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April 7, 2022

**By E-mail and Hand Delivery**

Zoning Board of Appeals  
Town Hall Annex  
238 Danbury Road  
Wilton, CT 06897

Attn: Mr. Michael E. Wrinn – Director of Planning and Land Use Management

Re: Wilton Child Development Park, LLC – Application to Zoning Board of Appeals (22-03-05)  
Premises: 11 Grumman Hill Road, Wilton, Connecticut

Dear Mr. Chairman and Members of the Board:

I enclose the following material in support of Wilton Child Development Park, LLC's application for variance:

1. Application for Variance, Revised 04-07-22.
2. Zoning Location Survey, Proposed prepared by Ryan and Faulds Land Surveyors dated March 14, 2022 and revised March 29, 2022 (the "Survey").
3. Architectural Site Plan (AS-1) prepared by Doyle Coffin Architecture ("DCA") dated February 8, 2022 (Zoning Table Removed) as revised.

The Survey and AS-1 were revised to depict the new dimensions of the smaller ramp in response to the Board's comments. The resultant variance requests will be 13.5' from the front yard setback in lieu of the required 50' and to allow site coverage of 53.9% in lieu of the maximum 50%.

Zoning Board of Appeals  
April 7, 2022

If you have any questions, please contact me.

Respectfully submitted,  
Gregory and Adams, P.C.

*J. Casey Healy*  
By: \_\_\_\_\_  
J. Casey Healy

JCH/ko

Enclosures

cc: Ms. Lynn C. Hartigan – Wilton Child Development Park, LLC

Mr. John Doyle – Doyle Coffin Architecture

Mr. Chris Voight – Ryan and Faulds Land Surveyors

Susan Goldman, Esq.

Kathleen Royle, Esq.



\*\*\* REVISED\*\*\*  
WILTON ZONING BOARD OF APPEALS - COMMERCIAL VARIANCE APPLICATION - ZBA#

Please consult the Zoning Regulations when applying for a variance, particularly Section 29-13.

Please TYPE or print clearly... (See last 2 pages for brief explanation.)

Wilton Child Development Park, LLC		c/o Gregory and Adams, P.C.			
APPLICANT'S NAME		190 Old Ridgefield Road, Wilton, CT			
		ADDRESS			
Wilton Child Development Park, LLC		c/o Gregory and Adams, P.C.			
OWNER'S NAME		190 Old Ridgefield Road, Wilton, CT			
		ADDRESS			
11 Grumman Hill Road		DE-5			
PROPERTY LOCATION		ZONING DISTRICT			
4413	2543	74	68	21	0.85 acres
WLR MAP#	VOLUME	PAGE	TAX MAP #	LOT #	ACREAGE

**VARIANCE DESCRIPTION:** In the space below, please state concisely the section(s) of the Zoning Regulations proposed to be varied and the specific variance requested (i.e: Request a variance of Section 29-\_\_ to allow \_\_ (an addition, a pool, average lot width, or whatever) with \_\_ in lieu of the required \_\_. For instance, a variance request for a building addition that encroaches into the required fifty foot rear setback area by 7 feet would read as follows: "Request a variance of Section 29-5.D to allow a building addition with a 43 foot rear yard setback in lieu of the required 50 feet." ATTACH SEPARATE SHEETS AS REQUIRED.

- 1. Section 29-7.F.1 to allow the installation of dedking and ramps 13.5' from the front yard setback in lieu of the required 50'
- 2. Section 29-7.F.7 to allow site coverage of 53.9% in lieu of the maximum 50%.

**HARDSHIP DESCRIPTION:** In the space below, state the specific conditions pertaining to the perceived "exceptional difficulty or unusual hardship" with respect to the parcel of land, not generally encountered within the zoning district, which would make development in full accordance with the existing Zoning Regulations extremely difficult. ATTACH SEPARATE SHEETS AS REQUIRED.

See Statement of Hardship attached.



THE FOLLOWING MATERIALS ARE REQUIRED:

\* Please see SPECIAL INSTRUCTIONS DURING COVID at: [Application Forms / Materials | Wilton CT](#)  
\* All submitted plans and documents shall bear an original signature, seal, and license number of the professional responsible for preparing each item. Maps should be folded, not rolled.

