

**GREGORY AND ADAMS, P.C.**

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(1929 - 2015)

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ROGER R. VALKENBURGH \*

\* ALSO ADMITTED IN NEW YORK  
\* ALSO ADMITTED IN VERMONT

WWW.GREGORYANDADAMS.COM

February 24, 2022

**By E-mail and Hand Delivery**

Zoning Board of Appeals  
Town Hall Annex  
238 Danbury Road  
Wilton, CT 06897  
Attn: Mr. Michael E. Wrinn – Director of Planning and Land Use Management

Re: Wilton Child Development Park, LLC – Application to Zoning Board of Appeals  
Premises: 11 Grumman Hill Road, Wilton, Connecticut

Dear Mr. Chairman and Members of the Board:

This firm represents the Wilton Child Development Park, LLC (“WCDP”), owner of the Premises. WCDP leases the Premises to The Center for Growth and Discovery, Inc. (“CGD”).

Founded in 2002, CDG's mission is to help children with an Autism diagnosis reach their fullest potential by implementing ABA therapy. Since its inception, CGD has helped hundreds of children and their families through customized programs designed to address the unique learning and behavior challenges of each individual child. In addition to the Autism services noted above, CGD also provides Child Day Care Center services, as such use is defined in the Wilton Zoning Regulations at Section 29-2.B.23, for the children of its staff as well as third parties.

As attorneys for WCDP and on behalf of CDG, I hereby submit this application for variances to allow (i) the installation of ramps and decking 11.1’ from the front yard setback in lieu of the required 50’ and (ii) site coverage of 54% in lieu of the maximum 50%.

In support of the application, I enclose one copy each of the following:

1. Application for Commercial Variance with Statement of Hardship attached.
2. Location Map.

Zoning Board of Appeals  
February 24, 2022

3. Property Survey and Topographic Survey prepared by Ryan and Faulds Land Surveyors dated December 14, 2021 and revised January 14, 2022.
4. Architectural Site Plan (AS-1) prepared by Doyle Coffin Architecture ("DCA") dated February 8, 2022.
5. First Floor Plan & Roof Plan (SD-1) prepared by DCA dated February 8, 2022.
6. Exterior Elevations (SD-2) prepared by DCA dated February 8, 2022.
7. List of Previous Zoning Variances.
8. List of Owners of Property located within 500' of the Premises.
9. Authorization letter signed by Wilton Child Development Park, LLC authorizing Gregory and Adams to act as its Agent in connection with this matter.
10. List of Project Professionals.
11. Photographs of the property showing building and site conditions from all geographic perspectives.
12. Warranty Deed by which WCDP acquired the title to the Premises, which Deed bears evidence of having been recorded on October 26, 2021 in Volume 2543 of the Wilton Land Records at Page 74.
13. Directions to the Premises downloaded from Mapquest.

I also enclose a check drawn to the order of the Town of Wilton in the amount of \$460.00 in payment of the filing fee.

If you have any questions, please contact me.

Respectfully submitted,  
Gregory and Adams, P.C.

*J. Casey Healy*

By: \_\_\_\_\_  
J. Casey Healy

JCH/ko

Enclosures

cc: Ms. Lynn C. Hartigan – Wilton Child Development Park, LLC

Mr. John Doyle – Doyle Coffin Architecture

Mr. Douglas Faulds – Ryan and Faulds Land Surveyors

Susan Goldman, Esq.

Kathleen Royle, Esq.



WILTON ZONING BOARD OF APPEALS - COMMERCIAL VARIANCE APPLICATION - ZBA#

Please consult the Zoning Regulations when applying for a variance, particularly Section 29-13.

Please TYPE or print clearly... (See last 2 pages for brief explanation.)

|                                    |        |                                     |           |       |            |
|------------------------------------|--------|-------------------------------------|-----------|-------|------------|
| Wilton Child Development Park, LLC |        | c/o Gregory and Adams, P.C.         |           |       |            |
|                                    |        | 190 Old Ridgefield Road, Wilton, CT |           |       |            |
| APPLICANT'S NAME                   |        | ADDRESS                             |           |       |            |
| Wilton Child Development Park, LLC |        | c/o Gregory and Adams, P.C.         |           |       |            |
|                                    |        | 190 Old Ridgefield Road, Wilton, CT |           |       |            |
| OWNER'S NAME                       |        | ADDRESS                             |           |       |            |
| 11 Grumman Hill Road               |        | DE-5                                |           |       |            |
| PROPERTY LOCATION                  |        | ZONING DISTRICT                     |           |       |            |
| 4413                               | 2543   | 74                                  | 68        | 21    | 0.85 acres |
| WLR MAP#                           | VOLUME | PAGE                                | TAX MAP # | LOT # | ACREAGE    |

**VARIANCE DESCRIPTION:** In the space below, please state concisely the section(s) of the Zoning Regulations proposed to be varied and the specific variance requested (i.e: Request a variance of Section 29-\_\_ to allow \_\_\_\_ (an addition, a pool, average lot width, or whatever) with \_\_\_\_ in lieu of the required \_\_\_\_\_. For instance, a variance request for a building addition that encroaches into the required fifty foot rear setback area by 7 feet would read as follows: "Request a variance of Section 29-5.D to allow a building addition with a 43 foot rear yard setback in lieu of the required 50 feet." ATTACH SEPARATE SHEETS AS REQUIRED.

- 1. Section 29-7.F.1 to allow the installation of decking and ramps 11.1' from the front yard setback in lieu of the required 50'
- 2. Section 29-7.F.7 to allow site coverage of 54% in lieu of the maximum 50%.

**HARDSHIP DESCRIPTION:** In the space below, state the specific conditions pertaining to the perceived "exceptional difficulty or unusual hardship" with respect to the parcel of land, not generally encountered within the zoning district, which would make development in full accordance with the existing Zoning Regulations extremely difficult. ATTACH SEPARATE SHEETS AS REQUIRED.

See Statement of Hardship Attached.



THE FOLLOWING MATERIALS ARE REQUIRED:

- \* Please see SPECIAL INSTRUCTIONS DURING COVID at: [Application Forms / Materials | Wilton CT](#)

\* All submitted plans and documents shall bear an original signature, seal, and license number of the professional responsible for preparing each item. Maps should be folded, not rolled.

- ☒

APPLICATION FORM
- ☒

A-2 SURVEY of the subject property showing all existing building and site conditions.
- ☒

SITE DEVELOPMENT PLAN showing all proposed additions, amendments and/or site improvements, including building elevations, septic systems, wells, and all measurements pertaining to the application, such as location and distance(s) of proposed structures and/or improvements from the subject property lines.
- ☒

LOCATION MAP - available here: [map.pdf \(wiltonct.org\)](#). Site location shall be identified on map.
- ☒

DIRECTIONS to subject property from Town Hall, 238 Danbury Road, Wilton, CT (e.g. hand-written, computer-generated or similar).
- ☒

LIST OF PREVIOUS ZONING VARIANCES – available here: [History of Previous Variances | Wilton CT](#)
- ☒

PHOTOGRAPHS of property showing building and site conditions from all geographic perspectives.
- ☒

ONE COPY OF DEED (Available in Town Clerk’s Office)
- ☒

LIST OF OWNERS WITHIN 500' of any portion of the subject property as shown by Tax Map & Lot #.  
[See online GIS instructions at: [owner list 500 ft gis directions 0.pdf \(wiltonct.org\)](#)]
- ☒

ENVELOPES, addressed to each property owner within 500’ of any portion of subject property.  
[See “Envelopes Instructions” at: [envelopes instructions.pdf \(wiltonct.org\)](#)]
- ☒

ELECTRONIC SUBMISSION of all materials (Consolidated into 1-2 PDFs Maximum), emailed to [michael.wrinn@wiltonct.org](mailto:michael.wrinn@wiltonct.org) and [daphne.white@wiltonct.org](mailto:daphne.white@wiltonct.org)
- ☐

TWO #10 (4”x 9.5”) PLAIN ENVELOPES addressed to the applicant (No Return Address)
- ☒

\$460 FILING FEE payable to: Town of Wilton

IS THE SUBJECT PROPERTY LOCATED WITHIN 500 FEET OF THE MUNICIPAL BORDER? ☐ or ☒ No

IS THE SUBJECT PROPERTY LOCATED WITHIN THE PUBLIC WATER SUPPLY WATERSHED BOUNDARY?  
YES or ☒ NO [If YES, see DPH Addendum Form here: [watercompanyanddphnotification.pdf \(wiltonct.org\)](#)]

IS THE SUBJECT PROPERTY LOCATED IN THE FLOOD PLAIN? ☐ or ☒ No

WHEN WAS THE SUBJECT PROPERTY PURCHASED? October 2021

IN WHAT YEAR WAS THE MAIN STRUCTURE CONSTRUCTED? Bldg. A - 1755; Bldg. B - 1987

SITE COVERAGE PROPOSED: 54%  
(AS PERCENTAGE OF SITE)

BUILDING COVERAGE PROPOSED: 15.7%  
(AS PERCENTAGE OF SITE)

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Board have been submitted.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.

