE BEAM SPAN. JOINTS SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF SPAN WHERE THE JOINT IS PERPENDICULAR TO THE BEAM SPAN. THE CONTRACTOR SHALL SUBMIT, (FOR APPROVAL) A SHOP DRAWING, INDICATING ALL PROPOSED JOINT LOCATIONS AND ALL REINFORCING STEEL TO BE PLACED IN THE SLAB. ANY STOP IN CONCRETE WORK MUST BE MADE WITH VERTICAL BULKHEADS, UNLESS OTHERWISE SHOWN. ALL REINFORCING IS TO BE CONTINUOUS THROUGH JOINTS. SLABS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE UNLESS SHOWN OTHERWISE.

- i. WELDED WIRE FABRIC REINFORCEMENT SHALL BE SUPPLIED IN SHEETS. LAP TWO FULL MESH LENGTHS AT SPLICES AND WIRE TOGETHER. STAGGER SHEETS TO AVOID MULTIPLE LAPS @ CORNER.

- j. CONCRETE ENGINEERED REINFORCING FIBERS SHALL BE POLYPROPYLENE, COLLATED, FIBRILLATED FIBERS. POLYPROPYLENE FIBERS SHALL BE USED ONLY IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. USE 1.5 POUND BAGS PER ONE CUBIC YARD OF CONCRETE. THE FIBER MANUFACTURER OR APPROVED DISTRIBUTOR SHALL PROVIDE THE SERVICES OF A QUALIFIED EMPLOYEE FOR A PRE JOB MEETING AND INITIAL JOB START UP.

- k. NO WELDING OF REINFORCING SHALL BE PERMITTED UNLESS SPECIFICALLY CALLED FOR OR APPROVED BY THE STRUCTURAL ENGINEER.

- l. ALL FOUNDATIONS SHALL BE PLACED ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL. DETERMINATION OF FINAL BEARING ELEVATIONS AND FIELD VERIFICATION OF ALLOWABLE BEARING PRESSURE SHALL BE MADE BY ATLANTIC CONSULTING AND ENGINEERING DURING HELICAL PILE INSTALLATION.

A. CODES AND STANDARDS:

1. THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT. USE THE LATEST EDITIONS UNLESS NOTED OTHERWISE.

- a. BUILDING CODE OF THE STATE OF CONNECTICUT, RESIDENTIAL CODE OF STATE OF CONNECTICUT.
- b. "INTERNATIONAL BUILDING CODE - 2003", BUILDING OFFICIALS AND CODE ADMINISTRATORS, INC. (w/ 2005 CT AMENDMENTS)
- c. "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES"; (ANSI/ASCE 7-02), AMERICAN SOCIETY OF CIVIL ENGINEERS.
- d. "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318-02", AMERICAN CONCRETE INSTITUTE.
- e. "MANUAL OF STANDARD PRACTICE", CONCRETE REINFORCING STEEL INSTITUTE.
- f. "MANUAL OF STEEL CONSTRUCTION - ALLOWABLE STRESS DESIGN", NINTH EDITION 1989, AMERICAN INSTITUTE OF STEEL CONSTRUCTION (INCLUDING SPECIFICATIONS FOR STRUCTURAL STEEL A325 OR A490 BOLTS, AND AISC CODE OF STANDARD PRACTICE WITH EXCEPTION, IF ANY, AS INDICATED IN THE SPECIFICATIONS).
- g. "STRUCTURAL WELDING CODE ANSI/AWS D1.1-02", AMERICAN WELDING SOCIETY.
- h. "STANDARD SPECIFICATIONS LOAD TABLES AND WEIGHT TABLES FOR STEEL JOISTS AND JOIST GIRDERS", STEEL JOIST INSTITUTE (1994)
- i. "DESIGN MANUAL FOR FLOOR DECKS AND ROOF DECKS", STEEL DECK INSTITUTE.
- j. "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI530-02) & SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1-02)

