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REFERENCE MADE TO MAPS # 1925, 2578, 2831, AND 2842 OF THE TOWN CLERK'S OFFICE.

THE PURPOSE OF THIS SURVEY IS TO ENABLE DETERMINATION OF COMPLIANCE WITH ZONING REGULATIONS.

ENCROACHMENTS, IF ANY, NOT LOCATED FOR THE PURPOSE OF THIS SURVEY.

ALL BOUNDARY MONUMENTS FOUND OR SET DEPICTED HEREON.

SEPTIC TANK LOCATION REPRODUCED FROM INSTALLERS SWING TIES ON AS-BUILT SKETCH PREPARED BY KAISER-BATTISTONE SEWAGE SYSTEM SPECIALISTS DATED 12/11/2012. PUMP CHAMBER AND LEACHING FIELD LOCATIONS REPRODUCED FROM INSTALLER SKETCH SWING TIES ON AS-BUILT SKETCH PREPARED BY KAISER-BATTISTONE SEWAGE SYSTEM SPECIALISTS DATED 12/29/1996. LEACHING PIT LOCATIONS REPRODUCED FROM UNTITLED AND UNDATED AS-BUILT SKETCH ON FILE IN THE WILTON HEALTH DEPARTMENT. ALL LOCATIONS TO BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION. NO RESPONSIBILITY ACCEPTED BY THIS OFFICE IN REGARDS TO THE ACCURACY OF THE LOCATION, SIZE, OR EXISTENCE OF ANY PORTION OF THE SEPTIC SYSTEM SHOWN OR OMITTED HEREON.

WELL LOCATION REPRODUCED FROM UNTITLED AND UNDATED AS-BUILT SKETCH ON FILE IN THE WILTON HEALTH DEPARTMENT. LOCATION TO BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

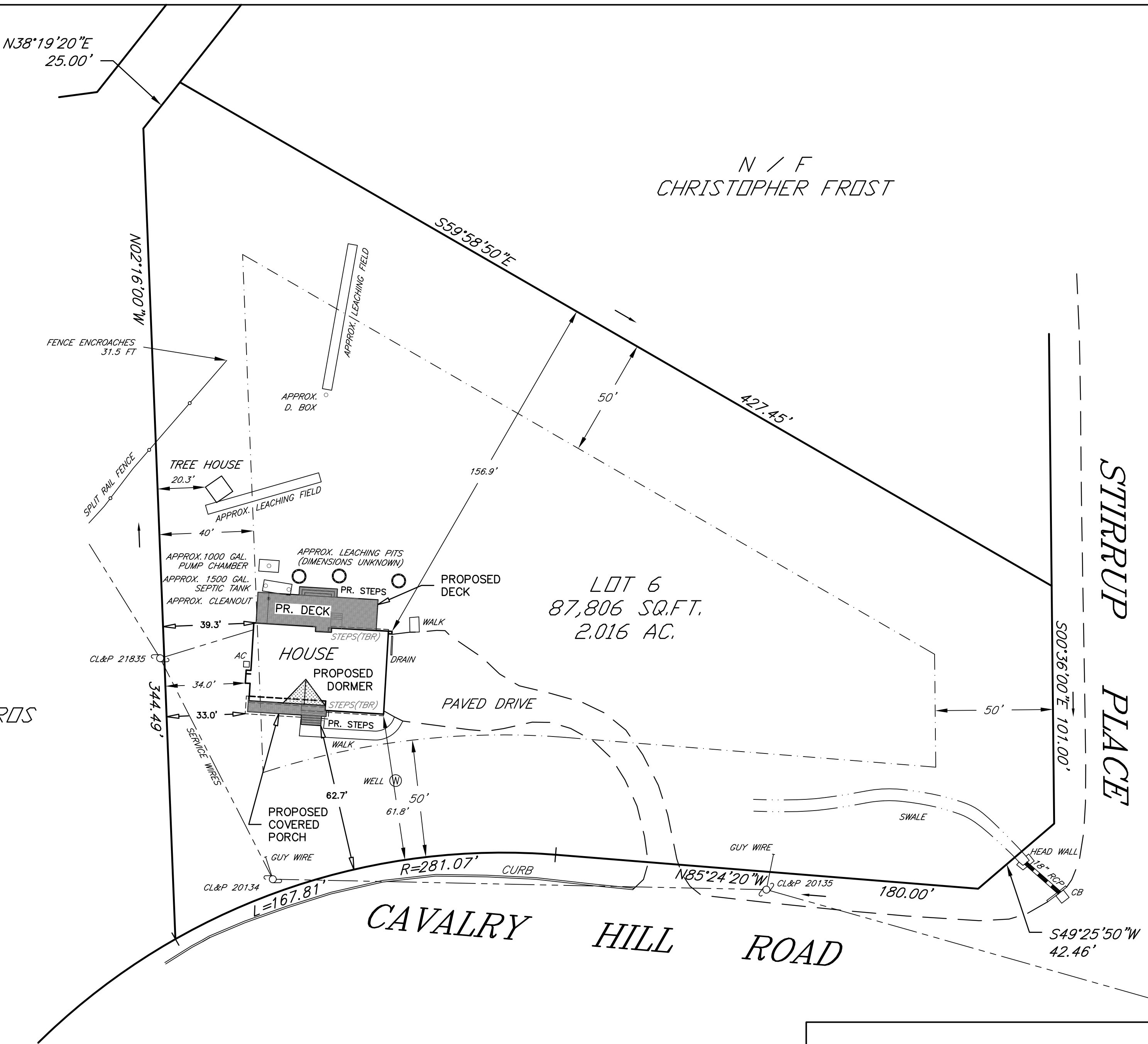
WETLANDS, IF ANY, NOT FLAGGED AT THIS TIME.

REFERENCE MADE TO ARCHITECTURAL PLANS "PROPOSED ADDITION AND ALTERATION TO RESIDENCE FOR ERIC HELGESEN, 26 CAVALRY HILL ROAD, WILTON, CT 06897, DATE DRAWN: 3/3/2022", PREPARED BY DOUGLAS CUTLER, A.I.A., FOR ALL PROPOSED SITE CONDITIONS.

MAXIMUM BUILDING COVERAGE: 7%. EXISTING BUILDING COVERAGE: 2.4%.
MAXIMUM SITE COVERAGE: 12%. EXISTING SITE COVERAGE: 6.0%.

MAXIMUM BUILDING COVERAGE: 7%. PROPOSED BUILDING COVERAGE: 3.4%.
MAXIMUM SITE COVERAGE: 12%. PROPOSED SITE COVERAGE: 7.0%.

N / F
DION W. COCORS
ELIZABETH P. COCORS



THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996, AMENDED OCTOBER 26, 2018.

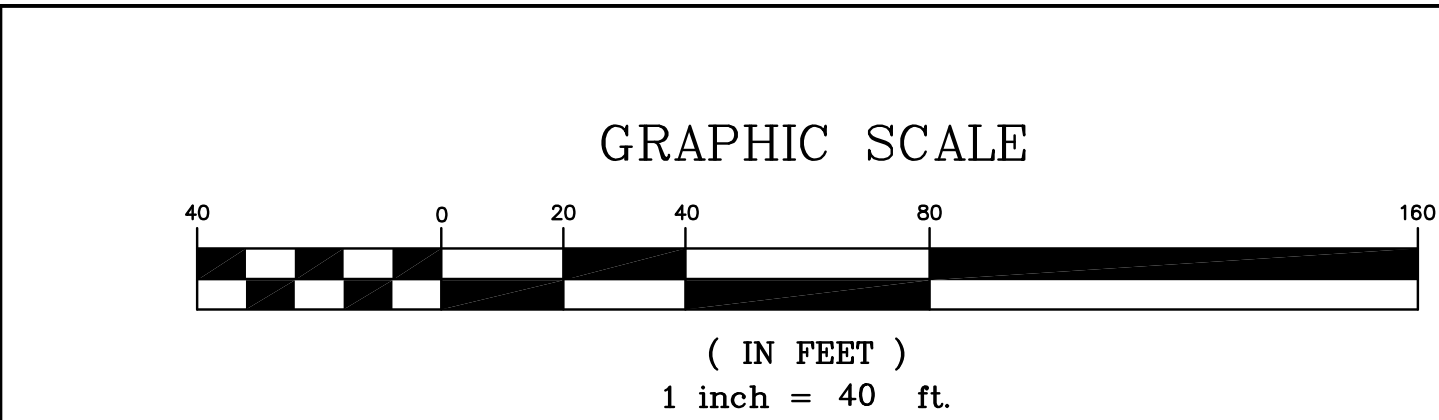
SURVEY TYPE: ZONING LOCATION SURVEY
BOUNDARY DETERMINATION CATEGORY: RESURVEY
CLASS OF ACCURACY: A-2

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
CERTIFIED BY:


ROGER A. STALKER, LS # 70009

PDF COPY

ZONING LOCATION MAP
26 CAVALRY HILL ROAD
ZONE: R-2A
WILTON, CONNECTICUT
PREPARED FOR
ERIC HELGESEN
AND
ALLISA HELGESEN
AUGUST 19, 2022



NO.	DATE	DESCRIPTION	BY



STALKER LAND SURVEYING, INC.
Roger Stalker, LS
503 Danbury Road
Wilton, Connecticut 06897
TEL (203) 563-0048
www.StalkerLS.com

