

WILTON ZONING BOARD OF APPEALS - RESIDENTIAL VARIANCE APPLICATION - ZBA#
--

Please consult the Zoning Regulations when applying for a variance, particularly Section 29-13.

Please TYPE or print clearly... (See last 2 pages for brief explanation.)

APPLICANT'S NAME

ADDRESS

OWNER'S NAME

ADDRESS

PROPERTY LOCATION

ZONING DISTRICT

WLR MAP#

VOLUME

PAGE

TAX MAP #

LOT #

ACREAGE

VARIANCE DESCRIPTION: In the space below, please state concisely the section(s) of the Zoning Regulations proposed to be varied and the specific variance requested (i.e: Request a variance of Section 29-__ to allow ____ (an addition, a pool, average lot width, or whatever) with ____ in lieu of the required _____. For instance, a variance request for a building addition that encroaches into the required fifty foot rear setback area by 7 feet would read as follows: "Request a variance of Section 29-5.D to allow a building addition with a 43 foot rear yard setback in lieu of the required 50 feet." ATTACH SEPARATE SHEETS AS REQUIRED.

HARDSHIP DESCRIPTION: In the space below, state the specific conditions pertaining to the perceived "exceptional difficulty or unusual hardship" with respect to the parcel of land, not generally encountered within the zoning district, which would make development in full accordance with the existing Zoning Regulations extremely difficult. ATTACH SEPARATE SHEETS AS REQUIRED.

THE FOLLOWING MATERIALS ARE REQUIRED:

- * Please see **SPECIAL INSTRUCTIONS DURING COVID** at: [Application Forms / Materials | Wilton CT](#)
* All submitted plans and documents shall bear an **original signature, seal, and license number** of the professional responsible for preparing each item. Maps should be **folded, not rolled**.

____ **APPLICATION FORM**

____ **A-2 SURVEY** of the subject property showing all existing building and site conditions.

____ **SITE DEVELOPMENT PLAN** showing all proposed additions, amendments and/or site improvements, including building elevations, septic systems, wells, and all measurements pertaining to the application, such as location and distance(s) of proposed structures and/or improvements from the subject property lines.

____ **LOCATION MAP** - available here: [map.pdf \(wiltonct.org\)](#). Site location shall be identified on map.

____ **DIRECTIONS** to subject property from Town Hall, 238 Danbury Road, Wilton, CT (e.g. hand-written, computer-generated or similar).

____ **LIST OF PREVIOUS ZONING VARIANCES** – available here: [History of Previous Variances | Wilton CT](#)

____ **PHOTOGRAPHS** of property showing building and site conditions from all geographic perspectives.

____ **ONE COPY OF DEED** (Available in Town Clerk's Office)

____ **LIST OF OWNERS WITHIN 500'** of any portion of the subject property as shown by Tax Map & Lot #.
[See online GIS instructions at: [owner list 500 ft gis directions 0.pdf \(wiltonct.org\)](#)]

____ **ENVELOPES**, addressed to each property owner within 500' of any portion of subject property.
[See "Envelopes Instructions" at: [envelopes instructions.pdf \(wiltonct.org\)](#)]

____ **ELECTRONIC SUBMISSION** of all materials (**Consolidated into 1-2 PDFs Maximum**), emailed to [michael.wrinn@wiltonct.org](#) and [daphne.white@wiltonct.org](#)

____ **TWO #10 (4"x 9.5") PLAIN ENVELOPES** addressed to the applicant (No Return Address)

____ **\$310 FILING FEE** payable to: Town of Wilton

IS THE SUBJECT PROPERTY LOCATED WITHIN 500 FEET OF THE **MUNICIPAL BORDER**? YES or **No**

IS THE SUBJECT PROPERTY LOCATED WITHIN THE **PUBLIC WATER SUPPLY WATERSHED BOUNDARY**?
YES or **NO** [If YES, see DPH Addendum Form here: [watercompanyanddpnotification.pdf \(wiltonct.org\)](#)]

IS THE SUBJECT PROPERTY LOCATED IN THE **FLOOD PLAIN**? **Yes** YES or NO

WHEN WAS THE SUBJECT PROPERTY **PURCHASED**? _____

IN WHAT YEAR WAS THE MAIN STRUCTURE **CONSTRUCTED**? _____

SITE COVERAGE PROPOSED: _____
(AS PERCENTAGE OF SITE)

BUILDING COVERAGE PROPOSED: _____
(AS PERCENTAGE OF SITE)

THE APPLICANT understands that this application is to be considered complete only when all information and documents required by the Board have been submitted.
THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief; and hereby grants visitation and inspection of the subject property as described herein.