B. DESIGN DATA:

1. GRAVITY - DESIGN LIVE LOADS
AREA PSE
a. LIVING AREA AND DECKS.....40
b. GARAGE.....50
c. ATTIC WITHOUT STORAGE.....20
d. GROUND SNOW LOAD.....(Pg) = 60
30+ DRIFTING SNOW AS APPLICABLE 1.0
e. LIVE ROOF.....MIN. 30 (REDUCIBLE)
f. LIVE LOAD AT ALL OTHER AREAS.....40
2. LATERAL LOADS - WIND
a. MAIN WIND-FORCE RESISTING SYSTEM:
(1) BASIC WIND SPEED: 100 MPH EXPOSURE: C
(2) IMPORTANCE FACTOR (I): 1.0
b. COMPONENTS & CLADDING - TO BE DESIGNED IN ACCORDANCE WITH ANSI/ASCE 7-02.
c. NET WIND UPLIFT: 22± PSF
d. LATERAL EQUIVALENT FLUID PRESSURE 30 PSF/FT (1) ACTIVE CONDITION

C. FOUNDATIONS/GEOTECHNICAL REPORT:

1. FOUNDATIONS HAVE BEEN DESIGNED WITH AN ESTIMATED SOIL BEARING PRESSURE OF 4000PSF. GEOTECHNICAL TO BE REPORT PREPARED BY FULLER ENGINEERING UPON REQUEST
2. FOUNDATIONS PLACED ON UNDISTURBED SOIL AT ELEVATIONS INDICATED HAVE BEEN DESIGNED FOR AN ALLOWABLE NET BEARING PRESSURE OF 3000 PSF.

D. MATERIALS:

1. PARALLEL STRAND LUMBER (PSL) BEAMS REQUIRED FOR COASTAL CONSTRUCTION. ALL PSL BEAMS EXPOSED TO THE WEATHER AND LOCATED ON THE COAST SHOULD BE PARALLAM PLUS MEMBERS. ALL EXPOSED PSL MEMBERS ARE TO BE FINISHED (WRAPPED) ALWITH AZEK OR EQUIVELANT TRIM BOARDS.
2. THE FOLLOWING ASTM STANDARDS AND DESIGN STRENGTH SHALL BE USED FOR THE APPROPRIATE MATERIALS USED IN THE CONSTRUCTION OF THIS PROJECT.
3. CEMENT: ASTM C150; TYPE I OR III
4. AGGREGATES: ASTM C33 (NORMAL WEIGHT)
ASTM C330 (STRUCTURAL LIGHTWEIGHT)
5. CONCRETE: ALL CONCRETE SHALL BE AIR-ENTRAINED 5-7% 1½% BY VOLUME, AIR-ENTRAINING ADMIXTURE TO COMPLY WITH ASTM C260.

APPLICATION	FOØ28 DAYS	WT(PCF)	W/C(MAX)
a. SLABS ON GRADE	3500	145	0.47
b. GARAGE	3500	145	0.47
c. LIVING	3500	145	0.47
d. FOOTINGS	3500	145	0.47
e. WALLS & PIERS	3500	145	0.47

6. REINFORCEMENT:
- a. DEFORMED REINFORCING BARS ASTM A615, GRADE 60
- b. WELDABLE DEFORMED REINF. BARS ASTM A706
- c. WELDED WIRE FABRIC (WWF) ASTM A185
- d. ADHESIVE REINF. DOWELING SYSTEM HILTI HIT HY150 SYS. OR EQUAL