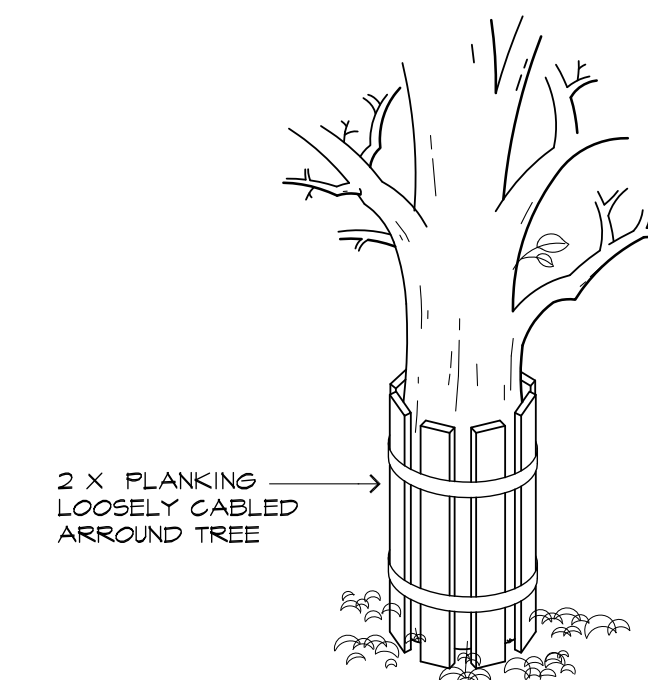
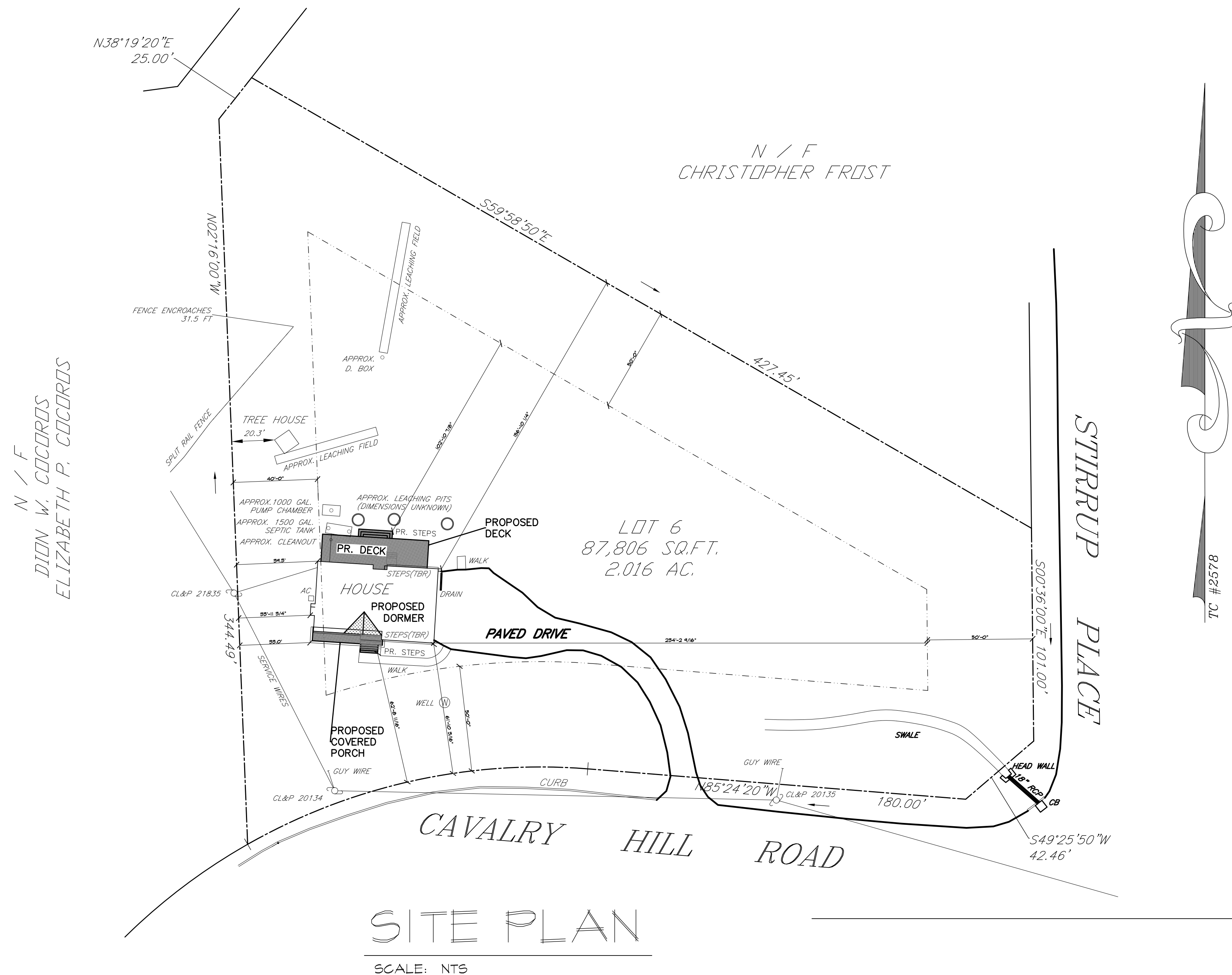


DRAWN BY:	TFU	DATE:	8-19-22
CHECKED BY:	RAS	DRAWING NO.:	26.CAVALRY
JOB NO.:	8192022	SHEET	1 OF 1

Proposed Addition For:

MR. & MRS. HELGESEN

26 CAVALRY HILL ROAD, WILTON, CT 06897



2 TREE PROTECTOR DETAIL
CS
SCALE: N.T.S.

MIRAFIL 100% FILTER FABRIC
OR APPROVED EQUAL
FASTEN FILTER FABRIC WITH NYLON
TAPES FASTEN @ TOP, CENTER AND
BOTTOM. ALLOW 6" OVERLAP @ JOINTS

2 x WOOD POSTS OR
STEEL FENCE POSTS
6'-0" O.C.

DIG TRENCH & EXTEND FABRIC
8" INTO SOIL. CURL EDGE UPHILL.
BACKFILL TRENCH AND COMPACT

WORK SEQUENCE
DIG 8" DEEP TRENCH, INSTALL POSTS, INSTALL FILTER FABRIC,
BACKFILL TRENCH AND COMPACT
REMOVE TRAPPED SILT BEFORE REMOVING SILT FENCE

SILT FENCE DETAIL
SCALE: 1/2" = 1'-0"

DESIGN CRITERIA (LIVE LOAD)	
CONST. TYPE:	PLATFORM LIGHT FRAME CONSTRUCTION
USE GROUP:	ONE FAMILY DWELLING
DECKS:	60 PSF
ATTIC (WITHOUT STORAGE)	10 PSF
ATTIC (WITH STORAGE)	20 PSF
SLEEPING ROOMS	30 PSF
ALL OTHER ROOMS	40 PSF
HAND @ GUARD RAILS	200 PSF
ROOF/SNOW	50 PSF
DESIGN WIND SPEED	110 MPH

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OWNER:

MR. & MRS. HELGESEN
26 CAVALRY HILL ROAD, WILTON, CT 06897
PHONE: 646 357 2780
E-MAIL: EHHELGESEN@GMAIL.COM

ARCHITECT:

DOUGLAS CUTLER ARCHITECTS, PC
221 DANBURY ROAD, WILTON, CT 06897
PHONE: 203-761-9561 FAX: 203-761-0014
E-MAIL: dcutler@modulararchitecture.com

ZONING TABULATION (MINIMUM)			
AREA	2.016 ACRES		
ZONED	R-2 (RESIDENTIAL)		
SETBACKS	ALLOWABLE	EXISTING	PROPOSED
FRONT	50'	61'-10"	61'-10"
SIDE 1	40'	33'-11"	33'-0"
SIDE 2	40'	234'-2"	234'-2"
REAR	50'	156'-10"	102'-10"

LEGEND:

- D — BOUNDS OF DISTURBED AREA
- S — SILT FENCE
- PROPERTY LINE

LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION

Project
PROPOSED ADDITION AND ALTERATION TO RESIDENCE FOR
ERIC HELGESEN
26 CAVALRY HILL ROAD, WILTON, CT 06897

Douglas Cutler Architects A.I.A.
221 Danbury Road, Wilton, CT 06897 (203) 761-9561

Drawing Title
COVER SHEET

Project No. Date Drawn 3/3/2022 Date Revised N/A
Drawn By Scale 1/4" = 1'-0"

Drawing No.
CS

GENERAL NOTES:

1. All work on the proposed project shall be in accordance with State, City and town Building code requirements and in accordance with the requirements of any other body having jurisdiction over the project.
2. All work performed shall be by licensed building tradesmen (where applicable).
3. All materials shall be installed in accordance with manufacturers latest written specifications.
4. Contractor shall verify lines, levels, and dimensions as shown on drawings, and shall report any errors or inconsistencies to Architect prior to the start of construction.
5. By submitting a bid, the bidder agrees and warrants that he has examined the drawings and specifications and found that they are adequate for proper completion of the project.
6. Contractor shall please itemize estimate when submitting bid.
7. Contractor shall accurately conform to plans and specifications provided by the Architect.
8. Written dimensions on the drawings shall take precedence over scaled dimensions.
9. No changes or substitutions shall be made without the approval of the Architect and/or client.
10. Builder shall be fully responsible for all methods of construction and adhere to all safety standards as dictated by O.S.H.A. and field conditions.
11. If at any time the plans or specifications are in conflict with codes or requirements of local agencies having jurisdiction over the project, the codes and requirements of the locality shall govern.
12. The contractor shall procure and pay for all necessary building permits and for all inspections that may be required by local authorities.
13. Douglas Cutler Architects shall not be responsible for any departure from these drawings advised by any official, approving authority or professional consultant at any time prior to or during construction. Further any such deviation or changes to these plans nullifies any responsibility that Douglas Cutler Architect may have with respect to this plan or subsequent construction.

DEMOLITION:

1. Contractor shall be responsible for securely shoring & supporting the existing building structure during demolition of bearing walls & beams.
2. Contractor shall remove & legally dispose of all materials associated with demolition .

SITE WORK:

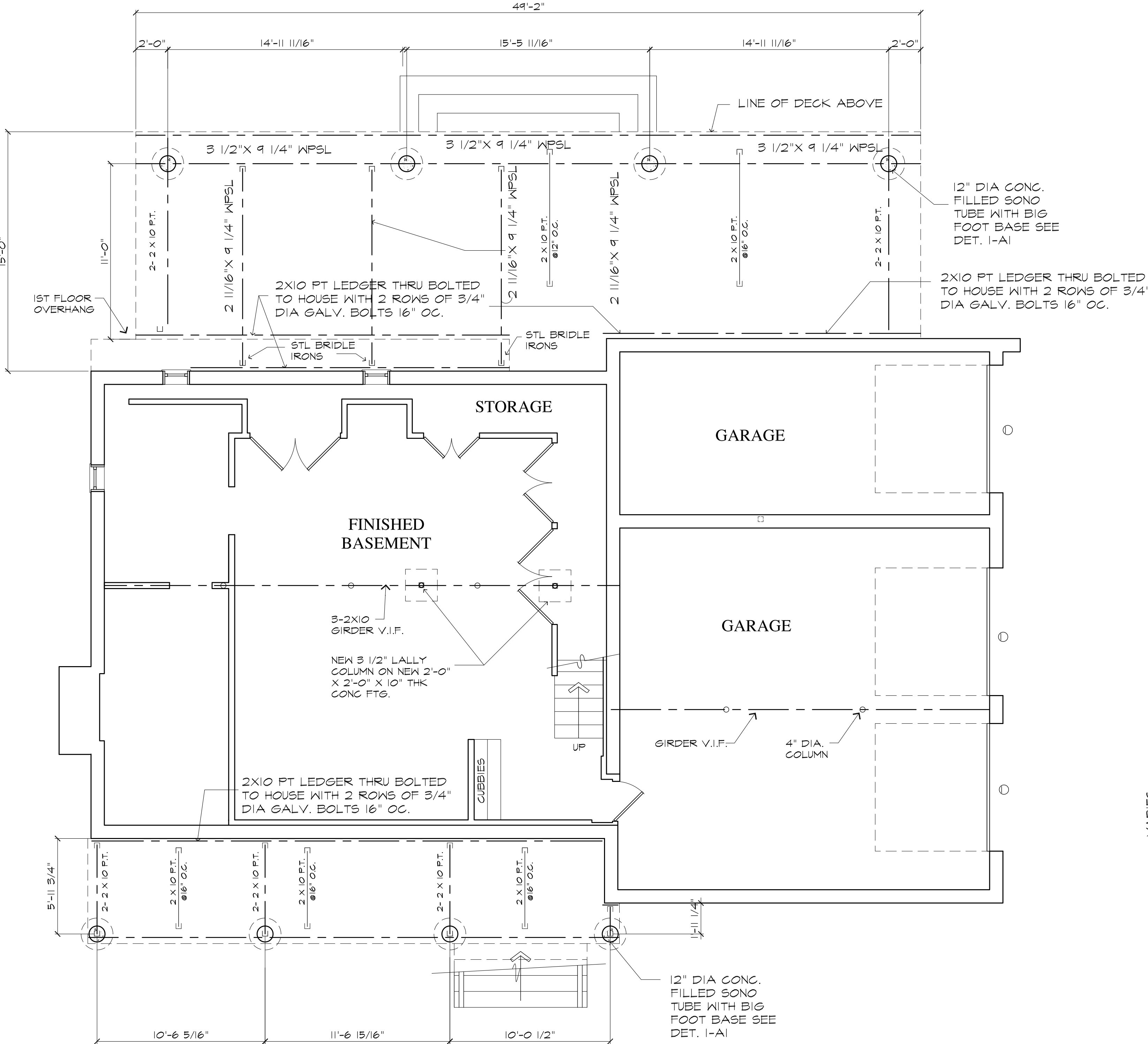
1. Clear site of all brush, boulders, and debris. Clear all trees that are within 25' of building footprint and all trees with in lines of future driveways and walkways. Preserve all trees at property lines and any additional trees indicated by owner.
2. Strip topsoil from entire area of site to be excavated and store later for use as finish grade material (if suitable). Provide additional fill and topsoil as required. Stockpile soils in areas as determined by owner.
3. Excavate as required to achieve designated footing and basement/crawl depth of building and all pertinent structures, walks, driveways, decks, planters, and parking areas. All excess and unsuitable material is to be removed from site.
4. Provide excavation and back fill material as required by all above and below grade utilities including below grade fuel oil storage tank and fill/supply lines (if applicable).
5. Sedimentation control measures shall be provided as required.