APPLICANT'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE

OWNER'S SIGNATURE DATE EMAIL ADDRESS TELEPHONE

PINNEY, PAYNE, VAN LENTEN, BURRELL, WOLFE & DILLMAN, P.C.

ATTORNEYS AT LAW

26 WEST STREET

POST OFFICE BOX 650

DANBURY, CONNECTICUT 06810

(203) 743-2721

A. SEARLE PINNEY
BOBBY S. PAYNE
THOMAS W. VAN LENTEN
HUGH A. BURRELL
ROBERT J. WOLFE
JOHN M. DILLMAN
WILLIAM S. STEELE, JR.
JEFFREY S. SIENKIEWICZ
TED D. BACKER**

JAMES H. MALONEY
MICHAEL S. McKENNA
ALFRED P. FORINO

Nancy R. Sienkiewicz

NEW MILFORD OFFICE
46 MAIN STREET
NEW MILFORD, CONNECTICUT 06776
(203) 355-1181

RIDGEFIELD OFFICE
401 MAIN STREET
RIDGEFIELD, CONNECTICUT 06877
(203) 438-3726

COUNSEL
THOMAS L. CHENEY

January 24, 1986

PLEASE REPLY TO: New Milford

*ALSO ADMITTED IN VA
**ALSO ADMITTED IN D.C. AND NY

George R. Sullivan, Jr., Chairman
Zoning Board of Appeals
Town of New Milford
24 Church Street
New Milford, Ct. 06776

RE: Notification of Property Owners of
Variable Application by DOT

Dear Mr. Sullivan:

I have researched the issue of whether property owners whose land is to be condemned by a state agency must consent to the agency's application for a variance. The answer is clearly, no. Section 48-24 of the General Statutes gives the condemning authority the power to obtain a variance for the portion of property which will remain after the taking. In Smith v. Zoning Board of Appeals, 174 Conn. 323 (1978), where the plaintiff property owners were neither notified of nor consented to the application for a variance, the Connecticut Supreme Court stated:

The remaining issue in this appeal is the plaintiff's claim that the granting of a variance without their consent violates their constitutional right to just compensation by forcing them to assume the financial risk of structural alteration or sale of property subject to a variance. We disagree. The plaintiffs' claims for consequential damages to the remaining land resulting from the partial taking could be considered by a trier of fact under General Statutes Section 13a-76. Damages would be calculated by subtracting the

PINNEY, PAYNE, VAN LENTEN, BURRELL, WOLFE & DILLMAN, P.C.

George R. Sullivan, Jr.

-2-

January 23, 1986

market value of the remainder after the taking from the market value of the property just prior to the taking. Laurel, Inc. v. State, 169 Conn. 195, 205, 362 A.2d. 1383; Meriden v. Highway Commissioner, 169 Conn. 655, 660, 363 A.2d. 1094.

Mr. Douglas Hummel of the Department of Transportation plans to notify the record owners of the property to be condemned for the Lower Grove Street connection of the variance applications by certified mail. This method of notification is obviously sufficient. The Board should consider the variance applications submitted by the Department of Transportation under these circumstances.

Sincerely,
Jeffrey B. Sienkiewicz
New Milford Town Counsel

By _____
Nancy R. Sienkiewicz

NR8/lc

cc: Douglas Hummel

State of Connecticut



JOSEPH I. LIEBERMAN
ATTORNEY GENERAL

Office of The Attorney General
90 BRAINARD ROAD
HARTFORD, CT 06114

Telephone: 566-2257

February 28, 1986

Douglas M. Hummel
Assistant Property Agent
Office of Rights of Way
Department of Transportation
24 Wolcott Hill Road
Wethersfield, CT 06109

Dear Mr. Hummel:

With reference to our conversation concerning Conn. Gen. Stat. § 48-24 as of this date I have examined an opinion letter dated January 24, 1986 by the law firm of Pinney, Payne, Van Lenten, Burrell, Wolfe & Dillman, P.C. addressed to the chairman of the New Milford Zoning Board of Appeals.