7. STEEL:

- a. STRUCTURAL PLATES ASTM A36
- b. HI-STRENGTH STRUCT. STEEL ASTM A992, GRADE 50
- c. STRUCTURAL PIPE ASTM A53, GRADE B, FY=35KSI OR ASTM A501, FY=46KSI
- d. STRUCTURAL TUBING ASTM A500, GRADE B, FY=46KSI
- e. HIGH STRENGTH BOLTS ASTM A325-N
- f. ANCHOR BOLTS ASTM A307 OR A325 AS NOTED
- g. SMOOTH & THREADED ROD ASTM A36
- h. WELDING ELECTRODES AWS A5.1 RO A5.5, E70XX
- i. EXPANSION BOLTS ITW RAMSET / REDHEAD, TRU-BOLT, WEDGE ANCHOR, HILTI KWIK-BOLT II
- j. ADHESIVE ANCHORING SYSTEM ITW RAMSET/REDHEAD, EPOC SYSTEM, HILTI HVA SYSTEM OR APPROVED EQUAL
- k. PAINTED METAL FLOOR DECK ASTM A446
- l. PAINTED METAL ROOF DECK ASTM446

8. MASONRY:
- a. LOAD BEARING CONCRETE ASTM C90, TYPE I, GRADE N, HOLLOW MASONRY UNITS MIN. COMPRESSIVE STRENGTH ON NET AREA= 3000PSI.
- b. MORTAR ASTM C270-TYPE S
- c. GROUT ASTM C476-MIN. COMPRESSIVE STRENGTH @ 28 DAYS= 3000PSI.
- d. HORIZONTAL JOINT ASTM A82; 9 GAUGE TRUSS-TYPE REINFORCING GALV.
- e. PRISM STRENGTH Fm = 2000PSI. PER ACI 530/ASCE 5, UNIT STRENGTH METHOD, INSPECTION REQUIRED.

NOTE: SEE DETAILS FOR VERTICAL REINFORCEMENT

E. CONSTRUCTION:

1. GENERAL:

- a. REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
- b. SHOP DRAWINGS SUBMITTED FOR STRUCTURAL REVIEW SHALL CONSIST OF TWO SETS OF PRINTS AND ONE SET OF SEPIAS. ONLY ONE MARKED UP SET OF SEPIAS WITH THE STRUCTURAL ENGINEER'S COMMENTS WILL BE RETURNED TO THE CONTRACTOR.
- c. SUBMIT SHOP DRAWINGS AT LEAST 15 DAYS BEFORE DATE REVIEWED SUBMITTALS WILL BE NEEDED. SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT HE HAS VERIFIED ALL FIELD MEASUREMENTS, CONSTRUCTION CRITERIA, MATERIALS AND SIMILAR DATA AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- d. THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRAWINGS AND FOR THE SUPERIMPOSED LOADS INDICATED IN THE DESIGN DATA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, STAGINGS, BRACING, SHEETING AND SHORING, ETC.
- e. IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES, TEMPORARY SHORING, AND BRACING OF EXISTING CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- f. ALL COSTS OF INVESTIGATION AND/OR REDESIGN, DUE TO CONTRACTOR MISLOCATION OF STRUCTURAL ELEMENTS OR OTHER LACK OF CONFORMANCE WITH THE PROJECT DOCUMENTS, SHALL BE AT THE CONTRACTOR'S EXPENSE.
- g. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL PLUMBING, ELECTRICAL, AND FOOD SERVICE DRAWINGS FOR SIZE AND LOCATIONS OF OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PADS, INSERTS, AND DEPRESSIONS.
- h. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR DETAILED INFORMATION REGARDING FINISHES, FIREPROOFING, ETC.
- i. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MASONRY AND DRYWALL NON-LOAD BEARING PARTITIONS. PROVIDE SLIP CONNECTIONS THAT ALLOW VERTICAL MOVEMENT AT THE HEADS OF ALL SUCH PARTITIONS. CONNECTIONS ARE DESIGNED TO SUPPORT THE TOP OF THE WALLS LATERALLY FOR THE CODE-REQUIRED LATERAL LOAD. PROVIDE COMPRESSIBLE FIRESTOPPING AT TOP OF WALL AS REQUIRED BY ARCHITECTURAL DRAWINGS.