MASONRY (where applicable):

1. All masonry block units shall conform to ASTM C90. Masonry block units below grade and all exterior walls shall be grade N-1 or S-1. All block below grade shall be grouted solid.
2. All mortar shall conform to ASTM C270, Type S when applied below and above grade block construction.
3. Concrete block walls shall be reinforced with mesh every second course.

CONCRETE:

1. All concrete work shall be in accordance with the latest requirements of the A.C.I. for 3,000-PSI min. compressive strength stone aggregate concrete in 28 days. All exposed concrete to exterior shall be air entrained.
2. All reinforcing shall be ASTM A615 - Grade 60, except #3 bars and embedded plates anchors, which shall be grade 40.
3. All reinforcing shall be clean and free from oil, dirt, and rust.
4. Concrete protection for reinforcing to be as follows:
Conc. poured against earth - 3"
Conc. Poured in forms but exposed to earth or weather - 1 1/2"
#5 bar and smaller - 1 1/2"
#6 bar and larger - 2"
Slabs and walls - 1"
5. Welded Wire Mesh (WWM) to be provided in all slabs on grade and shall be 6x6xW2.9xW2.9 unless otherwise noted.
6. Lap splices of reinforcing bars shall be a min. of 36 bar diameters. Wire fabric reinforcement lap to be one full mesh plus 2" at side and end lap shall be wired together.
7. All footings have been designed for a min. soil bearing capacity of 4,000 LBS. per sq. ft. Contractor to verify. Architect to be notified if site conditions do not meet these requirements.
8. All footings shall bear on undisturbed earth or rock and be below frost line. Under no condition shall footings bear on filled ground, organic material, or other unsuitable strata.
9. Footings shall be centered on walls and columns unless otherwise noted. Stepping of footings if required shall not exceed the rate of one vertical to two horizontal.



FOUNDATION PLAN

SCALE: 1/4"=1'-0"

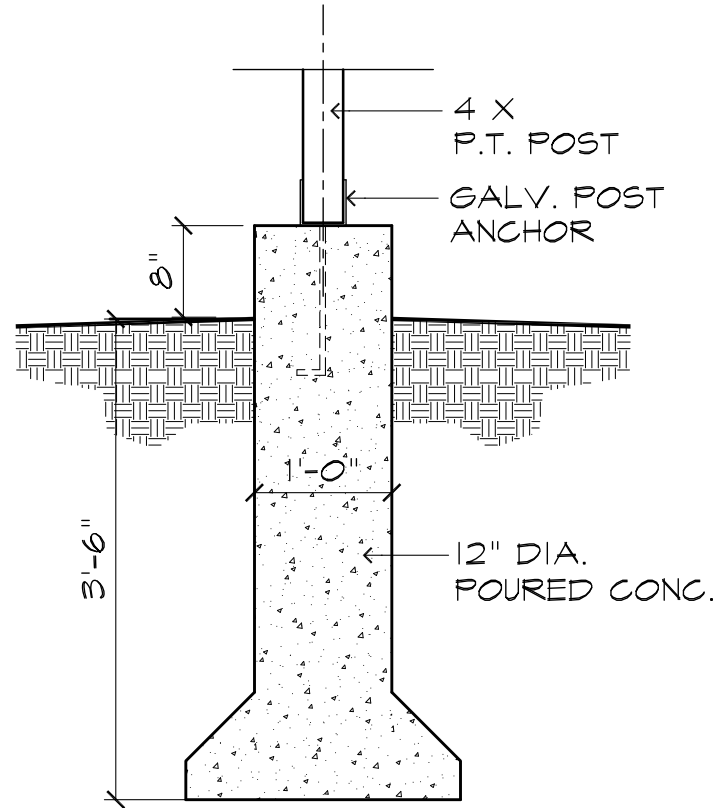
FOUNDATION DOOR & WINDOW SCHEDULE

EXTERIOR DOORS

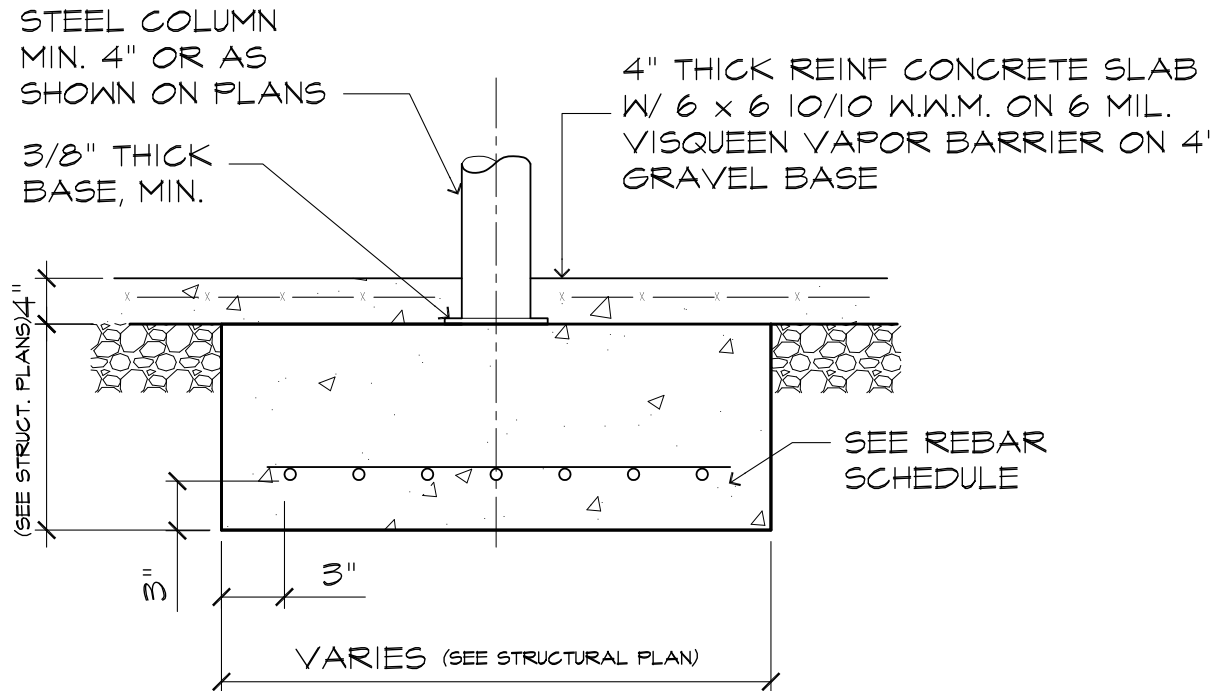
ALL FIRST FLOOR EXTERIOR DOORS (SEE SPEC.)

MARK	DOOR SIZE	DOOR TYPE	NUMBER OF DOORS
①	8'-0" X 7'-0"	GARAGE DOORS - SEE ELEVATIONS	3

BUILDER TO VERIFY WINDOW AND DOOR UNIT COUNT WITH PLANS PRIOR TO ORDERING.



1 SECTION / DETAIL
A1 SCALE: 3/4"= 1'-0"



FOOTING SIZE (L x W)	REBAR SIZE	NUMBER EA. WAY
2'-6" x 2'-6"	#5	3 (THREE)
3'-0" x 3'-0"	#5	5 (FIVE)
3'-6" x 3'-6"	#5	7 (SEVEN)
4'-0" x 4'-0"	#5	7 (SEVEN)

5 COLUMN FOOTING DETAIL
A1 SCALE: 3/4" = 1'-0"

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LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION

Project
PROPOSED ADDITION AND ALTERATION TO RESIDENCE FOR
ERIC HELGESEN
26 CAVALRY HILL ROAD, WILTON, CT 06897

DC Douglas Cutler
221 Danbury Road, Wilton, CT 06897

Architects A.I.A.
(203) 761-9561

FOUNDATION PLAN

Project No. Date Drawn Date Revised
3/3/2022
Drawn By Scale
1/4" = 1'-0"

Drawing No.

A1

METALS:

1. Structural steel, including fitch plates and lintels, to conform to ASTM A36.
2. Lally columns to be provided as indicated in plans and shall be 4" in diameter unless otherwise indicated and shall be supplied with top and bottom plates, which shall be securely fastened to structure and column.
3. Steel lintels shall be provided over all masonry openings and recesses. Each 4" of thickness shall be provided with the following:
 - Masonry opening (M.O.) to 3'-6" 3 1/2"x3 1/2"x1/4"
 - Masonry opening to 6'-0" 5"x3 1/2"x5/16"
4. Floor joists, roof rafters, and ceiling joists at flush header conditions to be supported by joist hangers as manufactured by Simpson or equal.
5. All roof and wall flashing shall conform to N.B.C. subsection 9.26.4 & 9.27.3 respectively. Minimum recommended weights and types of metals for exposed flashing are: 1.73mm sheet lead, 0.33mm galvanized steel, 0.46 mm copper, 0.46 mm zinc, 0.48 mm aluminum.
6. Provide aluminum termite shield around foundation perimeter.
7. Provide aluminum gutters and downspouts as require. Color to be selected by owner.
8. Exterior deck post to be anchored to foundation with AB adjustable post base as manufactured by Simpson.
9. Provide and install galvanized rafter ties at rafter tail to wall top plate at every roof rafter.

GYPSUM BOARD (Where applicable):

1. All interior framing to be finished with single layer of 1/2" gypsum board (except fire separations if applicable). Boards to be screw or nail fastened according to manufacture's specifications. All joints to be taped and receive 3 coats of joint compound. Finish to be smooth and even and ready for paint. Joint compound shall be protected from freezing during all phases of construction.
2. Moisture resistant gypsum board shall be provided in all areas subject to moisture and behind all tiled areas.
3. 2 layers of 5/8" fire code type "X" gypsum board to be provided in furnace room on ceiling and walls (where applicable).