Please be informed that I am completely in agreement with said opinion.

Very truly yours,

JOSEPH I. LIEBERMAN
ATTORNEY GENERAL

BY: 

Paige Everin
Assistant Attorney General

PE:rw

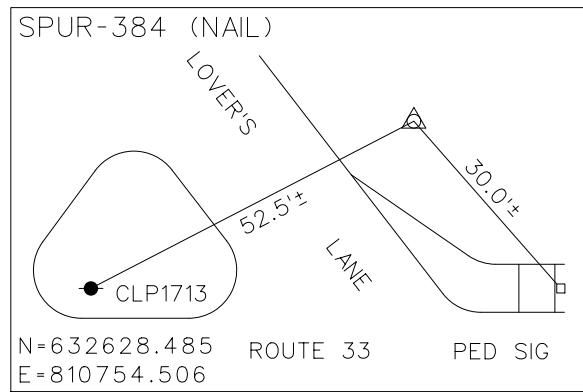
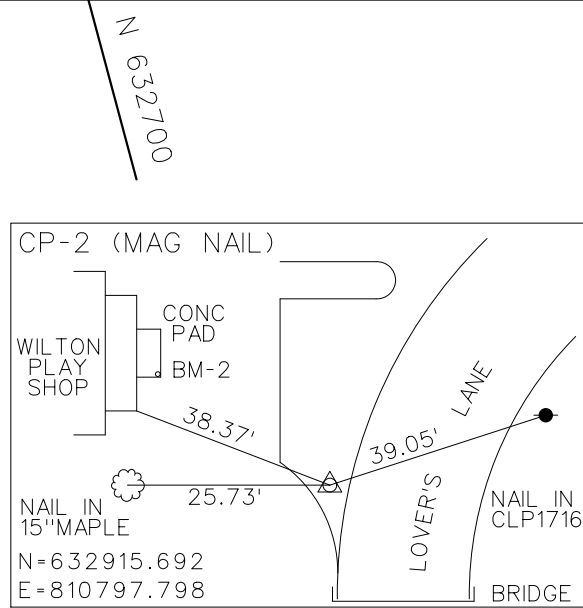
Sec. 48-24. Condemning authority to obtain zoning variance for portion of property not taken or take entire unit. A condemning authority, if acquiring less than the total amount of a single unit of contiguous property, shall, if the remaining portion of such property does not conform to the area requirements of existing zoning regulations, obtain a zoning variance for such remaining portion of property from the local zoning board of appeals before condemning any portion of such property. If such variance is not obtained prior to the taking by the condemning authority, the owner or owners of such single unit of contiguous property shall be reimbursed for the total amount of such unit and the condemning authority shall take title in fee simple to the entire unit of contiguous property.

(1961, P.A. 387; 1963, P.A. 79; 1971, P.A. 208, S. 1.)

History: 1963 act specified that condemning authority takes title in fee simple to entire unit of contiguous property where variance is not obtained before condemning authority takes occupancy; 1971 act required that variance be obtained for portion of property not to be taken before any of the property is condemned rather than before any of the property is occupied.

Cited. 168 C. 194. Interpretation of “area requirements” in section. 169 C. 195. Cited. 174 C. 323; 203 C. 675.

Setback violation does not trigger statute, only an area violation does. 46 CS 355.

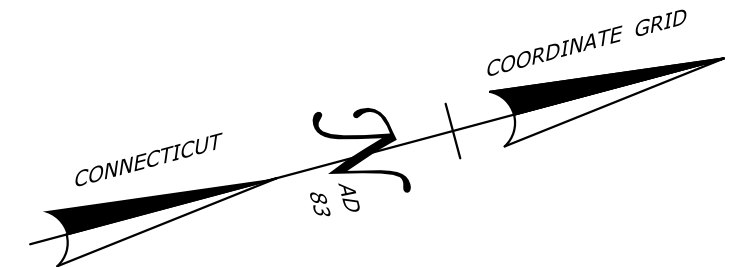


JONATHAN A. FOLTZ ET AL
TAKING AREA = 3,751± SQ. FT.