- j. THE CONTRACTOR SHALL SUBMIT, FOR REVIEW, DRAWINGS AND CALCULATIONS FOR ALL OF THE FOLLOWING ASSEMBLIES. THE DESIGN OF THESE ASSEMBLIES IS THE RESPONSIBILITY OF THE CONTRACTOR'S ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION. ALL SUBMITTALS SHALL BEAR THIS ENGINEER'S SEAL & SIGNATURE. REVIEW SHALL BE FOR GENERAL CONFORMANCE WITH THE PROJECT PARAMETERS AS INDICATED ON THE DRAWINGS AND IN THE GENERAL NOTES.

- (1) METAL STAIRS AND METAL RAILINGS: DESIGNS SHALL TAKE INTO ACCOUNT ALL VERTICAL AND LATERAL LOADS REQUIRED BY APPLICABLE BUILDING CODES. WHERE HEADERS OR OTHER TYPES OF STRUCTURAL MEMBERS HAVE BEEN DESIGNATED BY THE STRUCTURAL ENGINEER OF RECORD TO SUPPORT THE STAIRS, THE CONNECTIONS FROM THE STAIRS SHALL BE DESIGNED SO THAT NO ECCENTRIC OR TORSIONAL FORCES ARE INDUCED IN THESE STRUCTURAL MEMBERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING EMBEDS AND HARDWARE AS REQUIRED BY THE STAIR DESIGNER

- k. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE MOST RIGID REQUIREMENTS SHALL GOVERN.

- l. CONTRACTOR SHALL FURNISH DIMENSIONED SHOP DRAWINGS AT ALL LEVELS LOCATING FLOOR AND ROOF EDGES FOR REVIEW BY THE ARCHITECT AND STRUCTURAL ENGINEER.

- m. CONTRACTOR SHALL FURNISH DIMENSIONED COORDINATED SHOP DRAWINGS AT ALL LEVELS SHOWING THE LOCATIONS OF ALL SLEEVES AND OPENINGS REQUIRED BY ALL TRADES.

F. INSPECTION AND TESTING:

1. GENERAL:

- a. THE CONTRACTOR WILL NOTIFY FAIRFIELD TESTING LABORATORIES @ 203-336-5900 &/ OR ATLANTIC CONSULTING (SPECIAL INSPECTORS) TO PROVIDE SERVICES AS INDICATED BELOW. THE OWNER SHALL BEAR ALL EXPENSES OF THIS WORK.

- b. CAST-IN-PLACE CONCRETE:
- (1) THE SPECIAL INSPECTOR SHALL INSPECT THE FORMWORK AND REINFORCING STEEL PLACEMENT FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS AND SHOP DRAWINGS. THE SPECIAL INSPECTOR SHALL MONITOR ALL STRUCTURAL CONCRETE PLACEMENT FOR CONFORMANCE WITH APPLICABLE ACI REQUIREMENTS.
- (2) TESTING AGENCY SHALL SAMPLE FRESH CONCRETE IN ACCORDANCE WITH ASTM C172. MOLD TEST CYLINDERS IN ACCORDANCE WITH ASTM C31. MEASURE AIR ENTRAINMENT IN ACCORDANCE WITH ASTM C231 AND PERFORM SLUMP TESTS IN ACCORDANCE WITH C143.
- (3) COMPRESSION TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM C39.
- (4) THE AGENCY WILL MAKE ADDITIONAL TESTS OF IN-PLACE CONCRETE AT THE CONTRACTOR'S EXPENSE, AS DIRECTED BY THE STRUCTURAL ENGINEER, WHEN TEST RESULTS INDICATE SPECIFIED CONCRETE STRENGTHS HAVE NOT BEEN ATTAINED.