CARPENTRY

1. All lumber shall be fully seasoned Douglas fir, stamped No.1 grade, & have minimum allowable fiber stress of 1,000 P.S.I. (lb).
2. Provide 1x4 Bridging not over 8'-0" on center for all wood joists and solid 2x blocking between joists at supports.
3. Fasten all wood members as required by code recommended fastening schedule.
4. Plywood for roofing sheathing shall be 1/2" CDX.
5. Plywood for wall sheathing shall be 1/2" CDX.
6. Plywood deck sheathing to be 3/4" T&G "Sturdfloor" nailed as indexed and glued with PL-400 construction adhesive or approved equal.
7. Exterior soffit to be 3/8" AC plywood with continuous screened vent, unless noted otherwise.
8. All interior stud walls containing plumbing piping greater than 2" in diameter to be of 2x6 construction where allowable.
9. Stud walls over 8'-0" in height shall be braced at mid height with solid wood blocking.
10. Sills shall be 2-2x6 pressure treated, set on 1/2" sill sealer insulation.
11. Provide double joists under all partitions parallel to joists and under all appliances, fixtures, and cabinets.
12. Galvanized steel joists Hangers to be provided where joists and beams/headers frame flush unless otherwise noted.
13. Provide 2x ridge 2" larger than roof rafters; provide 2x6 collar ties at 32" on center for all rafters unless otherwise noted.
14. Provide min. 2-2"x4" posts each side of openings. Provide 2-2"x4" posts each side of beams or headers over 6'-0" span.
15. Provide Headers not otherwise indicated on plan as follows:
 - (2) 2x10 up to 8'-0"
 - (2) 2x12 up to 10'-0"
16. All stairs to be provided with railings. Railings shall be designed, constructed, installed and guaranteed to sustain a continuous lateral load of 50 LBS. per linear ft. applied to the top rail and not deflect more than 1/2". Stairs and landings shall be designed and constructed to sustain a live load of 100 LBS. per sq. ft. Railing, Balusters, newel posts, treads and risers as selected by Owner.
17. Provide all nailers and wood blocking as required by job conditions.
18. Siding, trim, fascias, and soffit to be as shown on drawings.
19. All exterior deck framing to be pressure treated lumber. Deck surface to be as selected by Owner, lumber.

ROOFING:

1. Provide and install new cedar shingle over cedar breather. Manufacturer, style and color to be selected by Owner.
2. Where existing construction is involved, install new roof shingles to match existing unless otherwise noted. The contractor is to provide a sample for final selection by owner. Contractor to repair and replace any rotten or damaged existing roof areas encountered.

CERAMIC TILE:

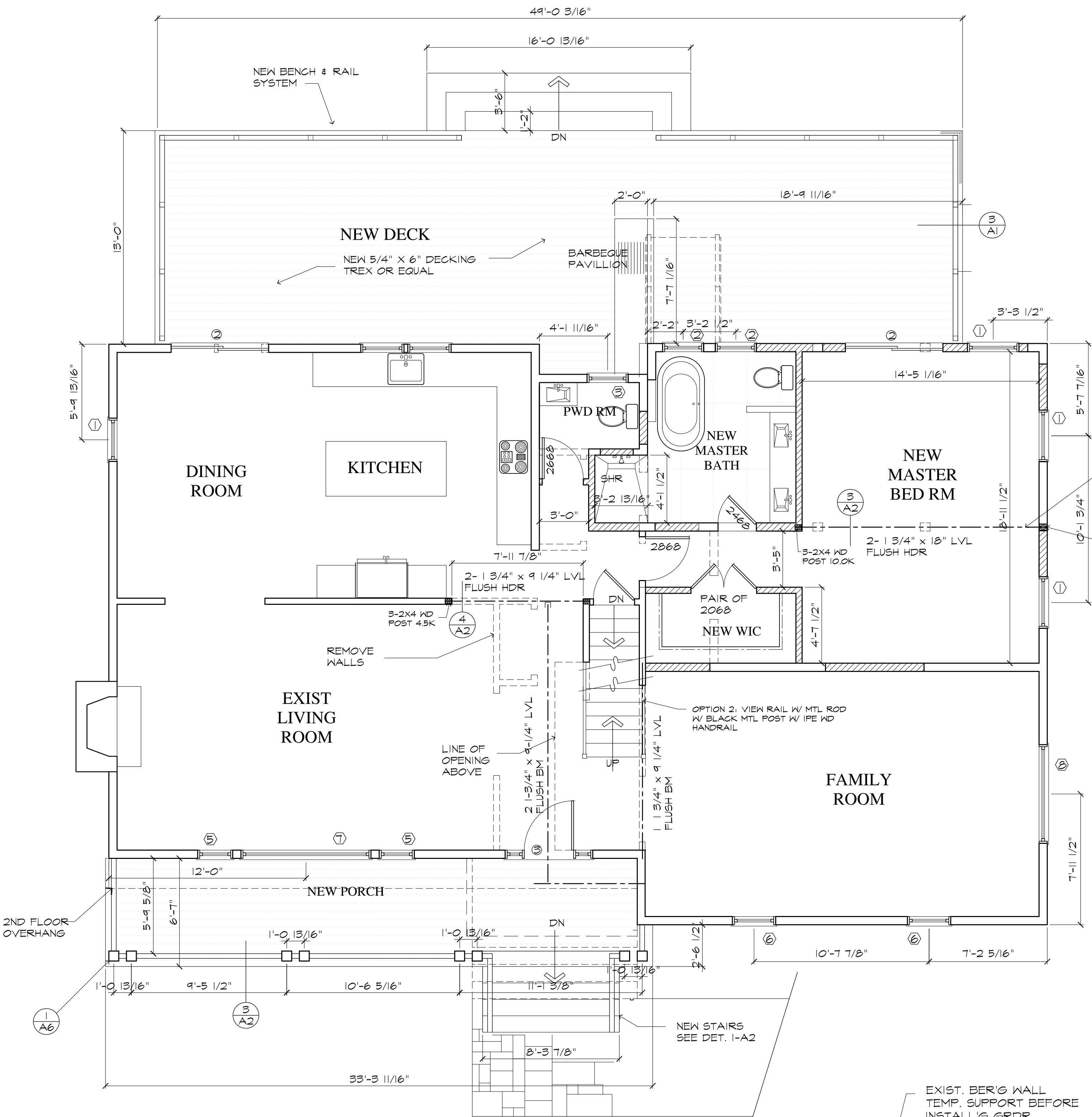
1. All areas receiving ceramic tile to be as determined and selected by Owner.

FINISHES:

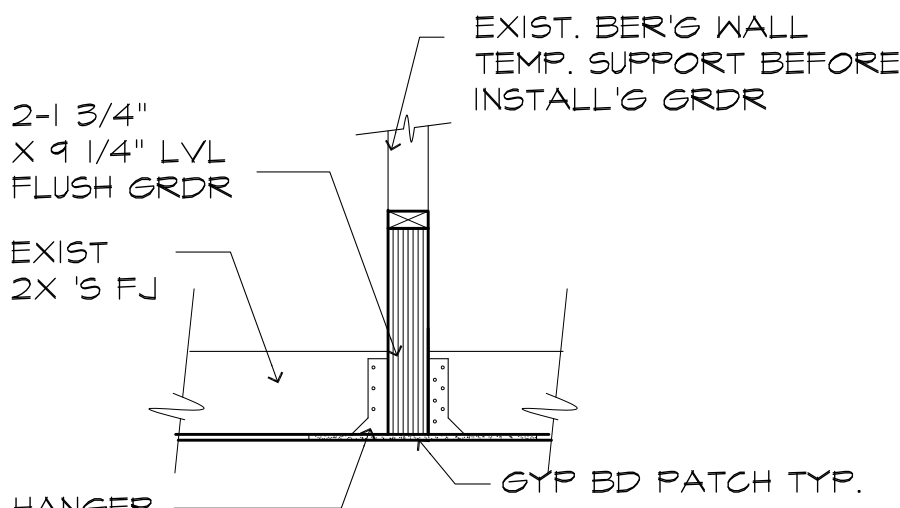
1. All interior habitable spaces to receive one coat of primer and two coats of finish paint; walls to be satin, doors and trim to be semi-gloss; bathrooms, lavatories, and powder rooms to be semi-gloss. All interior paint to be latex; colors selected by owner. Paint manufactured by Benjamin Moore or equal.
2. Exterior trim to receive one coat of primer and two coats of paint. Siding to be painted or stained (2 coats) as indicated on drawings. Paint and stain to be oil base, gloss and color to be selected by owner (Cabot/Benjamin Moore or equal).
3. All Floor finishes to be determined by Owner
4. All wall finishes to be determined by Owner

LEGEND

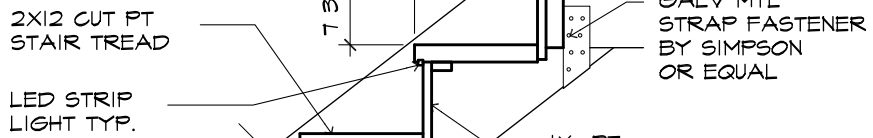
- ===== EXISTING CONSTRUCTION TO BE REMAIN
- ===== NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- LINE OF ROOF ABOVE
- 4 X 4 MIN. POST SIZE EXCEPT OTHERWISE NOTED
- 4- 2 X 4 WD. POST



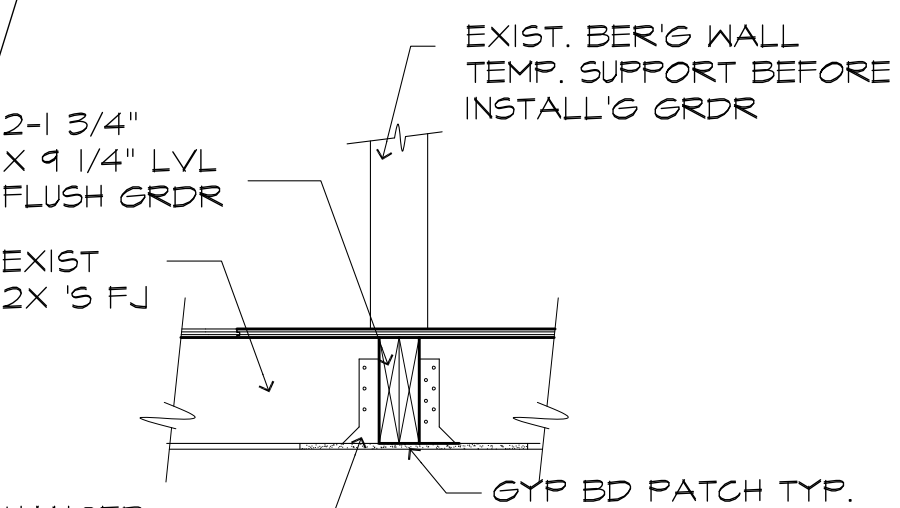
FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