- ☒ APPLICATION FORM
- ☒ A-2 SURVEY of the subject property showing all existing building and site conditions.
- ☒ SITE DEVELOPMENT PLAN showing all proposed additions, amendments and/or site improvements, including building elevations, septic systems, wells, and all measurements pertaining to the application, such as location and distance(s) of proposed structures and/or improvements from the subject property lines.
- ☒ LOCATION MAP - available here: [map.pdf \(wiltonct.org\)](#). Site location shall be identified on map.
- ☒ DIRECTIONS to subject property from Town Hall, 238 Danbury Road, Wilton, CT (e.g. hand-written, computer-generated or similar).
- ☒ LIST OF PREVIOUS ZONING VARIANCES - available here: [History of Previous Variances | Wilton CT](#)
- ☒ PHOTOGRAPHS of property showing building and site conditions from all geographic perspectives.
- ☒ ONE COPY OF DEED (Available in Town Clerk's Office)
- ☒ LIST OF OWNERS WITHIN 500' of any portion of the subject property as shown by Tax Map & Lot #.  
[See online GIS instructions at: [owner list 500 ft gis directions 0.pdf \(wiltonct.org\)](#)]
- ☒ ENVELOPES, addressed to each property owner within 500' of any portion of subject property.  
[See "Envelopes Instructions" at: [envelopes instructions.pdf \(wiltonct.org\)](#)]
- ☒ ELECTRONIC SUBMISSION of all materials (Consolidated into 1-2 PDFs Maximum), emailed to [michael.wrinn@wiltonct.org](mailto:michael.wrinn@wiltonct.org) and [daphne.white@wiltonct.org](mailto:daphne.white@wiltonct.org)
- ☒ TWO #10 (4"x 9.5") PLAIN ENVELOPES addressed to the applicant (No Return Address)
- ☒ \$460 FILING FEE payable to: Town of Wilton

IS THE SUBJECT PROPERTY LOCATED WITHIN 500 FEET OF THE MUNICIPAL BORDER? ☐ or ☒ no

IS THE SUBJECT PROPERTY LOCATED WITHIN THE PUBLIC WATER SUPPLY WATERSHED BOUNDARY?  
YES or ☒ NO [If YES, see DPH Addendum Form here: [watercompanyanddphnotification.pdf \(wiltonct.org\)](#)]

IS THE SUBJECT PROPERTY LOCATED IN THE FLOOD PLAIN? ☐ or ☒ no

WHEN WAS THE SUBJECT PROPERTY PURCHASED? October 2021

IN WHAT YEAR WAS THE MAIN STRUCTURE CONSTRUCTED? Bldg. A - 1755; Bldg. B - 1987

SITE COVERAGE PROPOSED: 53.9% BUILDING COVERAGE PROPOSED: 15.7%  
(AS PERCENTAGE OF SITE) (AS PERCENTAGE OF SITE)

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Board have been submitted.  
THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

Wilton Child Development Park, LLC by its Agent, Gregory and Adams, P.C.  
J. Healy 4/7/22 jhealy@gregoryandadams.com 203-762-9000  
APPLICANT'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE  
Wilton Child Development Park, LLC by its Agent, Gregory and Adams, P.C.  
J. Healy 4/7/22 jhealy@gregoryandadams.com 203-762-9000  
OWNER'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE



**Wilton Child Development Park, LLC**

**Application for Variance**

**Premises: 11 Grumman Hill Road, Wilton, Connecticut**

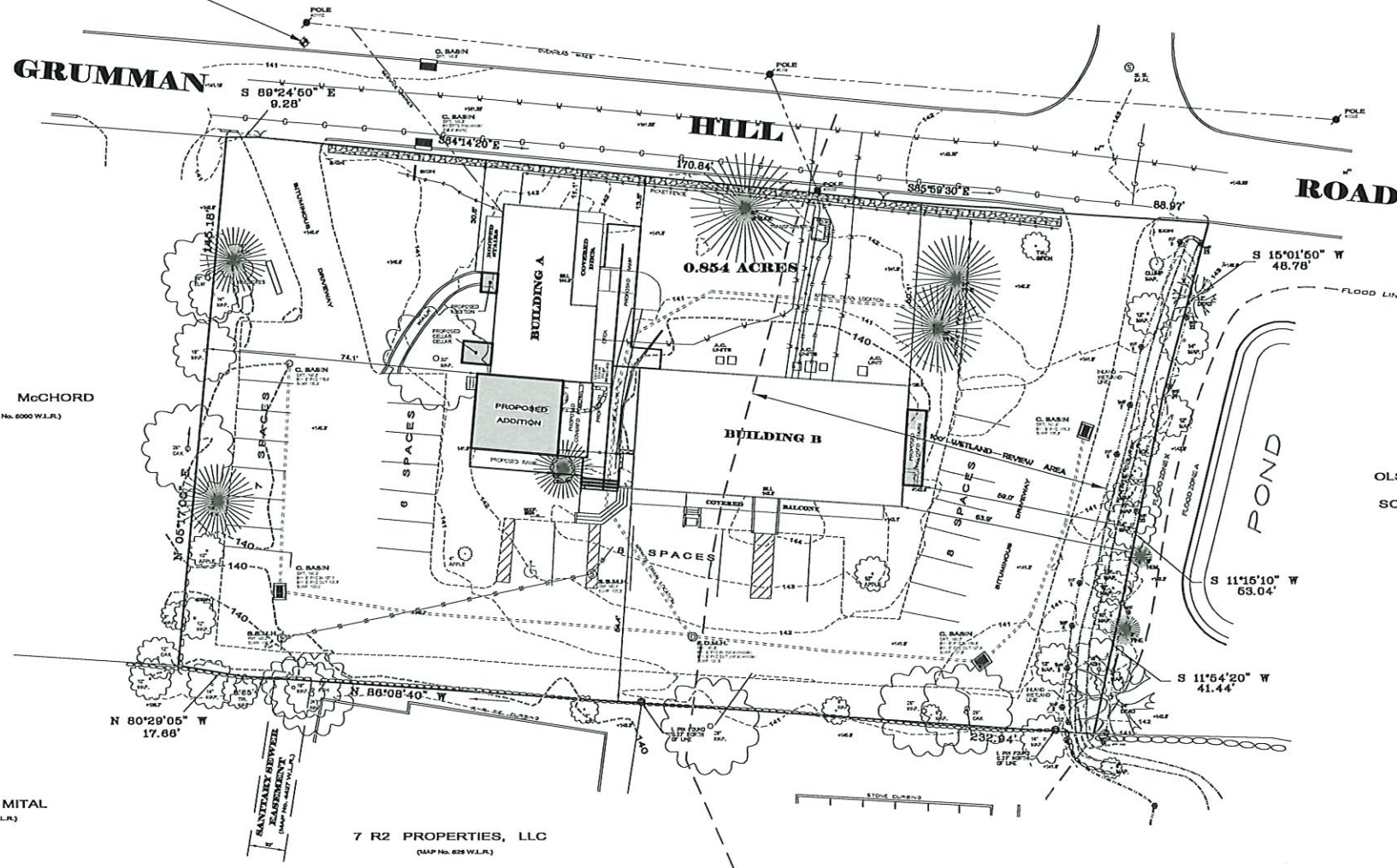
**Statement of Hardship**

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The Property is located in a DE-5 zone but is only 0.85 acres. The minimum acreage requirement in a DE-5 Zone is 5 acres. The property was created and developed prior to the adoption in 1946 of Zoning Regulations by the Town of Wilton. Applicant desires to preserve an historic building on the Property. The building was initially built in 1755 according to the Town of Wilton Assessor's Field Card. In order to provide safe access and statutorily compliant ingress and egress to the legally non-conforming 1755 structure, applicant is required to install ramps from the parking lot to the building. These ramps and decking will, in part, be located in the front yard setback and will also add to the extra site coverage. In addition, the site coverage is also proposed to increase slightly by the installation of a stairwell on a second structure on the premises, built in 1987, in order for the applicant to comply with a State of Connecticut Building Code requirement to have "an independent stairway or ramp directly from the room" serving as a Child Day Care Center that is located in whole or part below grade.



BENCHMARK  
TOP OF MAG NAIL  
ELEVATION 141.15'  
DATUM - NAVD 88



LEGEND	
	UTILITY POLE
	CATCH BASIN
	WATER VALVE
	GAS VALVE
	HANDICAPPED PARKING SPACE
	SIGN
	LIGHT POST
	HYDRANT
	DRAINAGE MANHOLE
	SANITARY SEWER MANHOLE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	OVERHEAD WIRES
	ELECTRIC (SUBSURFACE)
	CABLE (SUBSURFACE)
	WATER LINE (SUBSURFACE)
	GAS LINE (SUBSURFACE)
	SANITARY SEWER
	STORM SEWER