- c. MASONRY:
- (1) THE SPECIAL INSPECTOR SHALL MONITOR THE PROPORTIONING, MIXING AND CONSISTENCY OF MORTAR AND GROUT; THE PLACEMENT OF MORTAR, GROUT AND MASONRY UNITS; AND THE PLACEMENT OF REINFORCING STEEL FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- (2) TESTING AGENCY SHALL PERFORM COMPRESSION TEST MASONRY PRISMS FOR EACH TYPE OF WALL CONSTRUCTION IN ACCORDANCE WITH ASTM E447, METHOD B.
- (3) THE CONTRACTOR SHALL PREPARE ONE SET OF PRISMS FOR TESTING AT 7 DAYS AND ONE SET FOR TESTING AT 28 DAYS. TESTS ARE TO BE CONDUCTED BY THE AGENCY FOR EACH 3000 SQUARE FEET OF WALL INSTALLED, BUT NOT LESS THAN 2 TESTS.

- d. STRUCTURAL STEEL:
- (1) SPECIAL INSPECTOR SHALL VISUALLY INSPECT ALL FILLET WELDS, BOLTED CONNECTIONS AND SHEAR STUDS.
- (2) THE TESTING AGENCY SHALL MONITOR THE INSTALLATION OF BOLTS REQUIRING PRETENSIONING FOR CONFORMANCE WITH SPECIFIC PRE-CALIBRATED TIGHTENING PROCEDURES.
- (3) EACH FULL PENETRATION BUTT OR GROOVE WELD AND FIFTY PERCENT OF PARTIAL PENETRATION WELDS SHALL BE TESTED BY THE ULTRASONIC METHOD, AND MULTI-PASS WELDS SHALL BE TESTED BY THE MAGNETIC PARTICLE METHOD.
- (4) 10% OF ALL FIELD FILLET WELDS IN PRIMARY CONNECTIONS
- (5) TEST ANY WELD FOR WHICH VISUAL EXAMINATION INDICATES AN UNUSUAL CONDITION AND/OR POOR QUALITY.
- (6) WELDING INSPECTION AND TESTING PROCEDURES SHALL BE IN ACCORDANCE WITH THE AWS CODE.

G. FOUNDATIONS & STRUCTURAL EARTHWORK:

1. GENERAL:

- a. SEE THE SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS FOR EXCAVATION AND PREPARATION OF THE FOUNDATION AND SLAB-ON-GRADE SUBGRADE, INCLUDING COMPACTION PROCEDURES. REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT ARE PART OF THIS WORK.
- b. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM AS SHOWN PRIOR TO STARTING WORK.
- c. EXISTING UTILITIES KNOWN TO BE IN THE CONSTRUCTION AREA HAVE BEEN INDICATED. THE SIZE, LOCATION AND DEPTH OF THE UTILITIES ARE NOT KNOWN EXACTLY AND MAY VARY SIGNIFICANTLY FROM THAT INDICATED. OTHER UNKNOWN UTILITIES NOT INDICATED MAY ALSO BE PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES, WHETHER INDICATED OR NOT, WHICH MAY BE AFFECTED BY THE CONSTRUCTION PROCESS.

ABBREVIATIONS	
TOW	INDICATES TOP OF WALL ELEVATION
TOS	INDICATES TOP OF STEEL OR TOP OF SHELF ELEVATION
BOF	INDICATES BOTTOM FOOTING ELEVATION
SF	INDICATES FOOTING STEP. SEE TYPICAL DETAIL
F-"X"	INDICATES CONCRETE FOOTING.
CJ	INDICATES CONTROL OR CONSTRUCTION JOINT. SEE TYPICAL DETAIL

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TWO STORY SINGLE FAMILY DWELLING
BALASUBRAMANI RESIDENCE
34-1 OVERIDGE LANE
WILTON, CT

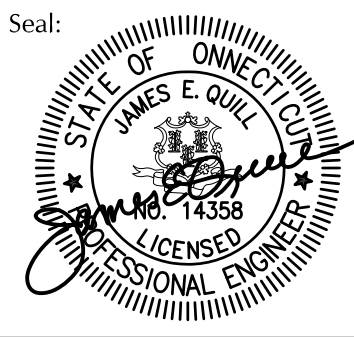
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Sheet Title:

STRUCTURAL NOTES

Scale:
AS NOTED

Sheet Number:

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