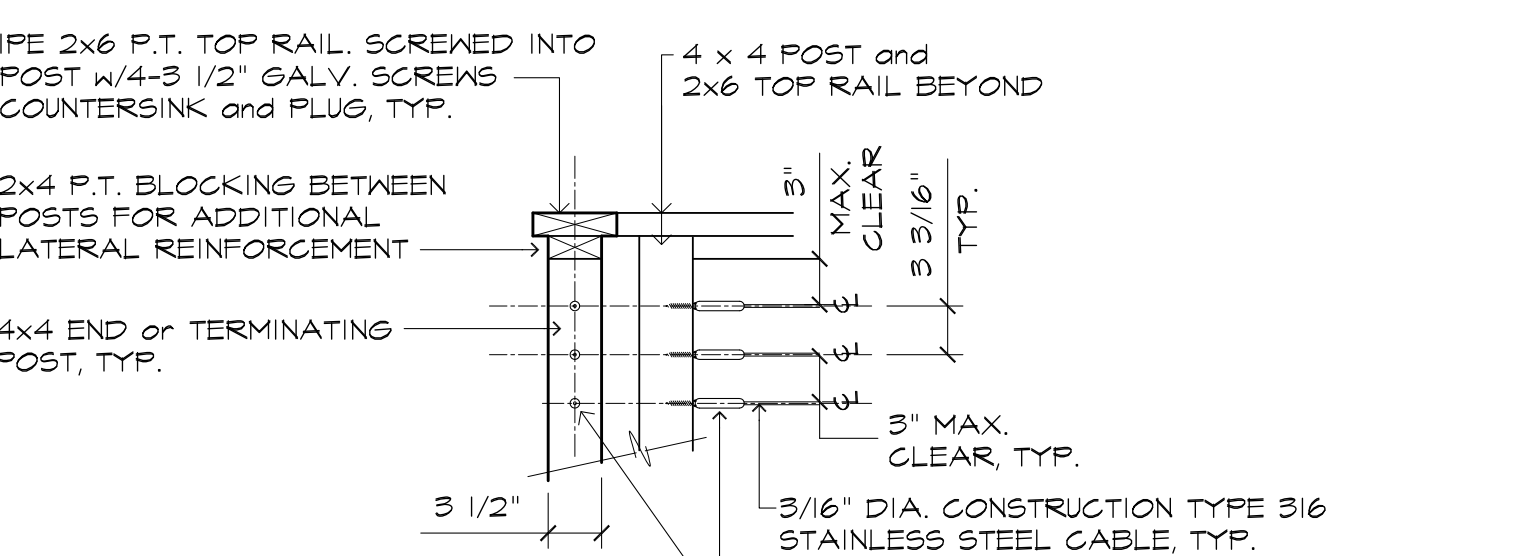
3 LVL TO FLR JST
SCALE: 3/4" = 1'-0"



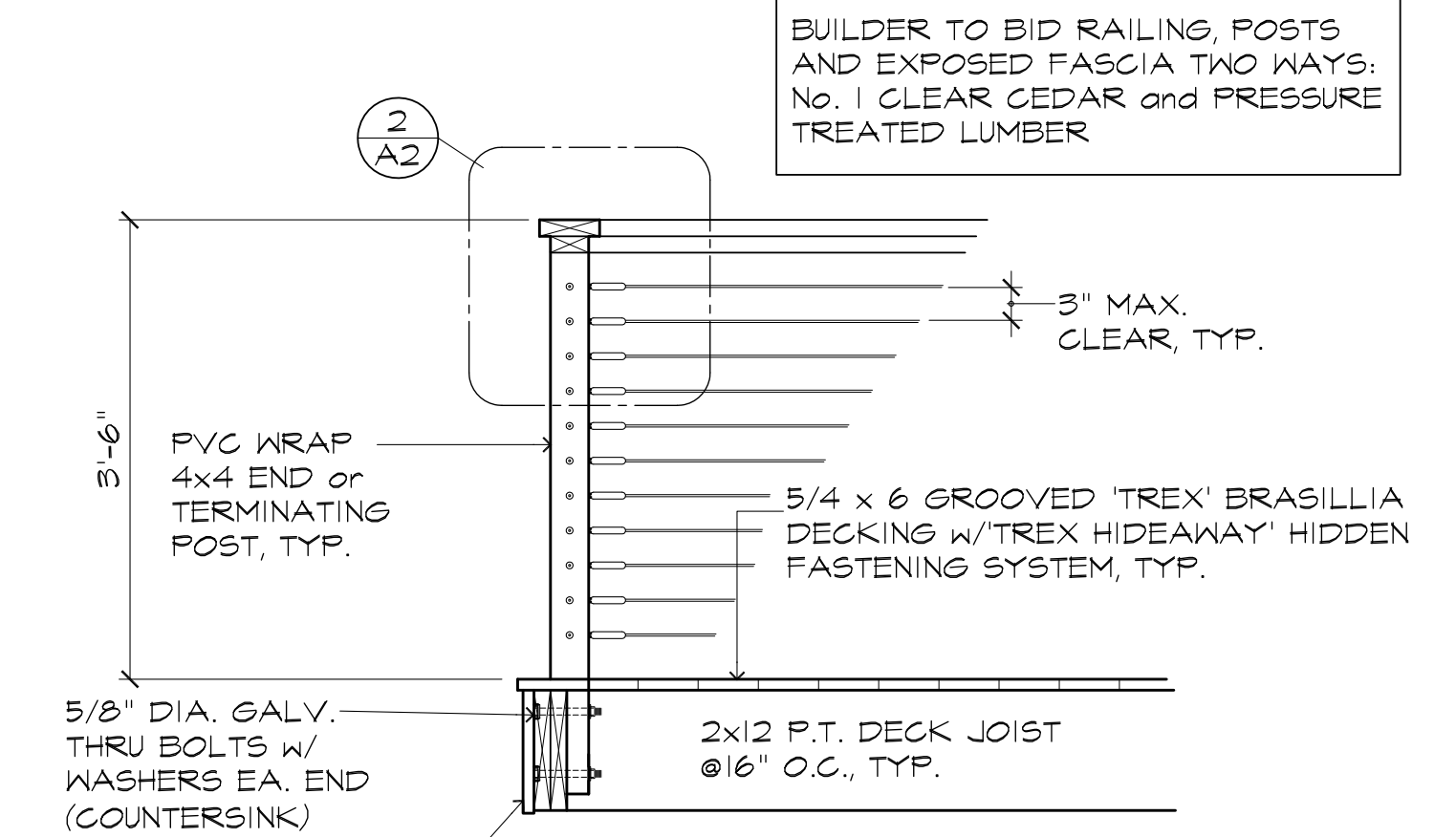
5 DECK DETAILS
SCALE: 3/4"=1'-0"



4 LVL TO FLR JST
SCALE: 3/4" = 1'-0"



2 TYP. CABLE RAILING DETAIL
SCALE: 1"=1'-0"



1 TYP. CABLE RAILING DETAIL
SCALE: 3/4"=1'-0" WOOD POST

REVISIONS	
DATE	DESCRIPTION

Project

PROPOSED ADDITION AND ALTERATION TO RESIDENCE FOR
ERIC HELGESEN
26 CAVALRY HILL ROAD, WILTON, CT 06897

Douglas Cutler

Architects A.I.A.
221 Danbury Road, Wilton, CT 06897
(203) 761-9561

Drawing Title

FIRST FLOOR PLAN

Project No.

Date Drawn
3/3/2022
Scale
1/4" = 1'-0"

Date Revised

Drawing No.

A2

DOORS, WINDOWS, & GLASS:

- Exterior doors and hardware to be as indicated on Window/Door Schedules and as selected by Owner.
- Interior doors shall be pre-hung, triple hinge, solid core as selected by Owner. Doors to be sized as shown on plans unless otherwise specified. Doors to include all jambs, thresholds and hardware as selected by Owner
- Hardware to be heavy duty residential. Plating and style to be selected by owner. Hardware function to be as follows unless otherwise noted:
 - Bedrooms - privacy lock
 - Bathrooms - privacy lock
 - Exterior entry - keyed security lock w/ dead bolt
 - Closets (non-slider) - closet latch
 - Closets (twin) - dummy w/ magnetic catch
 - All other - passage latch
- Windows to be manufactured by Andersen Window Co. Sizing as per plans and shall be Tilt-Wash High Performance, 7/8" simulated divided light w/ spacers as indicated on plans. Screens to be included. Grilles to be provided as indicated on elevations. 8. Bedroom egress windows to be provided where indicated and as required by code.
- Tempered glass to be provided in the following locations:
 - Glazing in ingress/egress doors
 - Glazing in fixed and sliding panels of sliding doors
 - Glazing in storm doors
 - Glazing in showers and bathtub doors and enclosures
 - Glazing in ingress/egress sidelights
 - Glazing in windows where the glazing is lower than 18" A.F.F.
 - Glazing in tubs/showers where the glazing is lower than 60" above standing surface
- Mirrors shall be provided in all bathrooms. The size and location, additional specifications (i.e. builders contract) or as indicated by owner. Provide recessed medicine cabinets as determined by owner.

CABINERY, TRIM, & MILLWORK:

- Interior Trim shall be selected by owner and shall be neatly fitted and mitered/copied and complete, including doors and window casing, jamb extensions, aprons and stools, base and quarter rounds at floor. Closet interiors to be trimmed and to have wire shelves and clothes pole adequately to support. Linen closet to have 5 adjustable wood shelves. Finger jointed material shall not be used, if stained.
- Installation elevation of all doors to be coordinated with floor finishes selected by owner.
- All Bathroom cabinetry shall be as indicated on plans and as selected by Owner. Scribed pieces, soffit, and fascias shall be included so as to provide a complete installation.
- Millwork shall be provided as indicated on drawings (if applicable).
- All countertops and backsplashes for Kitchen and Bathrooms shall be as selected by Owner.

MISCELLANEOUS:

- Caulk over and around all exterior openings using non-hardening compound suitable for exterior use.
- Roof ventilation:
 - Shall conform to N.B.C. section 9.19 for roof spaces or attics over insulated ceilings, for roofs with a slope of 2/12 or greater shall be ventilated with 1sf. of unobstructed vent area for every 300 SF of insulated ceiling area.
 - Shall be ventilated with soffit, roof gable vents or a combination of these equally distributed in the space between the top of roof and the eaves.
- All required shop drawings shall be submitted to the architect and Owner of record for review and approval.