Wilton Child Development Park, LLC by its Agent, Gregory and Adams, P.C.

By: J. Casey Healy 1/6 2/24/22 jhealy@gregoryandadams.com 203-762-9000

APPLICANT'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE

Wilton Child Development Park, LLC by its Agent, Gregory and Adams, P.C.

By: J. Casey Healy 1/6 2/24/22 jhealy@gregoryandadams.com 203-762-9000

OWNER'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE



**Wilton Child Development Park, LLC**

**Application for Variance**

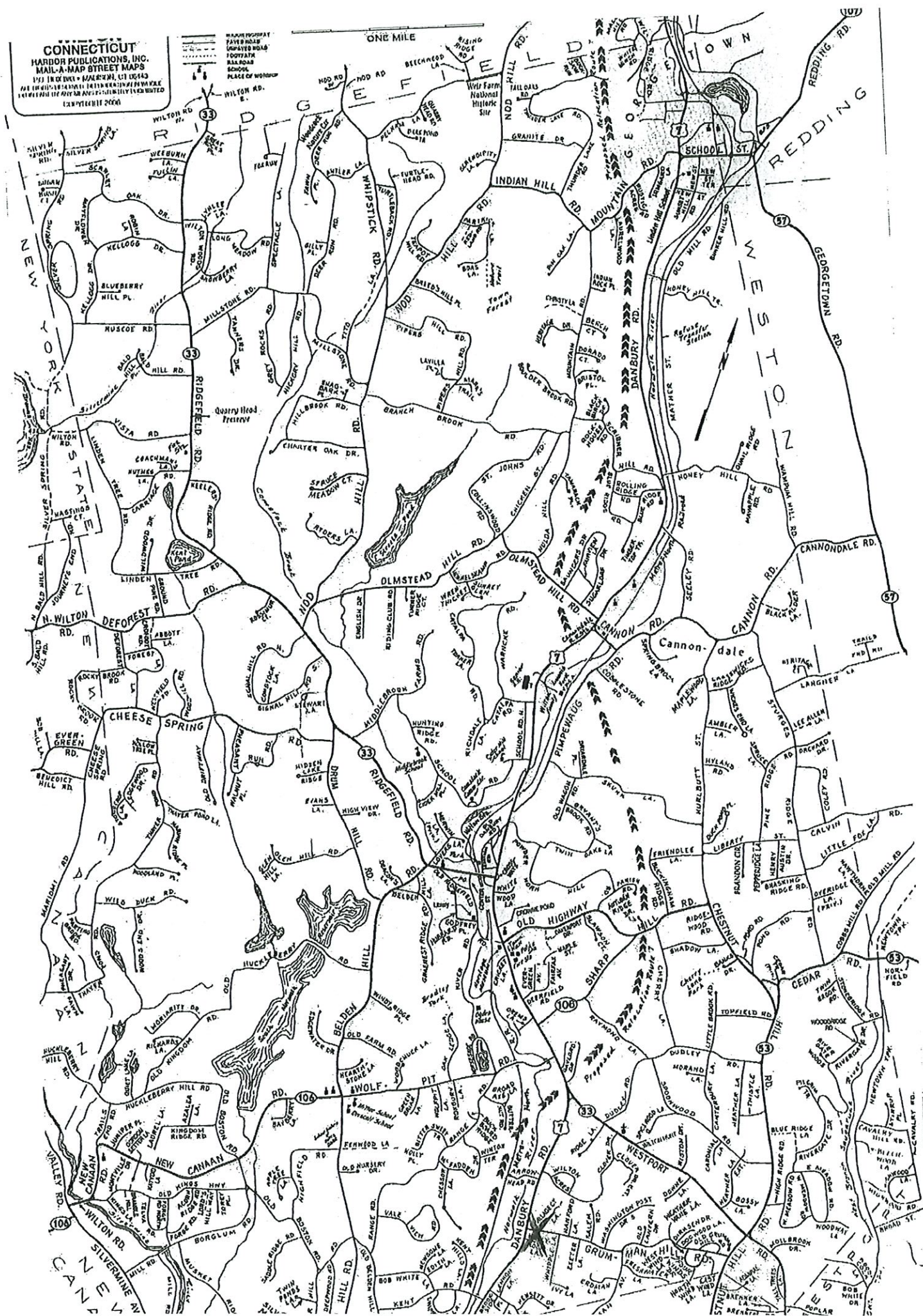
**Premises: 11 Grumman Hill Road, Wilton, Connecticut**

**Statement of Hardship**

---

The Property is located in a DE-5 zone but is only 0.85 acres. The minimum acreage requirement in a DE-5 Zone is 5 acres. The property was created and developed prior to the adoption in 1946 of Zoning Regulations by the Town of Wilton. Applicant desires to preserve an historic building on the Property. The building was initially built in 1755 according to the Town of Wilton Assessor's Field Card. In order to provide safe access and statutorily compliant ingress and egress to the legally non-conforming 1755 structure, applicant is required to install ramps from the parking lot to the building. These ramps and decking will, in part, be located in the front yard setback and will also add to the extra site coverage. In addition, the site coverage is also proposed to increase slightly by the installation of a stairwell on a second structure on the premises, built in 1987, in order for the applicant to comply with a State of Connecticut Building Code requirement to have "an independent stairway or ramp directly from the room" serving as a Child Day Care Center that is located in whole or part below grade.







MAP No. 4413

BENCHMARK  
TOP OF MAG NAIL  
ELEVATION 141.15'  
DATUM - NAVD 88

GRUMMAN HILL

0.854 ACRES

RESIDENCE AND OFFICE  
OFFICE BUILDING

ROAD

POND

HOLT McCHORD  
(MAP No. 6000 W.L.R.)

OLSI H. JONAN AND  
SONILA KALLCIU  
(MAP No. 2083 W.L.R.)

VIKRAM MITAL  
(MAP No. 625 W.L.R.)

7 R2 PROPERTIES, LLC  
(MAP No. 628 W.L.R.)

FUJII PROPERTIES, LLC  
(MAP No. 638 W.L.R.)