- NOTES:**
- This survey has been prepared in accordance with Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Zoning Location Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2, Vertical Accuracy V-2 and Topographic Accuracy Class T-2 and it is intended to be used for regulatory zoning review.
  - Area of parcel = 37,208 s.f. = 0.854 acres
  - Reference is made to Map No. 4413 of the Wilton Land Records.
  - Reference is made to Warranty Deed recorded in V. 2543, Pg. 74 of the Wilton Land Records.
  - Reference is made to Sanitary Sewer Easement recorded in V. 595, Pg. 134 of the Wilton Land Records.
  - Reference is made to Variance #87-09-57 dated September 15, 1987 recorded in V. 618, Pg. 288 of the Wilton Land Records.
  - Reference is made to Tax Assessor's Parcel 21, Map 68.
  - Property Located in Design Enterprise (DE-5) Zone.
  - Property located in Flood Zones A & X as depicted on Flood Insurance Rate Maps prepared by the Federal Emergency Management Agency. Reference is made to Community Panel No. 090020 391 F, dated June 18, 2010. Flood Lines depicted hereon have been transcribed from this mapping.
  - Inland wetlands delineated by Pfizer-Jahning Environmental Consulting, Ridgefield, Connecticut. Mary Jahning, Soil Scientist.
  - Subsurface utility locations delineated by AcuMark Utility Locating, LLC 80 Main St., Ellington, CT 06029 (860) 872-4638, and limited field measurements. Locations are to be considered approximate only. Additional utilities may exist on and around this site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field verified prior to excavation and/or construction. Call Before You Dig 1-800-922-4455.
  - Elevation Datum - NAVD 1988.
  - All monumentation, found or set, depicted hereon.
  - Proposed additions and improvements based upon architectural plans prepared by Doyle Coffin Architecture, Ridgefield, Connecticut.

ZONING TABLE - DE-5 ZONE

STANDARD	MIN.REQ./MAX.ALL	EXISTING	PROPOSED
<b>BUILDING REQUIREMENTS</b>			
MINIMUM LOT AREA	217,600 Sq. Ft.	37,208 Sq. Ft.	37,208 Sq. Ft.
MINIMUM WIDTH			
MINIMUM LOT FRONTAGE	150'	269.09'	269.09'
FRONT YARD - MINIMUM	50'	11.1'	13.5'
FRONT YARD - MAXIMUM	N/A	N/A	N/A
SIDE YARD - MINIMUM	50'	63.9'	59.0'
SIDE YARD (existing res. dist.)	100'	N/A	N/A
REAR YARD - MINIMUM	50'	54.4'	54.4'
REAR YARD (existing res. dist.)	100'	N/A	N/A
BUILDING HEIGHT - MAXIMUM	3 STORES/39 FEET	3 STORES/29.5 FEET	3 STORES/29.5 FEET
BUILDING COVERAGE - MAXIMUM	25%	11.6%	15.7%
SITE COVERAGE - MAXIMUM	30%	50.2%	53.6%
FLOOR AREA RATIO - MAXIMUM	N/A	N/A	N/A
<b>PARKING REQUIREMENTS</b>			
FRONT YARD - MINIMUM	50'	50.4'	50.4'
SIDE YARD - MINIMUM	25'	8.7' (SEE VARIANCE)	8.7' (SEE VARIANCE)
SIDE YARD (existing res. dist.)	75'	N/A	N/A
REAR YARD - MINIMUM	25'	7.4' (SEE VARIANCE)	7.4' (SEE VARIANCE)
REAR YARD (existing res. dist.)	75'	N/A	N/A
DAY CARE CENTER - 1/STAFF PLUS 1/10 ENROLLEES GENERAL BUSINESS OFFICE NON-MEDICAL - 1/300 Sq.Ft. (DATA FROM ACCESSORY RECORDS)	5 STAFF + 22 ENROLLEES = 8 SPACES 8,142 Sq.Ft./300 = 28 SPACES	28 SPACES (inc. 1 HOCP.)	28 SPACES (inc. 1 HOCP.)
TOTAL SPACES	38 SPACES		

REVISIONS	
DATE	DESCRIPTION
3-29-2022	PROPOSED RAMP REVISED

ZONING LOCATION SURVEY, PROPOSED  
11 GRUMMAN HILL ROAD  
PREPARED FOR  
**WILTON CHILD DEVELOPMENT PARK, LLC**  
WILTON, CONNECTICUT

MARCH 14, 2022

**Ryan and Faulds**  
LAND SURVEYORS | A Redniss & Mead Company

11 GRUMMAN HILL ROAD  
WILTON, CT 06097  
Ph. (203) 762-9492 ryanandfaulds.com

TO MY KNOWLEDGE AND BELIEF  
THIS MAP IS SUBSTANTIALLY  
CORRECT AS NOTED HEREON.

DOUGLAS H. FAULDS  
LAND SURVEYOR CONN. LIC. No. 13292

SCALE 1" = 20'

0' 20' 40'





# DOYLE|COFFIN ARCHITECTURE

Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut 06877  
203|431|6001  
203|431|9764 fax  
info@doylecoffinarchitecture.com  
doylecoffinarchitecture.com

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INTENDED FOR CONSTRUCTION. DO NOT START  
CONSTRUCTION WITHOUT A SEALED SET OF  
CONSTRUCTION DOCUMENTS FROM THE ARCHITECT.