PLUMBING & MECHANICAL:

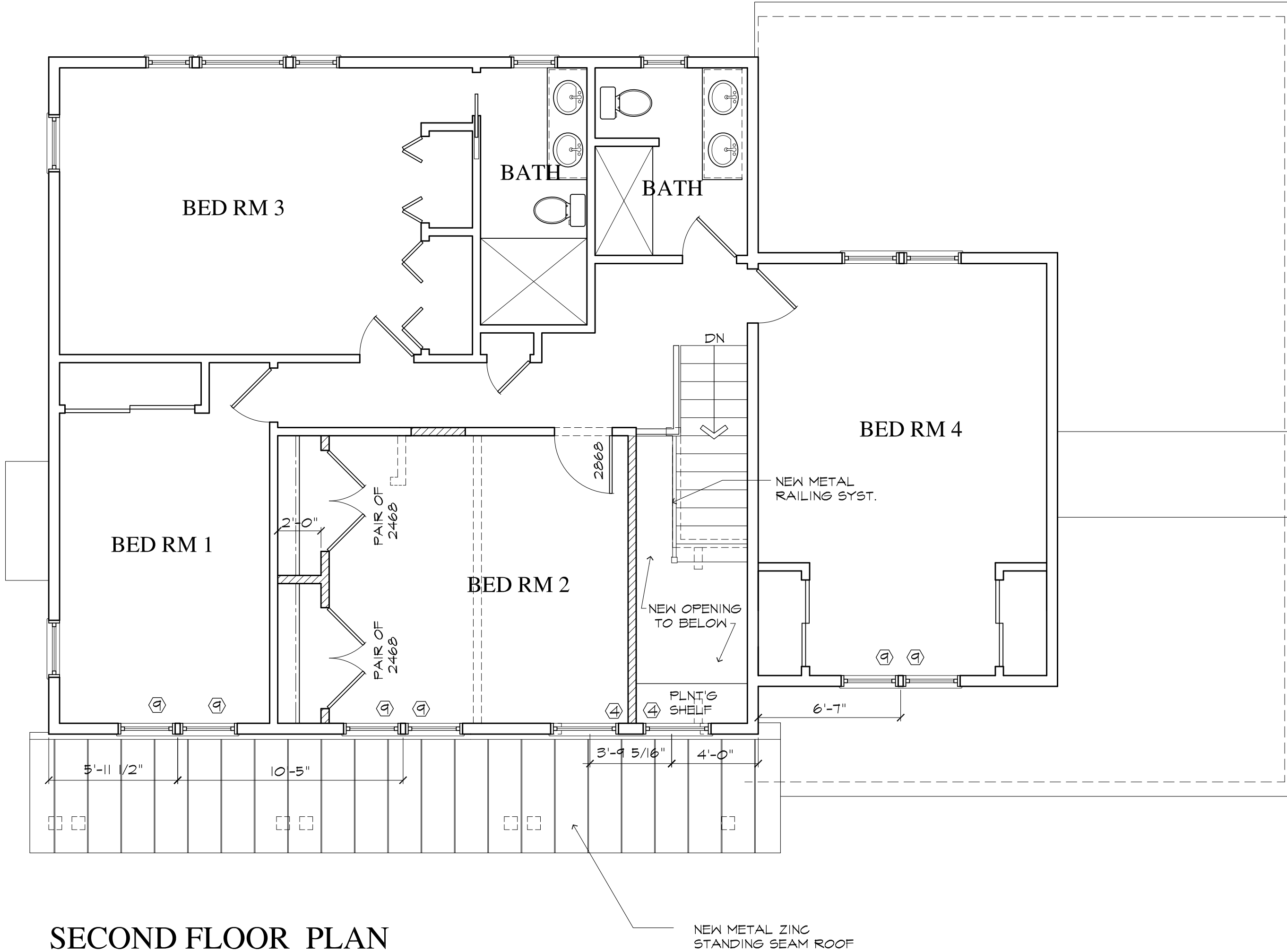
- All plumbing work shall be done by a licensed plumber in accordance with state & city building codes, utility co. regulations or any group having jurisdiction over the project.
- Scope of work shall include:
 - Any temporary hook ups during construction.
 - Provide & install new heating and cooling system (existing systems to be evaluated and upgraded or replaced as required).
 - Provide alternate estimates for heating/cooling systems, i.e. gas hot air duct split system/air-conditioning duct, electric, fuel oil etc. Include static air cleaner and humidifier systems where applicable. Owner is to specify heating/cooling preferences.
 - Provide zones as directed by owner w/ electric programmable thermostats for each zone.
 - Provide gas lines as required, if non-electric, for range, water heater, and furnace and clothes dryer.
 - Provide & install new electric or gas fired domestic hot water heater, sizing & manufacture to be selected by contractor with approval of the architect.
 - Provide all new toilet fixtures, as selected by Owner, selected and installed by Builder in locations as indicated on plans.
- All new pipe sizes and material composition shall be as specified by the governing building code.

INSULATION:

- The following areas shall be insulated with batt insulation or equal with 'R' minimum values as follows, except as otherwise noted.
 - Attic floors or roof cavities = R 49
 - Wood framed 6" walls = R22
 - First floor with unheated basement = R30
 - All slabs and perimeter walls at grade = R11 rigid insul.
- All batt insulation used shall have vapor barrier to inside wall wether foil or continuous sheet.

LEGEND

- ===== EXISTING CONSTRUCTION TO BE REMAIN
- ===== NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- LINE OF ROOF ABOVE
- 4 X 4 MIN. POST SIZE EXCEPT OTHERWISE NOTED
- 4- 2 X 4 WD. POST



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

SECOND FLOOR DOOR
& WINDOW SCHEDULE

WINDOWS					
ANDERSEN 400 SERIES "WOODRIGHT" UNLESS OTHERWISE NOTED					
MARK	COUNT	TYPE	MODEL #	R.O. WxH	COMMENTS
(4)	2	WDH	WDH3046	3'-1 5/8" X 4'-8 7/8"	
(8)	6	WDH	WDH2636	2'-7 5/8" X 3'-8 7/8"	

INTERIOR DOORS


NOTE:			
SWING (SEE SPECIFICATION)			
MARK	DOOR SIZE	NO. OF DOORS	COMMENTS
246B	2'-4" x 6'-8"	4	
286B	2'-8" x 6'-8"	1	

BUILDER TO VERIFY WINDOW AND DOOR
UNIT COUNT WITH PLANS PRIOR TO ORDERING.

EGRESS WINDOWS
SILL HEIGHT - 44" MAX. A.F.F.
NET CLEAR OPENING - 5.7 SF MIN.
OPENING HEIGHT - 24" MIN.
OPENING WIDTH - 20" MIN.

LATEST REVISION: XX/XX/XX

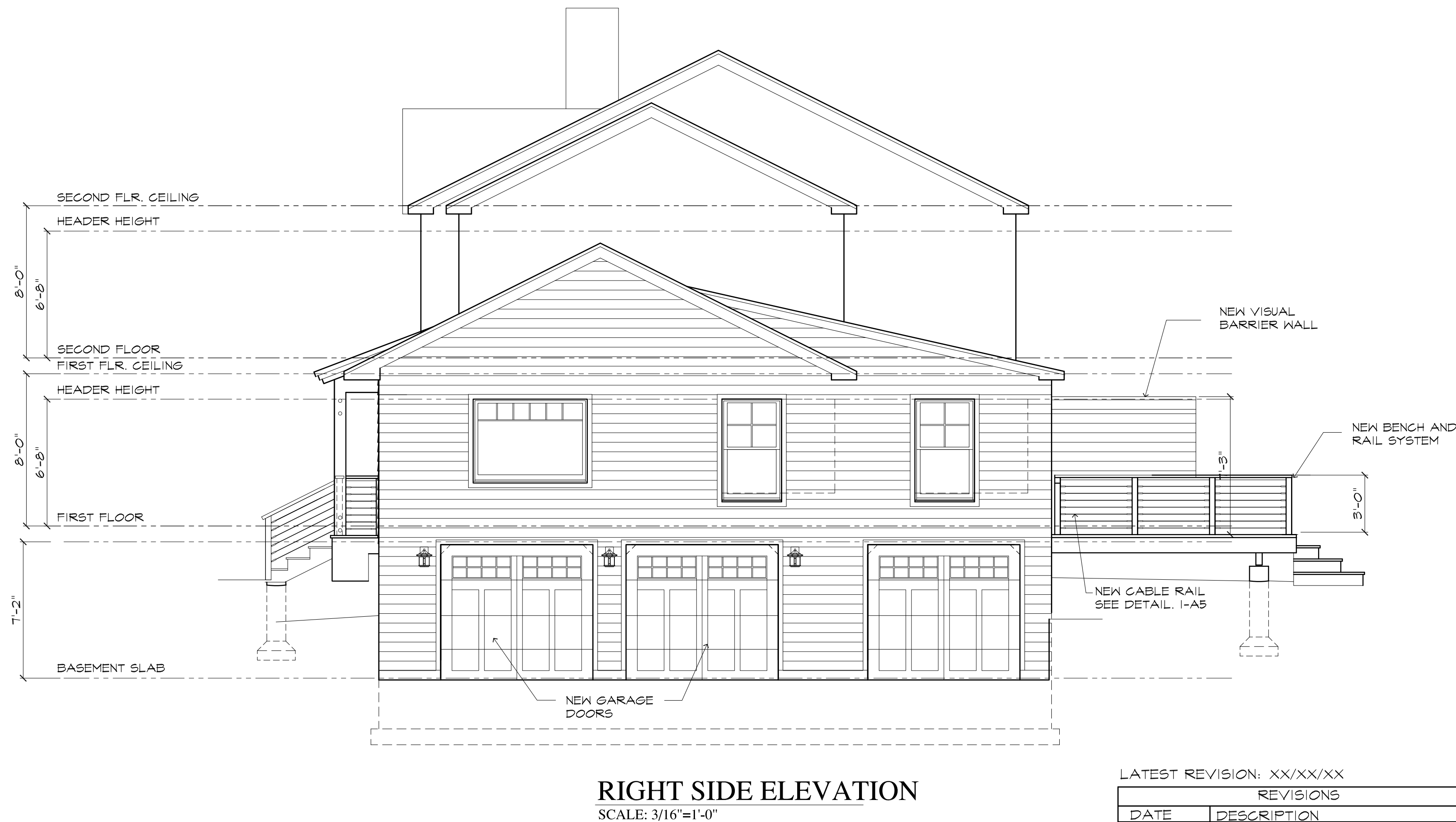
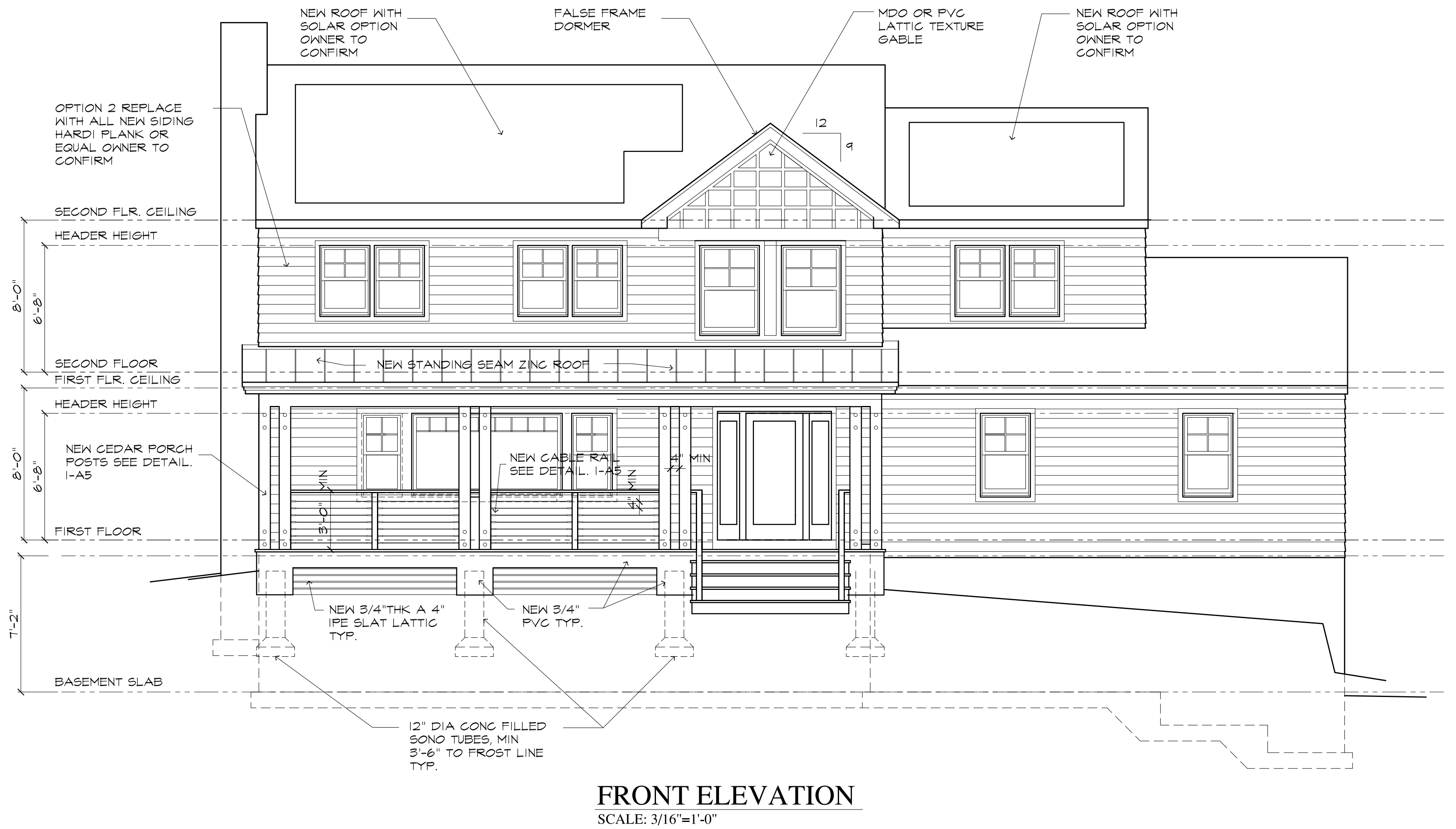
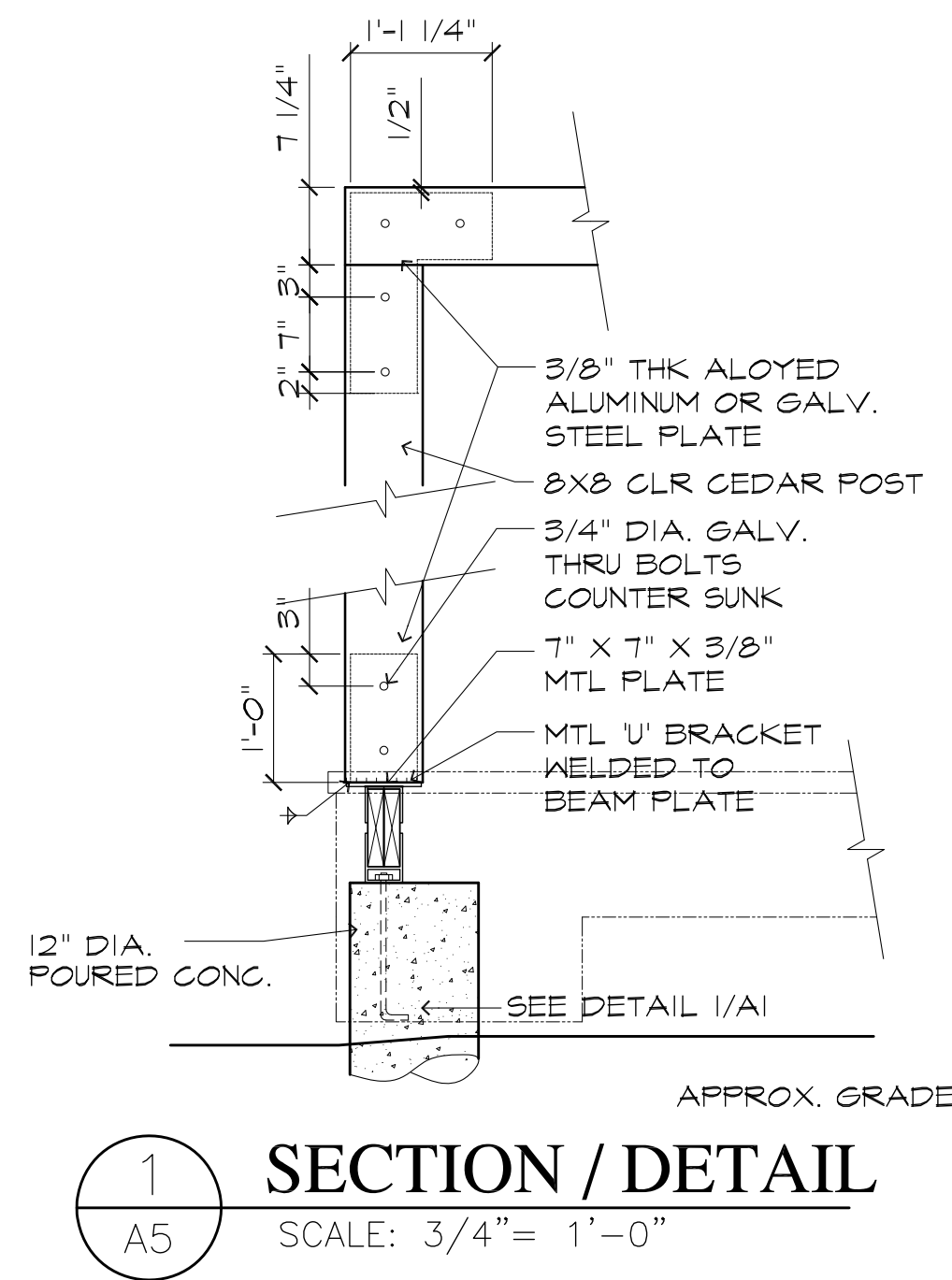
REVISIONS	
DATE	DESCRIPTION