LEGEND

- UTILITY POLE
- CATCH BASIN
- WATER VALVE
- GAS VALVE
- HANDICAPPED PARKING SPACE
- SIGN
- LIGHT POST
- HYDRANT
- DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- OVERHEAD WIRE
- ELECTRIC (SUBSURFACE)
- CABLE (SUBSURFACE)
- WATER LINE (SUBSURFACE)
- GAS LINE (SUBSURFACE)
- SANITARY SEWER
- STORM SEWER

NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property and Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2, Vertical Accuracy V-2 and Topographic Accuracy Class T-2 and it is intended to depict property boundaries and improvements.
- Area of parcel = 37,208 s.f. = 0.854 acres
- Reference is made to Map No. 4413 of the Wilton Land Records.
- Reference is made to Warranty Deed recorded in V. 2543, Pg. 74 of the Wilton Land Records.
- Reference is made to Sanitary Sewer Easement recorded in V. 695, Pg. 134 of the Wilton Land Records.
- Reference is made to Variance #97-09-57 dated September 15, 1987 recorded in V. 618, Pg. 288 of the Wilton Land Records.
- Reference is made to Tax Assessor's Parcel 21, Map 68.
- Property Located in Design Enterprise (DE-5) Zone.
- Property located in Flood Zones A & X as depicted on Flood Insurance Rate Maps prepared by the Federal Emergency Management Agency. Reference is made to Community Panel No. 090020 391 F, dated June 18, 2010. Flood Lines depicted hereon have been transcribed from this mapping.
- Inland wetlands delineated by Pfizer-Jahng Environmental Consulting, Ridgefield, Connecticut. Mary Jahng, Soil Scientist.
- Subsurface utility locations delineated by AcuMark Utility Locating, LLC 80 Main St., Ellington, CT 06029 (860) 872-4638, and limited field measurements. Locations are to be considered approximate only. Additional utilities may exist on and around this site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field verified prior to excavation and/or construction. Call Before You Dig 1-800-922-4455.
- Elevation Datum - NAVD 1988.
- All monumentation, found or set, depicted hereon.

ZONING TABLE - DE-5 ZONE

| STANDARD                                   | MIN.REQ./MAX.ALL           | EXISTING                 |
|--|----------------------------|--------------------------|
| BUILDING REQUIREMENTS                      |                            |                          |
| MINIMUM LOT AREA                           | 217,600 Sq. Ft.            | 37,208 Sq. Ft.           |
| MINIMUM WIDTH                              | 150'                       | 259.09'                  |
| MINIMUM LOT FRONTAGE                       | 50'                        | 11.1'                    |
| FRONT YARD - MINIMUM                       | 50'                        | 63.9'                    |
| FRONT YARD - MAXIMUM                       | 50'                        | 63.9'                    |
| SIDE YARD - MINIMUM                        | 100'                       | 24.4'                    |
| SIDE YARD (abutting res. dist.)            | 50'                        | 24.4'                    |
| REAR YARD - MINIMUM                        | 100'                       | 24.4'                    |
| REAR YARD (abutting res. dist.)            | 50'                        | 24.4'                    |
| BUILDING HEIGHT - MAXIMUM                  | 3 STORES/39 FEET           | 3 STORES/39.5 FEET       |
| BUILDING COVERAGE - MAXIMUM                | 25%                        | 11.8%                    |
| SITE COVERAGE - MAXIMUM                    | 50%                        | 50.2%                    |
| FLOOR AREA RATIO - MAXIMUM                 |                            |                          |
| PARKING REQUIREMENTS                       |                            |                          |
| FRONT YARD - MINIMUM                       | 50'                        | 50.4'                    |
| SIDE YARD - MINIMUM                        | 25'                        | 8.7' (SEE VARIANCE)      |
| SIDE YARD (abutting res. dist.)            | 75'                        | 7.4' (SEE VARIANCE)      |
| REAR YARD - MINIMUM                        | 25'                        | 7.4' (SEE VARIANCE)      |
| REAR YARD (abutting res. dist.)            | 75'                        | 7.4' (SEE VARIANCE)      |
| PROFESSIONAL OFFICE SPACES - 1/300 Sq. Ft. | 9,034/300 = 30 SPACES      |                          |
| RESIDENCE SPACES - 2/DWELLING UNIT         | 1 DWELLING UNIT = 2 SPACES |                          |
| TOTAL SPACES                               | 32 SPACES                  | 29 SPACES (INC. 1 HOCP.) |

| REVISIONS     |                          |
|---------------|--------------------------|
| DATE          | DESCRIPTION              |
| JAN. 14, 2022 | CATCH BASIN INVERT ADDED |
|               |                          |
|               |                          |
|               |                          |
|               |                          |
|               |                          |

PROPERTY SURVEY and  
TOPOGRAPHIC SURVEY  
PREPARED FOR  
**WILTON CHILD  
DEVELOPMENT PARK, LLC**  
WILTON, CONNECTICUT

DECEMBER 14, 2021

**Ryan and Faulds**  
LAND SURVEYORS | A Redniss & Mead Company

11 GRUMMAN HILL ROAD  
WILTON, CT 06897  
Ph. (203) 762-9492 ryanandfaulds.com

TO MY KNOWLEDGE AND BELIEF  
THIS MAP IS SUBSTANTIALLY  
CORRECT AS NOTED HEREON.

*DR*

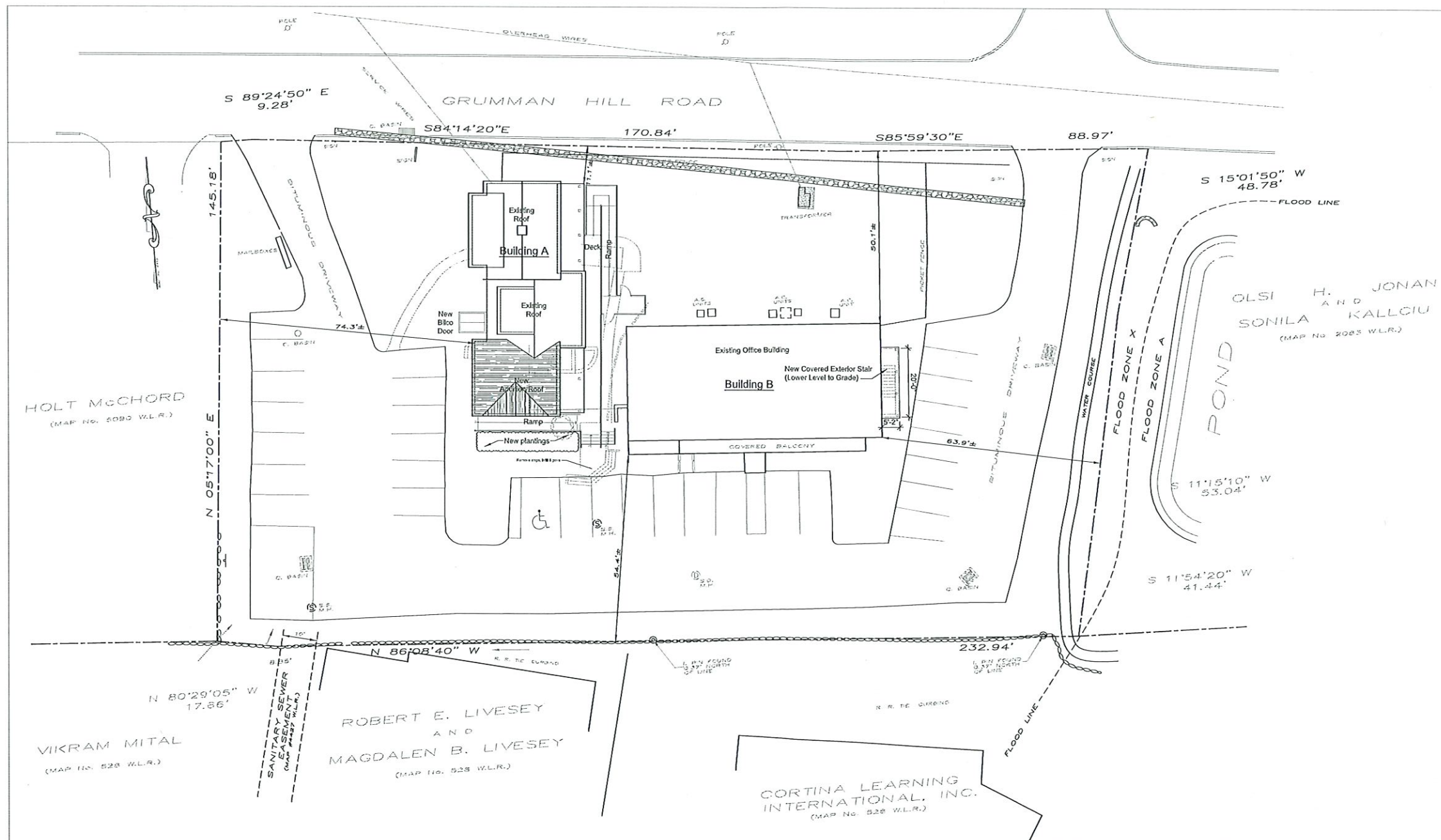
DOUGLAS R. FAULDS  
LAND SURVEYOR - CONN. LIC. No. 13292