EASEMENT TO SLOPE FOR THE SAFETY OF THE HIGHWAY AND REMOVE, USE OR RETAIN EXCAVATED MATERIAL ACQUIRED.
EASEMENT AREA = 474± SQ. FT.

EASEMENT TO INSTALL, CONSTRUCT AND MAINTAIN GUIDERAIL AND END ANCHOR ACQUIRED.
EASEMENT = 54± L.F.

RIGHT TO INSTALL SEDIMENTATION CONTROL SYSTEMS ACQUIRED.
RIGHTS = 71± L.F.



PRESENT LOVERS LANE
BASE LINE CURVE #1 DATA

$\Delta = 05^{\circ}16'35''$
 $R = 500.00'$
 $L = 46.05'$
 $T = 23.04'$
 $D = 11^{\circ}27'33''$

APPROXIMATE
SLOPE LIMITS

PROPOSED
GUIDERAIL
AND END
ANCHOR

TEMPORARY
SEDIMENTATION
CONTROL SYSTEM

REMOVE TREE

REMOVE STONE
WALL

APPROXIMATE STREET LINE

BASE LINE
N20° 54'46"E

CURVE #1 +16

PRESENT LOVERS LANE
BASE LINE P.C. STA. 100+87.12
N 632753.45
E 810757.02

PRESENT LOVERS LANE
BASE LINE P.T. STA. 101+33.17
N 632797.16
E 810771.45

PRESENT LOVERS LANE

PRESENT LOVERS LANE
BASE LINE CURVE #2 DATA

$\Delta = 42^{\circ}57'48''$
 $R = 90.00'$
 $L = 67.49'$
 $T = 35.42'$
 $D = 63^{\circ}39'43''$

PRESENT LOVERS LANE
BASE LINE P.C. STA. 102+30.13
N 632890.54
E 810797.59

PRESENT LOVERS LANE
BASE LINE P.T. STA. 102+97.62
N 632943.10
E 810837.37

TEMPORARY
SEDIMENTATION
CONTROL SYSTEM

DIRECTIONAL
LINE

N/F
THE WILTON
CONGREGATIONAL
CHURCH, INC.

CURVE #2

PRESENT LOVERS LANE
BASE LINE CURVE #2 DATA

$\Delta = 42^{\circ}57'48''$
 $R = 90.00'$
 $L = 67.49'$
 $T = 35.42'$
 $D = 63^{\circ}39'43''$

PRESENT LOVERS LANE
BASE LINE P.C. STA. 102+30.13
N 632890.54
E 810797.59

PRESENT LOVERS LANE
BASE LINE P.T. STA. 102+97.62
N 632943.10
E 810837.37

REFERENCES:

- GENERAL LOCATION SURVEY PROVIDED BY CONNDOT DISTRICT 3.
PROJECT NO. 161-142, CADD FILE: SV.D3.161.142.Wilton.Lovers.Lane.
@_Bridge_04975.GRN.dgn
- CONNDOT CONSTRUCTION PROJECT NO. 161-142 ENTITLED: "REPLACEMENT OF BRIDGE NO. 04975 LOVERS LANE OVER COMSTOCK BROOK"
- CONNDOT RIGHT OF WAY MAP NO. 161-09, SHEET 1 OF 1
- CONNDOT RIGHT OF WAY MAP NO. 161-02, SEC. NO. 1, SHEET 1 OF 2
- VOL. 1921, PG. 81 (Q.C.)
- MAP ENTITLED: "MAP OF HISTORIC DISTRICT NO. 2 PREPARED FOR WILTON HISTORIC COMMISSION WILTON, CONNECTICUT", SCALE 1"=60', DATED OCT. 1, 1970 (MAP NO. 2992 W.L.R.)