Project PROPOSED ADDITION AND ALTERATION TO RESIDENCE FOR ERIC HELGESEN 26 CAVALRY HILL ROAD, WILTON, CT 06897	
 Douglas Cutler 221 Danbury Road, Wilton, CT 06897	Architects A.I.A. (203) 761-9561

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Drawing Title SECOND FLOOR PLAN		Drawing No.
Project No.	Date Drawn 3/3/2022	Date Revised
Drawn By	Scale 1/4" = 1'-0"	


A3



LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION

Project
PROPOSED ADDITION AND ALTERATION TO RESIDENCE FOR
ERIC HELGESEN
26 CAVALRY HILL ROAD, WILTON, CT 06897

 Douglas Cutler
221 Danbury Road, Wilton, CT 06897

Architects A.I.A.
(203) 761-9561

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Drawing Title
FRONT & RIGHT ELEVATIONS

Drawing No.
A5

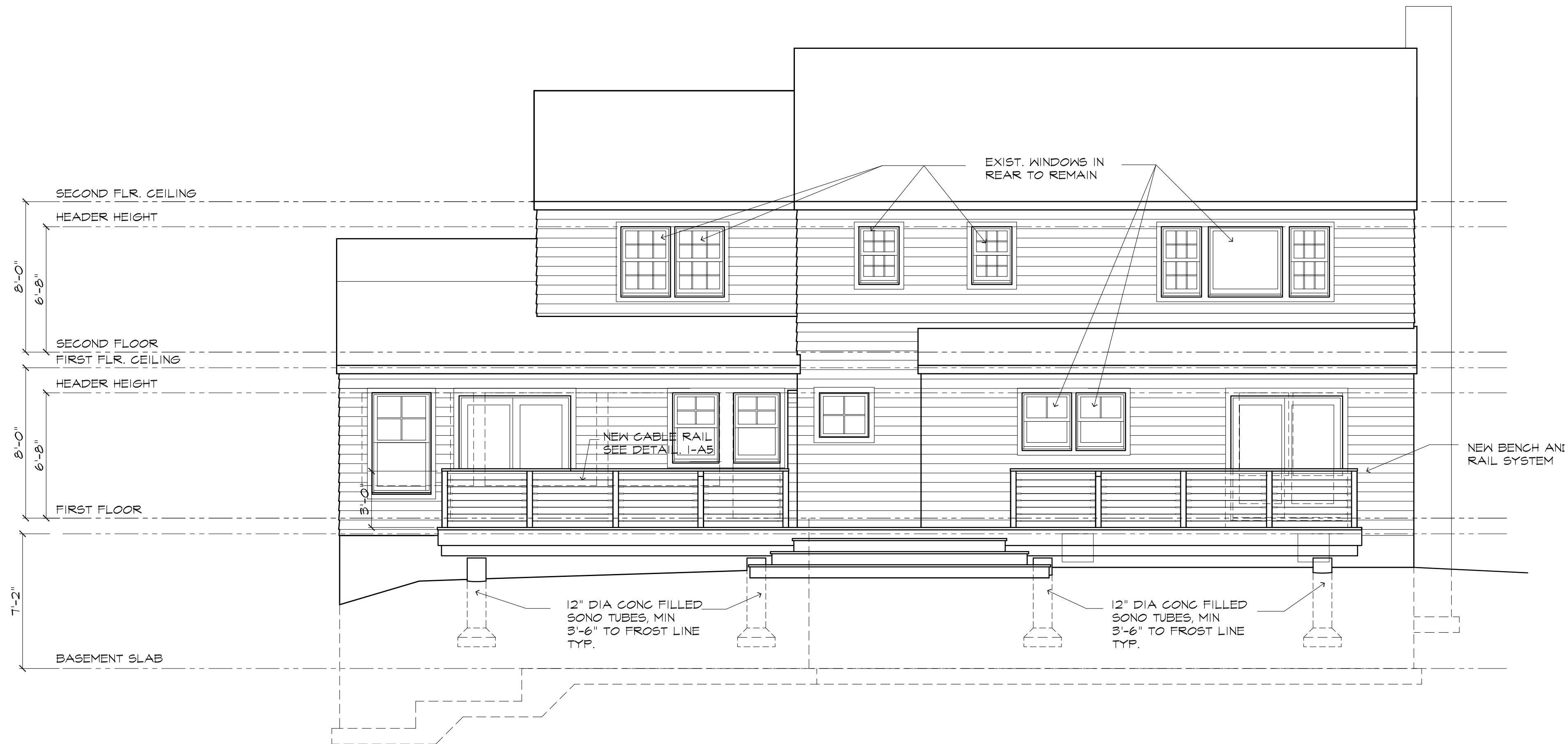
Project No.