SCALE 1" = 20'



# ZONING TABLE — DE-5 ZONE

| STANDARD                        | MIN.REQ./MAX.ALL.         | EXISTING           | PROPOSED   |
|---------------------------------|---------------------------|--------------------|--|
| <b>BUILDING REQUIREMENTS</b>    |                           |                    |  |
| MINIMUM LOT AREA                | 217,600 Sq. Ft. (5 ACRES) | 37,208 Sq. Ft.     | 37,208 Sq. Ft.   |
| MINIMUM WIDTH                   | —                         | —                  | —  |
| MINIMUM LOT FRONTAGE            | 150'                      | 269'               | 269'   |
| FRONT YARD — MINIMUM            | 50'                       | 11.1'              | 11.1'  |
| FRONT YARD — MAXIMUM            | —                         | —                  | —  |
| SIDE YARD — MINIMUM             | 50'                       | 63.9'              | 63.9'  |
| SIDE YARD (abutting res. dist.) | 100'                      | —                  | —  |
| REAR YARD — MINIMUM             | 50'                       | 54.4'              | 54.4'  |
| REAR YARD (abutting res. dist.) | 100'                      | —                  | —  |
| BUILDING HEIGHT — MAXIMUM       | 3 STORES/39 FEET          | 3 STORES/29.5 FEET | 3 STORES/29.5 FEET   |
|                                 |                           |                    | Proposed Ramps, deck, porch, steps +871.5 SF = 2.3%                              |
|                                 |                           |                    | Proposed Addition — Building A (demo existing addition) Net added +453 SF = 1.2% |
|                                 |                           |                    | Proposed Addition — Building B Proposed Exterior Stair +100 SF = 0.3%            |
|                                 |                           |                    | Total Proposed Building Coverage = 15.6%   |
|                                 |                           |                    | Total Proposed Site Coverage = 54.6%   |
| BUILDING COVERAGE — MAXIMUM     | 25%                       | 11.9%              | —  |
| SITE COVERAGE — MAXIMUM         | 50%                       | 50.2%              | —  |



G1  
AS-1  
ARCHITECTURAL SITE PLAN - (PROPOSED)  
1/16" = 1'-0"



**DOYLE|COFFIN**  
ARCHITECTURE

Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut 06877  
203|431|6001  
203|431|9764 fax  
info@doylecoffinarchitecture.com  
doylecoffinarchitecture.com

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NOTES

**ALTERATIONS & ADDITIONS TO  
PRE-KINDERGARTEN  
FACILITY**

11 GRUMMAN HILL ROAD  
WILTON, CT 06897

|           |          |
|-----------|----------|
| ISSUED    | 02/08/22 |
| REVISIONS |          |

|            |     |       |          |
|------------|-----|-------|----------|
| PRINCIPAL  | JMD | P.A.  | MLM      |
| JOB NUMBER | 979 | SCALE | AS NOTED |

**SCHEMATIC DESIGN  
ARCHITECTURAL  
SITE PLAN**

© DOYLE COFFIN ARCHITECTURE, LLC 2022

SHEET  
**AS-1**





DOYLE|COFFIN  
ARCHITECTURE

Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut 06877  
203|431|6001  
203|431|9764 fax  
info@doylecoffinarchitecture.com  
doylecoffinarchitecture.com

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FACILITY

11 CRUMMAN HILL ROAD  
WILTON, CT 06897

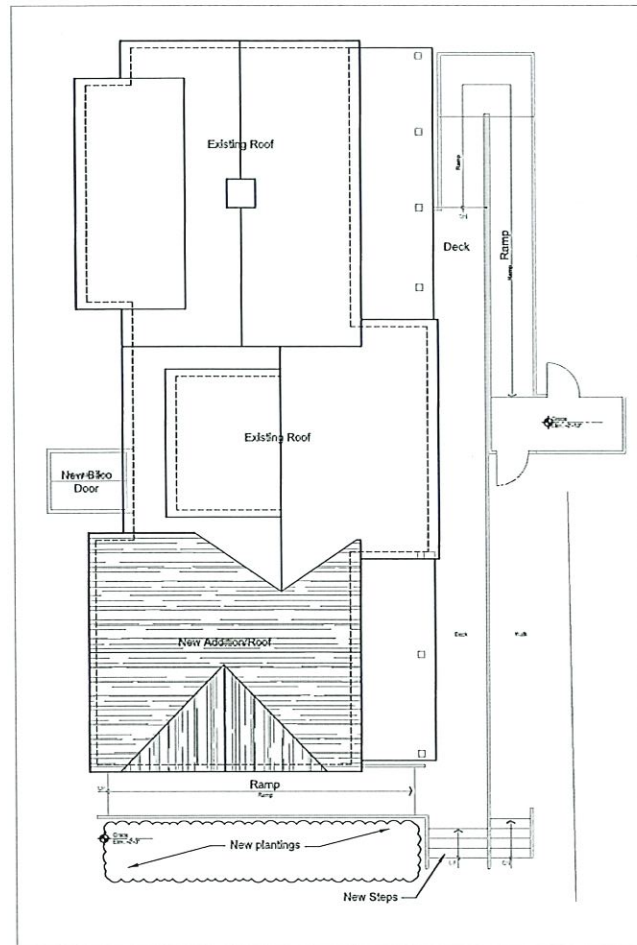
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| REVISIONS |          |

|            |     |       |          |
|------------|-----|-------|----------|
| PRINCIPAL  | JMD | P.A.  | MLM      |
| JOB NUMBER | 979 | SCALE | AS NOTED |