NOTES:

- THIS SURVEY AND MAP HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THROUGH 20-300B-20, THE "MINIMUM STANDARDS OF ACCURACY, CONTENT & CERTIFICATION FOR SURVEYS AND MAPS," AS AMENDED OCTOBER 26, 2018. IT IS A RIGHT OF WAY SURVEY AND IS INTENDED TO DEPICT THE LIMITS OF THE PROPERTY TRANSACTION FOR THE PROJECT REFERENCED HEREON. THE BASE LINE FROM WHICH THIS PROPERTY TRANSACTION IS REFERENCED CONFORMS TO CLASS A-2 HORIZONTAL ACCURACY.
- THE FEATURES DEPICTED ARE THE RESULT OF THE GENERAL LOCATION SURVEY FOR THE PROJECT OR AS REFERENCED HEREON.
- THE PROPERTY AND STREET LINES DEPICTED CONFORM TO CLASS D ACCURACY. THEY HAVE BEEN COMPILED FROM VARIOUS SOURCES AND ARE NOT TO BE CONSTRUED AS NECESSARILY BEING THE RESULT OF A FIELD SURVEY, NOR DO THEY REPRESENT A PROPERTY/BOUNDARY OPINION.

DRAWN BY DPH
DATE 05/10/2022
CHECKED BY KJC
DATE 05/19/2022

SCALE IN FEET

20 0 20 40

DATE	REVISION	REQ. BY

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

VOID WITHOUT LIVE SIGNATURE AND EMBOSSED SEAL

PLS #18823

TOWN NO. 161

PROJECT NO. 161-142 CHRISTINE E. AUBREY, P.L.S.