## NOTES

## ALTERATIONS & ADDITIONS TO PRE-KINDERGARTEN FACILITY

11 GRUMMAN HILL ROAD  
WILTON, CT 06897

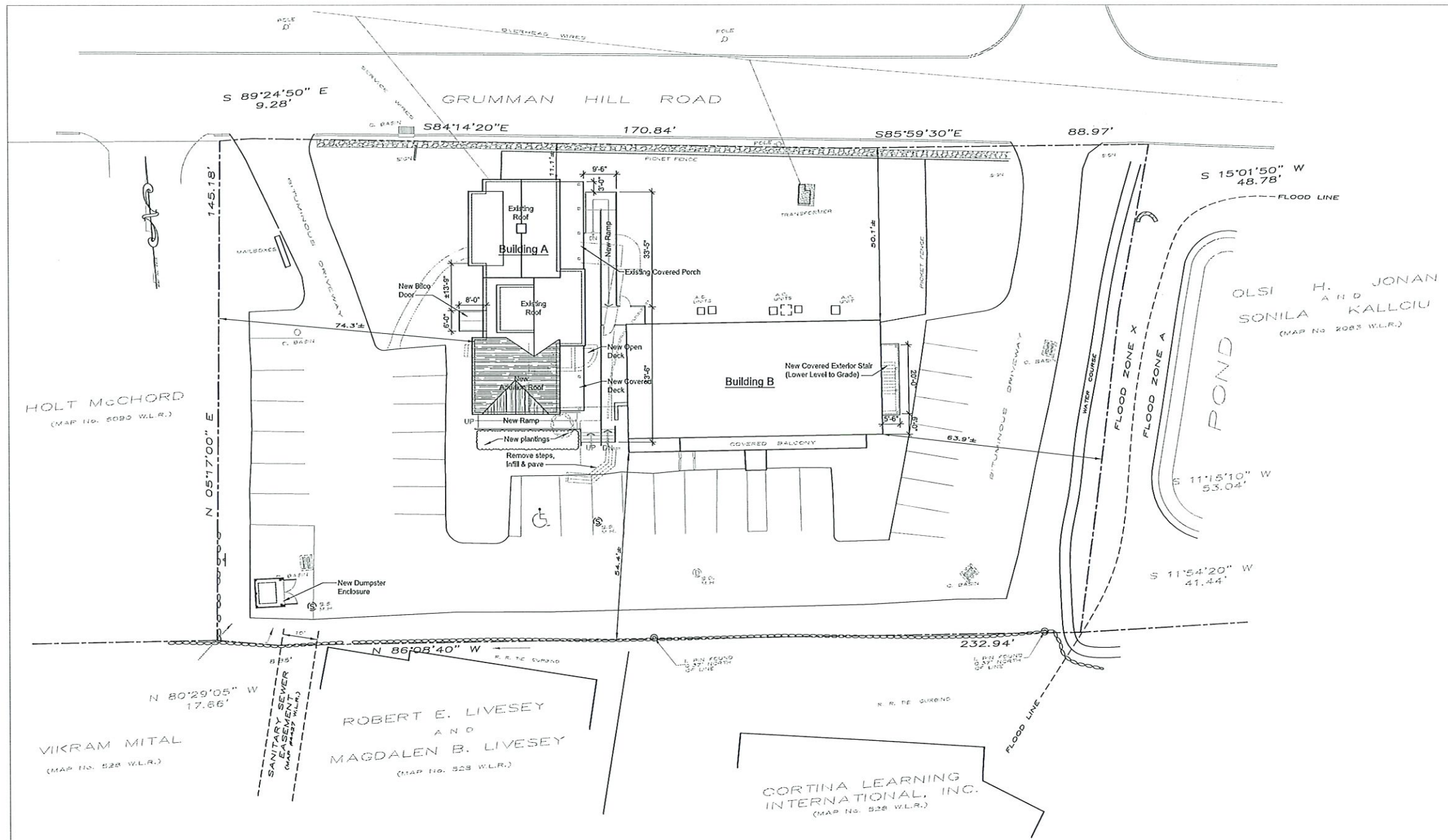
ISSUED	02/08/22
REVISIONS	

PRINCIPAL	JMD	P.A.	MLM
JOB NUMBER	979	SCALE	AS NOTED

## SCHEMATIC DESIGN ARCHITECTURAL SITE PLAN

© DOYLE COFFIN ARCHITECTURE, LLC 2022

SHEET	AS-1
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G1  
AS-1  
ARCHITECTURAL SITE PLAN - (PROPOSED)  
1/16" = 1'-0"