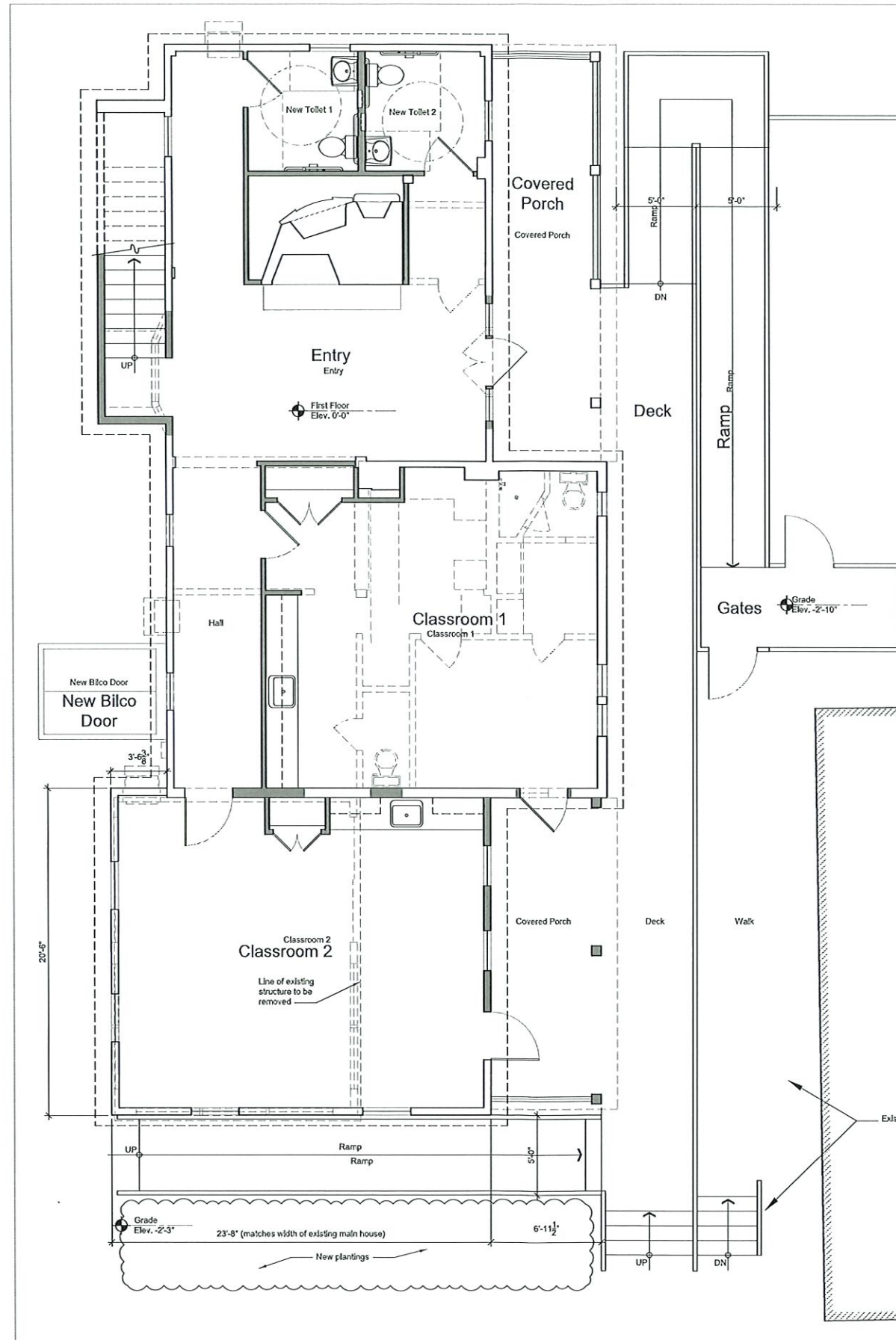
SCHEMATIC DESIGN  
FIRST FLOOR  
PLAN & ROOF  
PLAN

© DOYLE COFFIN ARCHITECTURE, LLC 2022

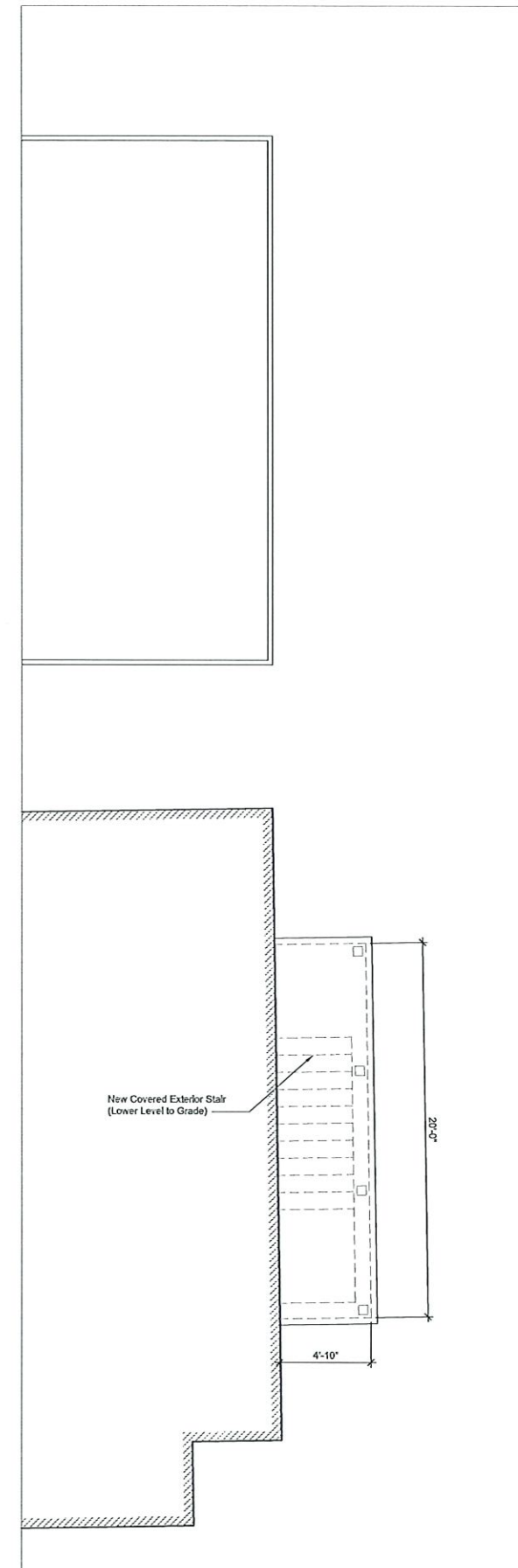
|       |
|-------|
| SHEET |
| SD-1  |



H1  
SD-1  
ROOF PLAN - (PROPOSED)  
1/8" = 1'-0"



H1  
AS-1  
FIRST FLOOR PLAN - (PROPOSED)  
1/16" = 1'-0"



H1  
AS-1  
FIRST FLOOR PLAN - (PROPOSED)  
1/16" = 1'-0"



DOYLE|COFFIN  
ARCHITECTURE

Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut 06877  
203|431|6001  
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ALTERATIONS &  
ADDITIONS TO  
PRE-KINDERGARTEN  
FACILITY

11 CRUMMAN HILL ROAD  
WILTON, CT 06897

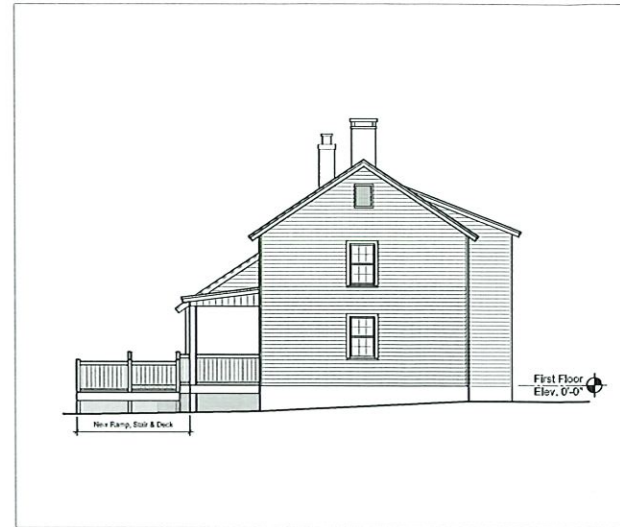
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|---------------------|----------|
| ISSUED<br>REVISIONS | 02/08/22 |
|---------------------|----------|

|            |     |       |          |
|------------|-----|-------|----------|
| PRINCIPAL  | JVD | P.A.  | MLM      |
| JOB NUMBER | 979 | SCALE | AS NOTED |

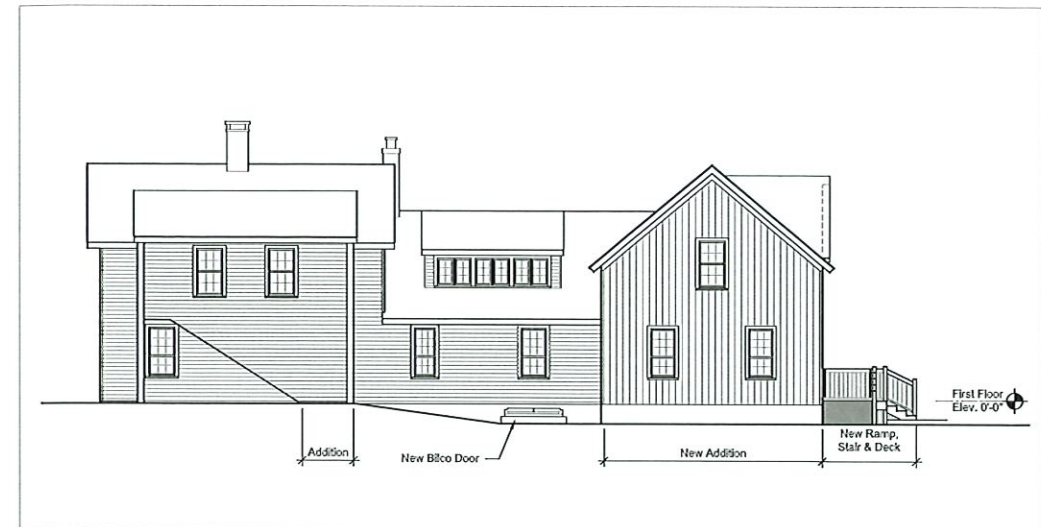
SCHEMATIC DESIGN  
EXTERIOR  
ELEVATIONS