SERIAL NO. 1 TITLE MANAGER - SURVEY OPERATIONS

SHEET 1 OF 1 DATE _____

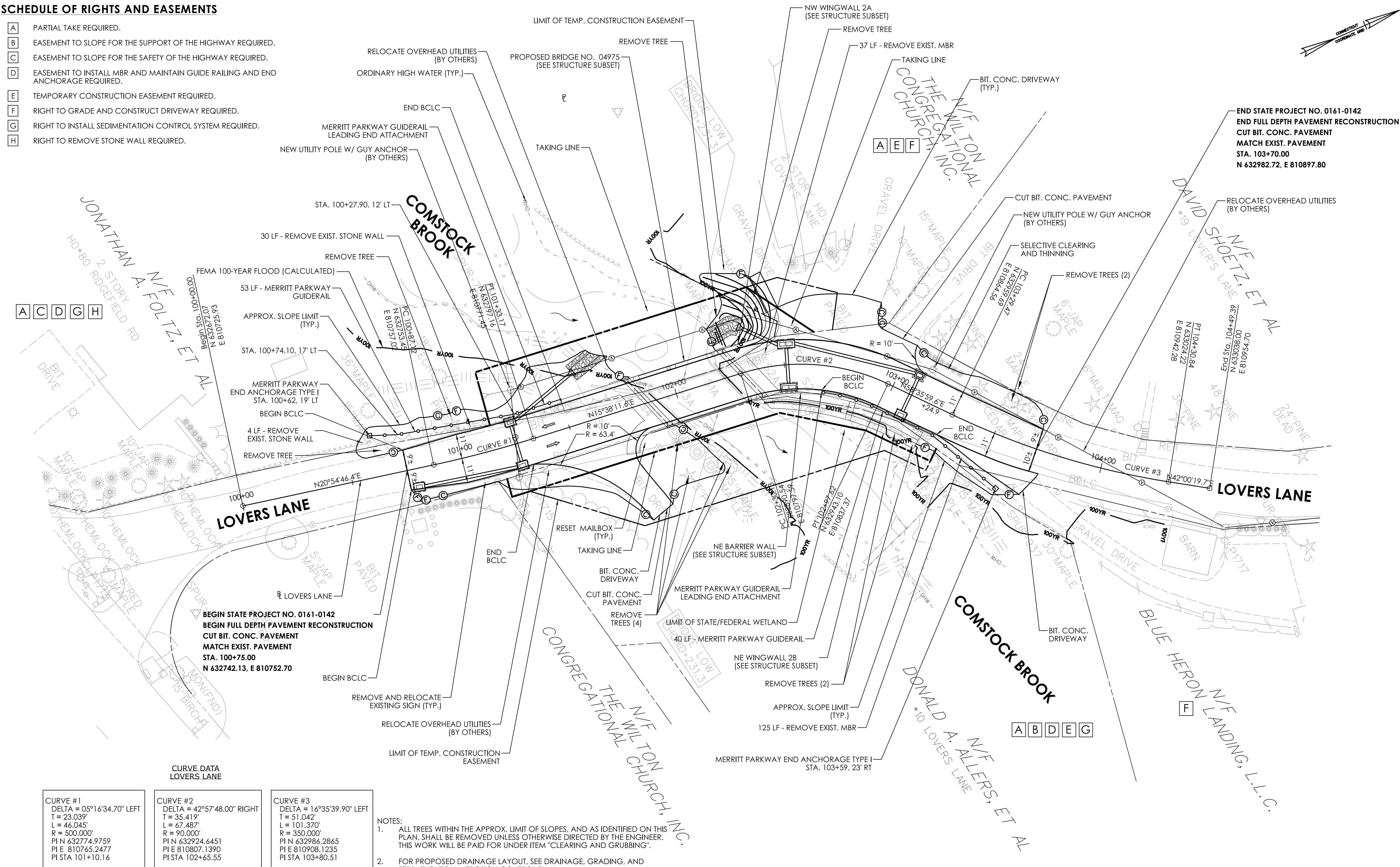
RIGHT OF WAY SURVEY

TOWN OF WILTON
MAP SHOWING LAND ACQUIRED FROM
JONATHAN A. FOLTZ ET AL

BY
THE STATE OF CONNECTICUT
DEPARTMENT OF TRANSPORTATION
REPLACEMENT OF BRIDGE NO. 04975
LOVERS LANE OVER COMSTOCK BROOK
SCALE 1"=20' JUNE 2022
SCOTT A. HILL, P.E.
CHIEF ENGINEER - BUREAU OF ENGINEERING AND CONSTRUCTION

SCHEDULE OF RIGHTS AND EASEMENTS

- [A] PARTIAL TAKE REQUIRED.
[B] EASEMENT TO SLOPE FOR THE SUPPORT OF THE HIGHWAY REQUIRED.
[C] EASEMENT TO SLOPE FOR THE SAFETY OF THE HIGHWAY REQUIRED.
[D] EASEMENT TO INSTALL MBR AND MAINTAIN GUIDE RAILING AND END ANCHORAGE REQUIRED.
[E] TEMPORARY CONSTRUCTION EASEMENT REQUIRED.
[F] RIGHT TO GRADE AND CONSTRUCT DRIVEWAY REQUIRED.
[G] RIGHT TO INSTALL SEDIMENTATION CONTROL SYSTEM REQUIRED.
[H] RIGHT TO REMOVE STONE WALL REQUIRED.