Date Drawn
3/3/2022

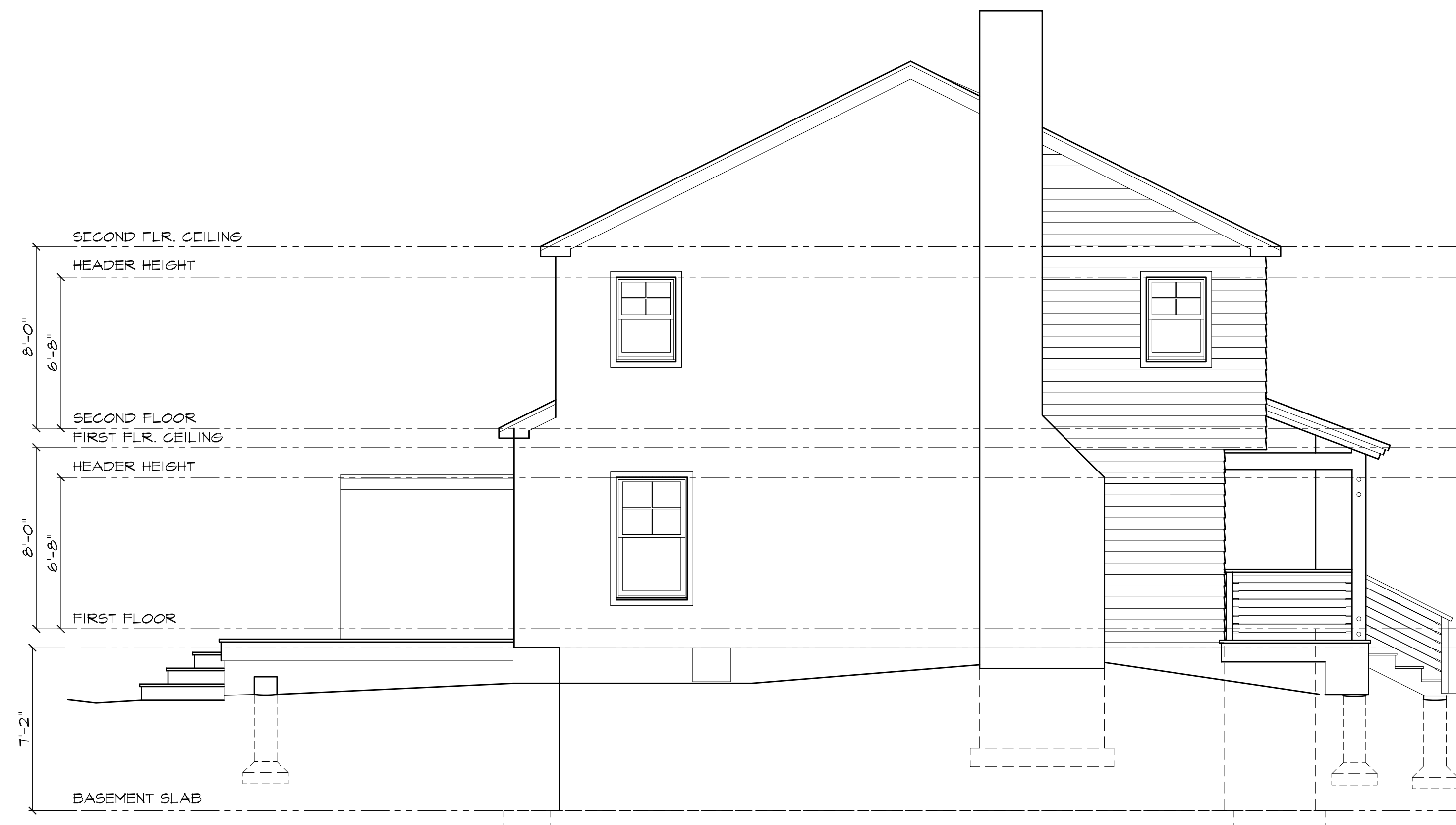
Date Revised

Drawn By

Scale
1/4" = 1'-0"



REAR ELEVATION
SCALE: 3/16"=1'-0"




LEFT SIDE ELEVATION
SCALE: 3/16"=1'-0"

LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION

Project
PROPOSED ADDITION AND ALTERATION TO RESIDENCE FOR
ERIC HELGESEN
26 CAVALRY HILL ROAD, WILTON, CT 06897

 Douglas Cutler
221 Danbury Road, Wilton, CT 06897
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Drawing Title
REAR & LEFT ELEVATIONS

Project No.

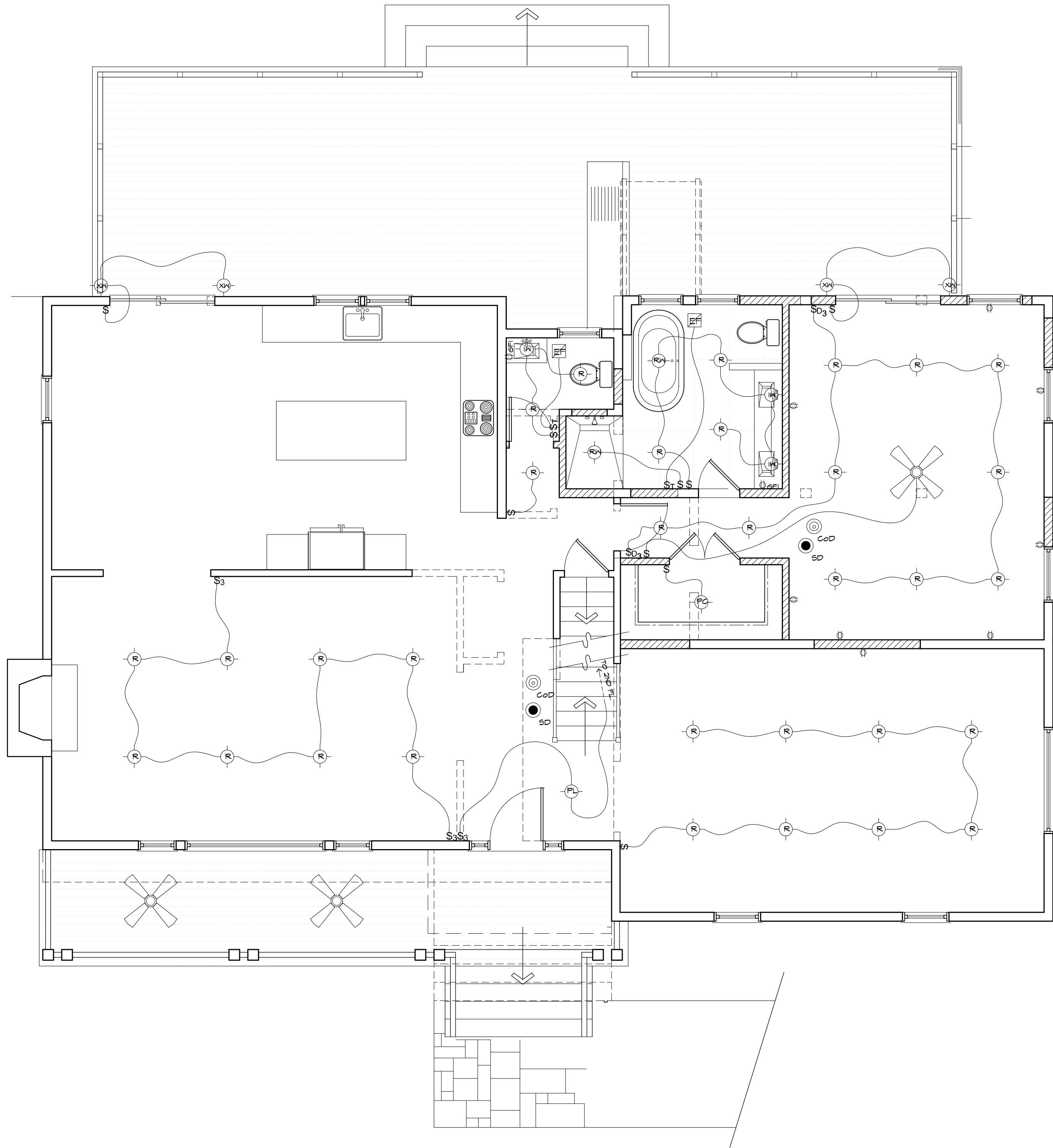
Drawn By

Date Drawn
3/3/2022

Scale
1/4" = 1'-0"

Date Revised

Drawing No.
A6



SYMBOL LEGEND

- DUPLEX RECEPTACLE
- SWITCHED DUPLEX RECEPTACLE
- 240V RECEPTACLE
- WEATHER PROOF GFI
- GROUND FAULT CIRCUIT INTERRUPTER
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- THREE WAY SWITCH W/ DIMMER
- TIMER SWITCH
- VOLUME CONTROL SWITCH
- SWITCH W/ LIGHT SENSOR
- RECESSED LIGHT FIXTURE
- RECESSED HALOGEN LIGHT
- PENDANT LIGHT
- RECESSED WATERPROOF LIGHT
- CEILING MOUNTED W/ PROTECTIVE COVER
- CEILING MOUNTED
- RECESSED W/ PROTECTIVE COVER
- RECESSED WALL WASHER
- HEAT LAMP
- UNDER CABINET FLOOR LIGHT
- ELECTRIC PANEL BOX
- PENDANT LIGHT (WATERPROOF)
- JAMB LIGHT SWITCH
- LANDSCAPE LIGHTING
- COVE LIGHTING
- 2' X 4' FLUORESCENT LIGHT

EXTERIOR WALL MOUNTED ELECTRICEXTERIOR RECESSED CEILING LIGHTINTERIOR WALL MOUNTED LIGHTEXTERIOR FLOOD LIGHTTV JACK RG 9 QUAD SHIELDPHONE JACKCATEGORY 6 CABLE/JACKDOOR CHIMEDOOR BELLINTERCOMCENTRAL VACSPEAKERCEILING FAN W/ LIGHTCARBON MONOXIDE DETECTORAC/DC SMOKE DETECTOREXHAUST FAN MIN 80 CFMEXHAUST FAN W/ LIGHTJUNCTION BOXGARBAGE DISPOSALTHERMOSTATELECTRIC EYE FOR GARAGE DOORINTERIOR SCONCE LIGHT

AS PER 2015 IRC SECTION 313.1, INSTALL SMOKE DETECTORS IN EACH EXISTING BEDROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. SMOKE DETECTORS ARE NOT REQUIRED TO BE INTERCONNECTED UNLESS OTHER REMODELING CONSIDERATIONS REQUIRE REMOVAL OF THE APPROPRIATE WALL AND CEILING COVERINGS TO FACILITATE CONCEALED INTERCONNECTED WIRING.

AS PER 2015 IRC SECTION 313.3, INSTALL AUDIBLE CARBON MONOXIDE DETECTORS OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHEN MORE THAN ONE CARBON MONOXIDE DETECTOR IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE CARBON MONOXIDE DETECTOR WILL ACTIVATE ALL OF THE CARBON MONOXIDE DETECTORS IN THE INDIVIDUAL UNIT.

LATEST REVISION: XX/XX/XX

REVISIONS	
DATE	DESCRIPTION

Project
PROPOSED ADDITION AND ALTERATION TO RESIDENCE FOR
ERIC HELGESEN
26 CAVALRY HILL ROAD, WILTON, CT 06897

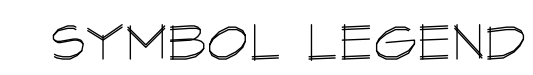
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Drawing Title
**FIRST FLOOR
ELECTRICAL PLAN**


Project No. Date Drawn Date Revised
3/3/2022
Drawn By Scale
1/4" = 1'-0"

Drawing No.
E1



- AS PER 2015 IRC SECTION 313.1, INSTALL SMOKE DETECTORS IN EACH EXISTING BEDROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. SMOKE DETECTORS ARE NOT REQUIRED TO BE INTERCONNECTED UNLESS OTHER REMODELING CONSIDERATIONS REQUIRE REMOVAL OF THE APPROPRIATE WALL AND CEILING COVERINGS TO FACILITATE CONCEALED INTERCONNECTED WIRING.
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[illegible]

 Douglas Cutler Architects A.I.A.
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<h1 style="margin: 0;">SECOND FLOOR ELECTRICAL PLAN</h1>		
Drawing Title	Date Drawn <div style="text-align: center; font-size: 1.2em;">3/3/2022</div>	Date Revised
Drawn By	Scale <div style="text-align: center; font-size: 1.2em;">1/4" = 1'-0"</div>	

E2