© DOYLE COFFIN ARCHITECTURE, LLC 2022

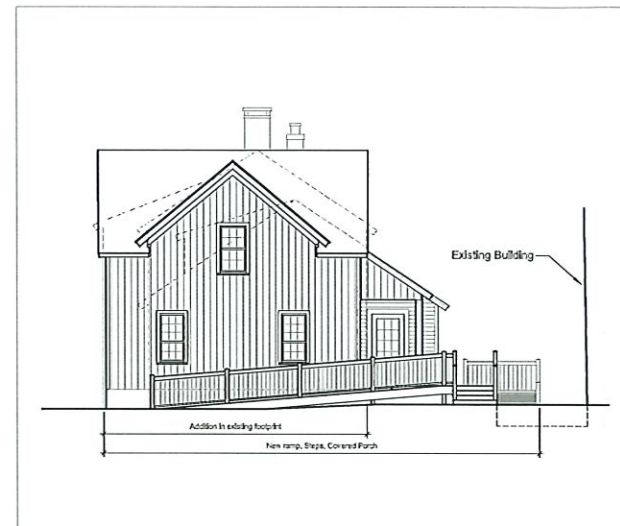
|       |      |
|-------|------|
| SHEET | SD-2 |
|-------|------|



C4  
SD-2  
NORTH ELEVATION  
1/8" = 1'-0"



C7  
SD-2  
WEST ELEVATION  
1/8" = 1'-0"



F1  
SD-2  
SOUTH ELEVATION  
1/8" = 1'-0"



F4  
SD-2  
EAST ELEVATION  
1/8" = 1'-0"



**Wilton Child Development Park, LLC**

**Application for Variance**

**Premises: 11 Grumman Hill Road, Wilton, Connecticut**

**List of Previous Zoning Variances**

---

- |              |  |
|--------------|--|
| 1. #87-09-57 | To permit parking with a side yard setback of 5' and a rear yard setback of 2' in lieu of 25'  |
|              | Granted  |
| 2. #87-06-42 | To permit parking setback of 5' at west side yard setback in lieu of 25' and parking setback of 5' for the southwest corner of the rear yard setback in lieu of 25'; and a variance to allow total site coverage of 54.06% in lieu of 50%. |
|              | Denied.  |

Wilton Child Development Park, LLC

Application for Variance

Premises: 11 Grumman Hill Road, Wilton, Connecticut  
(Assessor’s Map #68 - Lot #21)

Property Owners Within 500 Feet of the Premises

| Map /<br>Lot Number | Owner Name<br>Property Address  | Mailing Address<br>(if different)         |
|---------------------|---|---|
| 68-14               | Sari L. Weatherwax<br>19 Whipple Road<br>Wilton, CT 06897   |   |
| 68-15               | Michael Murin<br>Jennifer R. Stivrins<br>15 Whipple Road<br>Wilton, CT 06897                        |   |
| 68-17               | Brandon Cropley Mulvihill<br>Katherine Ashley Mulvihill<br>39 Grumman Hill Road<br>Wilton, CT 06897 |   |
| 68-18               | Soyon Yun<br>Yong Soo<br>27 Grumman Hill Road<br>Wilton, CT 06897                                   |   |
| 68-20               | Olsi H. Jonan<br>Sonila Kallciu<br>21 Grumman Hill Road<br>Wilton, CT 06897                         |   |
| 68-22               | Holt McChord<br>1 Grumman Hill Road<br>Wilton, CT 06897   |   |
| 68-23               | Trofa Property Development LLC<br>70 Danbury Road<br>Wilton, CT 06897                               | 236 Colonial Drive<br>Fairfield, CT 06824 |
| 68-24               | Trofa Property Development LLC<br>3 Hollyhock Road<br>Wilton, CT 06897                              | 236 Colonial Drive<br>Fairfield, CT 06824 |
| 68-25               | Vikram Mital<br>5 Hollyhock Lane<br>Wilton, CT 06897  |   |



|          |  |   |
|----------|--|---|
| 68-26    | 7 R2 Properties LLC<br>7 Hollyhock Road<br>Wilton, CT 06897                |   |
| 68-27    | Fujii Properties LLC<br>9 Hollyhock Road<br>Wilton, CT 06897               | 9 Clubhouse Circle<br>Darien, CT 06820                                      |
| 68-29    | Hollyhock Associates LLC<br>6 Hollyhock Road<br>Wilton, CT 06897           | 10 Cliff Avenue<br>Darien, CT 06820   |
| 68-30    | Clark Holdings LLC<br>2 Hollyhock Road<br>Wilton, CT 06897                 | 245 Newtown Turnpike<br>Weston, CT 06883                                    |
| 68-33-50 | Wilton 50 Danbury Road Owner<br>LLC<br>50 Danbury Road<br>Wilton, CT 06897 | 280 Park Avenue, 5 <sup>th</sup> Floor<br>New York, NY 10017                |
| 68-33-60 | Wilton Medical Realty LLC<br>60 Danbury Road<br>Wilton, CT 06897           | c/o Constitution Surgery Alliance<br>100 Avon Meadow Lane<br>Avon, CT 06001 |
| 68-33-64 | Wilton 64 Danbury Road Owner<br>LLC<br>64 Danbury Road<br>Wilton, CT 06897 | 280 Park Avenue, 5 <sup>th</sup> Floor<br>New York, NY 10017                |
| 68-36-A  | Wilton Project LLC<br>65 Danbury Road<br>Wilton, CT 06897                  | Metro Center<br>One Station Place<br>Stamford CT 06902                      |
| 68-36-B  | Wilton Properties RSK LLC<br>59 Danbury Road<br>Wilton, CT 06897           | 470 Wes Avenue, Suite 2007<br>Stamford, CT 06902                            |
| 68-36-C  | Wilton Project LLC<br>Danbury Road<br>Wilton, CT 06897                     | Metro Center<br>One Station Place<br>Stamford, CT 06902                     |
| 69-18    | ASML US LLC<br>77 Danbury Road<br>Wilton, CT 06897                         | 6115 Camp Bowie #152<br>Fort Worth, TX 76116                                |
| 69-59    | Danbury 84 LLC<br>84 Danbury Road<br>Wilton, CT 06897                      | 2 Ruby Street<br>Norwalk, CT 06850  |
| 69-60    | Grumman Seven Associates LLC<br>82 Danbury Road<br>Wilton, CT 06897        |   |
| 69-61-2  | Piyush Pandey<br>Anju Pandey<br>2 Village Court<br>Wilton, CT 06897        |   |

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| 69-61-4  | Robert P. Chiavon<br>Peggy A. Chiavon, Trustees<br>4 Village Court<br>Wilton, CT 06897 |  |
| 69-61-6  | Glenn A. Hutchinson<br>6 Village Court<br>Wilton, CT 06897                             |  |
| 69-61-8  | Christopher V. Salvato<br>Linda A. Salvato<br>8 Village Court<br>Wilton, CT 06897      |  |
| 69-61-10 | Danjie Liu<br>Yan Jiang<br>10 Village Court<br>Wilton, CT 06897                        |  |
| 69-61-12 | Raymond R. Koziak<br>12 Village Court<br>Wilton, CT 06897                              |  |
| 69-61-14 | Joseph P. Careccia<br>Olga Sidiropoulis<br>14 Village Court<br>Wilton, CT 06897        |  |
| 69-61-16 | Kimberly Duffy<br>16 Village Court<br>Wilton, CT 06897                                 |  |
| 69-61-18 | Michael J. Gagliano<br>Malgorzata Gagliano<br>18 Village Court<br>Wilton, CT 06897     |  |
| 69-61-20 | Yubo Lu<br>20 Village Court<br>Wilton, CT 06897  |  |
| 69-61-22 | Anusha Thota<br>Sandeep Malluri<br>22 Village Court<br>Wilton, CT 06897                |  |
| 69-61-24 | Audrey Kurtz<br>24 Village Court<br>Wilton, CT 06897                                   |  |
| 69-61-26 | James E. Arenholz, Jr.<br>26 Village Court<br>Wilton, CT 06897                         |  |
| 69-61-28 | Rosemary R. Vervoort<br>Gary R. Vervoort<br>28 Village Court<br>Wilton, CT 06897       |  |



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| 69-61-30 | Assaf Eidorfer<br>Danit Eisdorfer<br>30 Village Court<br>Wilton, CT 06897                     |  |
| 69-61-32 | Elizabeth B. Callahan<br>32 Village Court<br>Wilton, CT 06897                                 |  |
| 69-61-34 | Gregory A. Amendola Estate<br>Lidia Amendola<br>34 Village Court<br>Wilton, CT 06897          |  |
| 69-61-36 | Paula D. Fleming<br>36 Village Court<br>Wilton, CT 06897                                      |  |
| 69-61-38 | Mark Emerick<br>Jacquelyn Emerick<br>38 Village Court<br>Wilton, CT 06897                     |  |
| 69-61-40 | Kara Crowther<br>40 Village Court<br>Wilton, CT 06897   |  |
| 69-61-42 | Current Resident<br>42 Village Court<br>Wilton, CT 06897                                      |  |
| 69-61-44 | An Nan<br>Yuan Hui<br>44 Village Court<br>Wilton, CT 06897                                    |  |
| 69-61-46 | Bomi P. Dinshaw<br>Nina B. Dinshaw<br>46 Village Court<br>Wilton, CT 06897                    |  |
| 69-61-48 | Current Resident<br>48 Village Court<br>Wilton, CT 06897                                      |  |
| 69-61-50 | Princelal Chiriyankandath<br>Hency P. Chirivankandath<br>50 Village Court<br>Wilton, CT 06897 |  |
| 69-61-52 | Di Zhang<br>Feng Zhang<br>52 Village Court<br>Wilton, CT 06897                                |  |

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| 69-61-54 | Paul H. Luchansky<br>Toni-Anne Luchansky<br>54 Village Court<br>Wilton, CT 06897          |  |
| 69-61-56 | Monica R. Sprei<br>56 Village Court<br>Wilton, CT 06897                                   |  |
| 69-61-58 | Arun Swaminathan<br>Sumithra Bakthavatchalam<br>58 Village Court<br>Wilton, CT 06897      |  |
| 69-61-60 | Laura Cody<br>60 Village Court<br>Wilton, CT 06897  |  |
| 69-61-62 | Samira Vedantam<br>Amith Mamidala<br>62 Village Court<br>Wilton, CT 06897                 |  |
| 69-61-64 | Kenneth Daniel Libby<br>64 Village Court<br>Wilton, CT 06897                              |  |
| 69-61-66 | Ulysses Whitby<br>Gussie Whitby<br>66 Village Court<br>Wilton, CT 06897                   |  |
| 69-61-68 | Serge A. Karpow<br>68 Village Court<br>Wilton, CT 06897                                   |  |
| 69-61-70 | Joann Logiurato<br>70 Village Court<br>Wilton, CT 06897                                   |  |
| 69-61-72 | Joseph Zarb<br>Rose Zarb<br>72 Village Court<br>Wilton, CT 06897                          |  |
| 69-61-74 | John B. Canning<br>Janet S. Canning<br>74 Village Court<br>Wilton, CT 06897               |  |
| 69-61-76 | Gian Andreassi<br>76 Village Court<br>Wilton, CT 06897                                    |  |
| 69-61-78 | Mahadevan Arun Venkataraman<br>Radhika Nagaratnam<br>78 Village Court<br>Wilton, CT 06897 |  |



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| 69-61-80 | Tianshi Bu<br>Kun Dong<br>80 Village Court<br>Wilton, CT 06897                    |  |
| 69-61-82 | Lee Armstrong<br>82 Village Court<br>Wilton, CT 06897                             |  |
| 69-61-84 | Syma B. Gruss Revocable Trust<br>84 Village Court<br>Wilton, CT 06897             |  |
| 69-61-86 | Manuel T. Bastos<br>Florinda F. Bastos<br>86 Village Court<br>Wilton, CT 06897    |  |
| 69-61-88 | Stacey E. Reynolds<br>88 Village Court<br>Wilton, CT 06897                        |  |
| 69-61-90 | Mark A. Messina<br>Michele D. Messina<br>90 Village Court<br>Wilton, CT 06897     |  |
| 69-61-92 | Kunwar Kalra<br>Ruchika Khurana<br>92 Village Court<br>Wilton, CT 06897           |  |
| 69-61-94 | Richard K Dineen<br>Claire Dineen<br>94 Village Court<br>Wilton, CT 06897         |  |
| 69-61-96 | Lamba Tarun<br>Talreja Jharna<br>96 Village Court<br>Wilton, CT 06897             |  |
| 69-62    | Justin Saverine<br>Mackenzie Saverine<br>28 Grumman Hill Road<br>Wilton, CT 06897 |  |
| 69-63    | Julia M. Stansbury<br>32 Grumman Hill Road<br>Wilton, CT 06897                    |  |
| 69-64    | Albert J. Pykosz<br>Linda A. Pykosz<br>38 Grumman Hill Road<br>Wilton, CT 06897   |  |



**GREGORY AND ADAMS, P.C.**

PAUL H. BURNHAM  
DANIEL L. CONANT  
SUSAN L. GOLDMAN  
J. VANCE HANCOCK  
J. CASEY HEALY  
MICHAEL LAMAGNA\*  
DERREL M. MASON\*  
MATTHEW C. MASON\*  
JAMES D'ALTON MURPHY\*  
KATHLEEN L. ROYLE\*  
RALPH E. SLATER  
ROGER R. VALKENBURGH\*

ATTORNEYS AT LAW  
190 OLD RIDGEFIELD ROAD  
WILTON, CT 06897  
(203) 762-9000  
FAX: (203) 834-1628

JULIAN A. GREGORY  
(1912 - 2002)

THOMAS T. ADAMS  
(1929 - 2015)

NEW YORK OFFICE:  
399 KNOLLWOOD ROAD - SUITE 201  
WHITE PLAINS, NY 10603  
(914) 848-5000

PLEASE REPLY TO SENDER:  
J. CASEY HEALY  
DIRECT DIAL: 203-571-6304  
jhealy@gregoryandadams.com

\* ALSO ADMITTED IN NEW YORK  
\* ALSO ADMITTED IN VERMONT

WWW.GREGORYANDADAMS.COM

February 17, 2022

**By E-Mail Only**

Wilton Child Development Park, LLC  
11 Grumman Hill Road  
Wilton, CT 06897  
Attn: Ms. Lynn C. Hartigan

Re: Wilton Child Development Park, LLC – Land Use Applications to the Town of Wilton  
Premises: 11 Grumman Hill Road, Wilton, Connecticut

Dear Ms. Hartigan:

We are providing legal representation to you in connection with the referenced-property and applications to the Land Use Commissions of the Town of Wilton. The Commissions require written authorization from the applicant and the property owner authorizing Gregory and Adams, P.C to act as their agent. Please sign a copy of this letter as applicant and owner and return it to me by email.

Very truly yours,

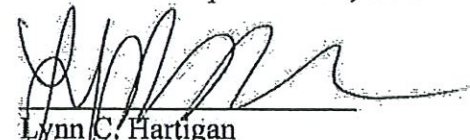
*J. Casey Healy*  
J. Casey Healy

JCH/ko

The undersigned hereby authorizes Gregory and Adams, P.C. to act as its agent in connection with matters involving the Land Use Commissions of the Town of Wilton.

Wilton Child Development Park, LLC

By:

  
Lynn C. Hartigan  
Its:  
Duly Authorized

**Wilton Child Development Park, LLC**

**Town of Wilton Land Use Applications**

**Premises: 11 Grumman Hill Road, Wilton, CT**

**List of Project Professionals**

1.     Applicant and Owner             Wilton Child Development Park, LLC  
   c/o Gregory and Adams, P.C.  
   190 Old Ridgefield Road  
   Wilton, CT 06897  
   (203) 571-6304
  
2.     Surveyor                             Mr. Douglas R. Faulds  
   Ryan and Faulds Land Surveyors  
   11 Grumman Hill Road  
   Wilton, CT 06897  
   (203) 762-9492  
   d.faulds@rednissmead.com
  
3.     Architect                             Mr. John M. Doyle  
   Doyle Coffin Architecture  
   158 Danbury Road  
   Ridgefield, CT 06877  
   (203) 431-6001  
   jmd@doylecoffinarchitecture.com
  
4.     Attorneys                             J. Casey Healy, Esq.  
   Kathleen L. Royle, Esq.  
   Gregory and Adams, P.C.  
   190 Old Ridgefield Road  
   Wilton, CT 06897  
   (203) 762-9000  
   [jhealy@gregoryandadams.com](mailto:jhealy@gregoryandadams.com)  
   [kroyle@gregoryandadams.com](mailto:kroyle@gregoryandadams.com)



**GREGORY AND ADAMS, P.C.**

ATTORNEYS AT LAW

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WILTON, CT 06897

(203) 762-9000

FAX: (203) 834-1628

ESTABLISHED 1964

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\* ALSO ADMITTED IN NEW YORK

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February 17, 2022

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Wilton Child Development Park, LLC

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Attn: Ms. Lynn C. Hartigan

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Premises: 11 Grumman Hill Road, Wilton, Connecticut

Dear Ms. Hartigan:

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Very truly yours,

*J. Casey Healy*

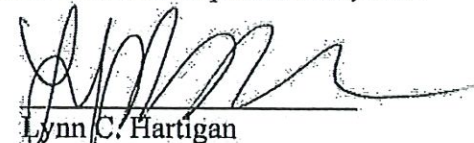
J. Casey Healy

JCH/ko

The undersigned hereby authorizes Gregory and Adams, P.C. to act as its agent in connection with matters involving the Land Use Commissions of the Town of Wilton.

Wilton Child Development Park, LLC

By:



Lynn C. Hartigan

Its:

Duly Authorized









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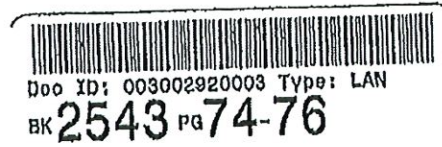
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8627







Record & Return To:  
Susan L. Goldman, Esq.,  
Gregory & Adams P.C.  
190 Old Ridgefield Road  
Wilton, CT 06897

WARRANTY DEED  
(statutory form)

11. Grumman Hill, LLC a limited liability company formed under the laws of the State of Connecticut, for consideration paid in the amount of **ONE MILLION ONE HUNDRED THOUSAND (\$1,100,000.00) DOLLARS** grants to Wilton Child Development Park, LLC, a Connecticut limited liability company having an address at 84 Danbury Road, Wilton, CT 06897, all that certain property situated in the Town of Wilton, County of Fairfield and State of Connecticut, more particularly described in the Schedule A attached hereto and made a part hereof, with WARRANTY COVENANTS.

SIGNATURES FOLLOWING ON NEXT PAGE



Signed this 15 day of October, 2021.

Witnesses:

James H. Mckenrick Jr.  
Name: JAMES H. MCKENRICK

11 Grumman Hill, LLC

Kathleen Hay  
Kathleen Hay, Its Agent  
Duly Authorized

Maureen H. Hefish  
Name: Maureen H. Hefish

CONVEYANCE TAX RECEIVED  
TOWN: \$2,760.00 STATE: \$13,760.00

Glenn A. Holbrook  
WILTON, CT TOWN CLERK

STATE OF SOUTH CAROLINA }  
  } SS:  
COUNTY OF Charleston }

Personally, appeared Kathleen Hay, signer and sealer of the foregoing instrument, known to me (or satisfactorily proven) to be the person whose name are subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained in the capacity therein stated, before me, on this 15 day of October, 2021.

James H. Mckenrick Jr.  
Notary Public/My Commission Expires: 11-18-2029

JAMES H. MCKENRICK JR.  
Notary Public  
State of South Carolina  
My Commission Expires Nov 18, 2029

**LEGAL DESCRIPTION**

ALL THAT CERTAIN tract or parcel of land, together with the buildings and improvements thereon, situated in the Town of Wilton, County of Fairfield and State of Connecticut, as shown and delineated on that certain map entitled, "Map of Property Prepared for Bruce Campbell Graham, Wilton, Connecticut, Scale 1" = 20', 8 January 1987", certified substantially correct by Leo Leonard, Surveyor, which map is on file in the Wilton Town Clerk's Office as Map No. 4413, to which map reference is hereby made for a more particular description of the premises. In accordance with said map, said premises are bounded:

NORTH: 269.09 feet by the highway, Grunman Hill Road, so-called;  
EAST: 143.26 feet by land now or formerly of John and Mary Tanner;  
SOUTH: 249.29 feet by land now or formerly of Ronald and Gail Carlson, Charles and June Miller, and Rose Cifatte, each in part; and  
WEST: 146.89 feet by land now or formerly of Hydrogeology Associates.

TOGETHER WITH an Easement from Arthur J. Goldblatt to Bruce Campbell Graham, dated April 22, 1987 and recorded April 23, 1987 in Volume 595 at Page 134 of the Wilton Land Records.

Premises conveyed subject to:

1. Together with and subject to the terms of a sanitary sewer easement dated April 22, 1987 and recorded in Volume 595 at Page 134 of the Wilton Land Records.
2. Zoning Variance granted by the Zoning Board of Appeals of the Town of Wilton dated September 15, 1987 and recorded in Volume 618 at Page 288 of the Wilton Land Records.
3. Rights and easements of others in and to the stream crossing the premises.
4. Rights of present tenants, lessees or parties in possession.
5. Notes, notations, facts and conditions shown on Map Nos. 597, 4413 and 4427.

Received for Record at Wilton, CT  
On 10/26/2021 At 1:01:00 pm


*Olivia A. Bolante*



YOUR TRIP TO:

11 Grumman Hill Rd, Wilton, CT, 06897-4500

Scan this QR code for  
directions on your mobile  
device:




3 MIN | 1.6 MI 

Est. fuel cost: \$0.25


Trip time based on traffic conditions as of 4:52 PM on February 22, 2022. Current Traffic: Moderate




Print a full health report of your car with HUM vehicle diagnostics (800) 906-2501

- 

1. Start out going southeast on Danbury Rd/US-7 S/CT-33 toward Orems Ln.

Then 0.73 miles0.73 total miles
- 


2. Turn slight right onto Danbury Rd/US-7 S.

Then 0.83 miles1.56 total miles
- 

3. Turn left onto Grumman Hill Rd.


Grumman Hill Rd is 0.2 miles past Arrowhead Rd.

If you reach Hollyhock Ln you've gone a little too far.

Then 0.08 miles1.64 total miles
- 

4. 11 Grumman Hill Rd, Wilton, CT 06897-4500, 11 GRUMMAN HILL RD is on the right.

If you reach Village Ct you've gone a little too far.

 Save to My Maps

Use of directions and maps is subject to our [Terms of Use](#). We don't guarantee accuracy, route conditions or usability. You assume all risk of use.