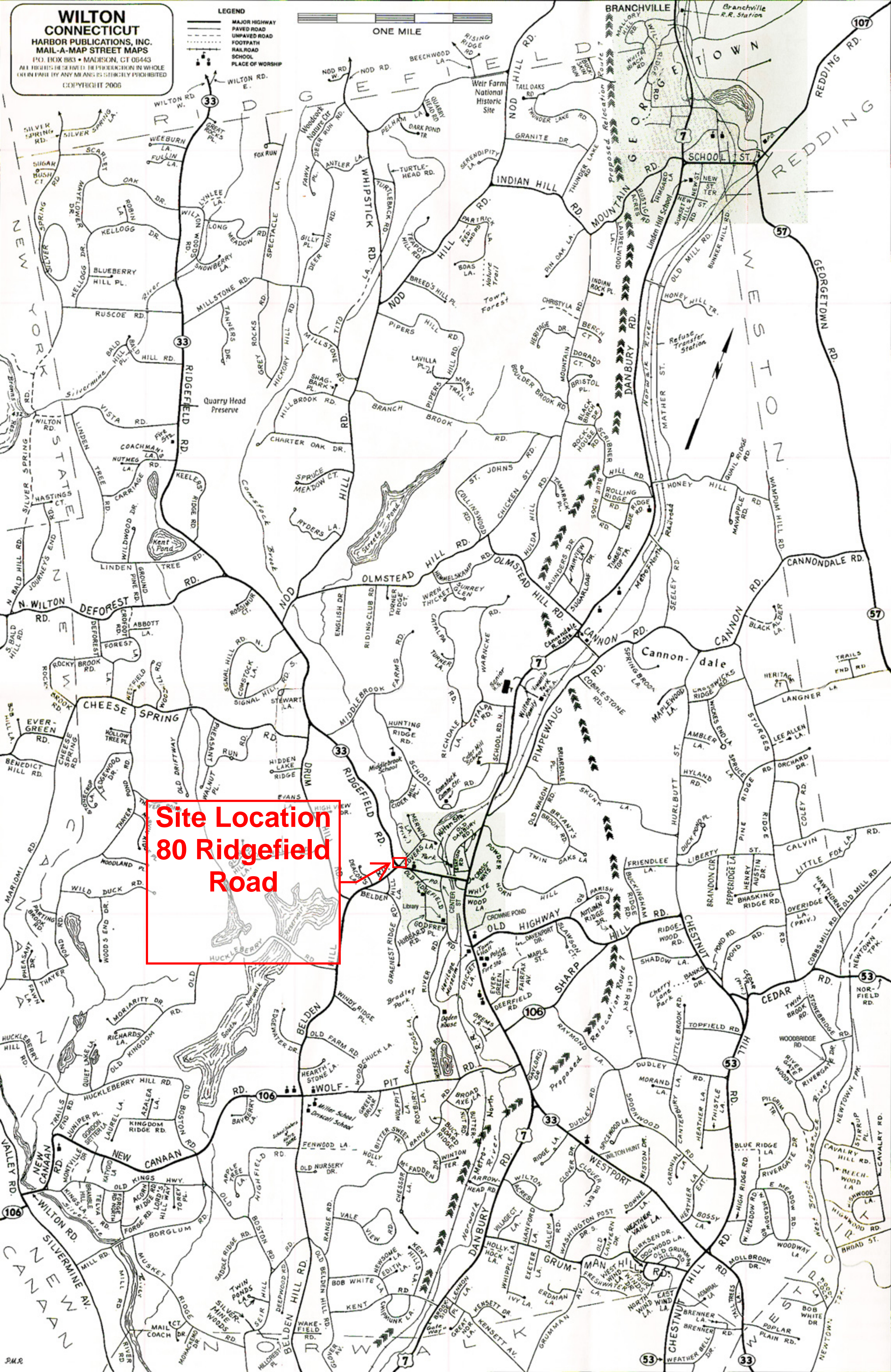
CURVE #1 DELTA = 05°16'34.70" LEFT T = 23.039' L = 46.045' R = 500.000' PI N 632774.9759 PI E 810765.2477 PI STA 101+10.16	CURVE #2 DELTA = 42°57'48.00" RIGHT T = 35.419' L = 67.487' R = 90.000' PI N 632924.6451 PI E 810807.1390 PI STA 102+65.55	CURVE #3 DELTA = 16°35'39.90" LEFT T = 51.042' L = 101.370' R = 350.000' PI N 632986.2865 PI E 810908.1235 PI STA 103+80.51
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- NOTES:
- ALL TREES WITHIN THE APPROX. LIMIT OF SLOPES, AND AS IDENTIFIED ON THIS PLAN, SHALL BE REMOVED UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THIS WORK WILL BE PAID FOR UNDER ITEM "CLEARING AND GRUBBING".
 - FOR PROPOSED DRAINAGE LAYOUT, SEE DRAINAGE, GRADING, AND SEDIMENTATION & EROSION CONTROL PLAN.

WILTON CONNECTICUT
HARBOR PUBLICATIONS, INC.
MAIL-A-MAP STREET MAPS
P.O. BOX 883 • MADISON, CT 06443
ALL RIGHTS RESERVED. THE PRODUCTION IN WHOLE OR IN PART BY ANY MEANS IS STRICTLY PROHIBITED.
COPYRIGHT 2008

LEGEND
MAJOR HIGHWAY
PAVED ROAD
UNPAVED ROAD
FOOTPATH
RAILROAD
SCHOOL
PLACE OF WORSHIP

ONE MILE

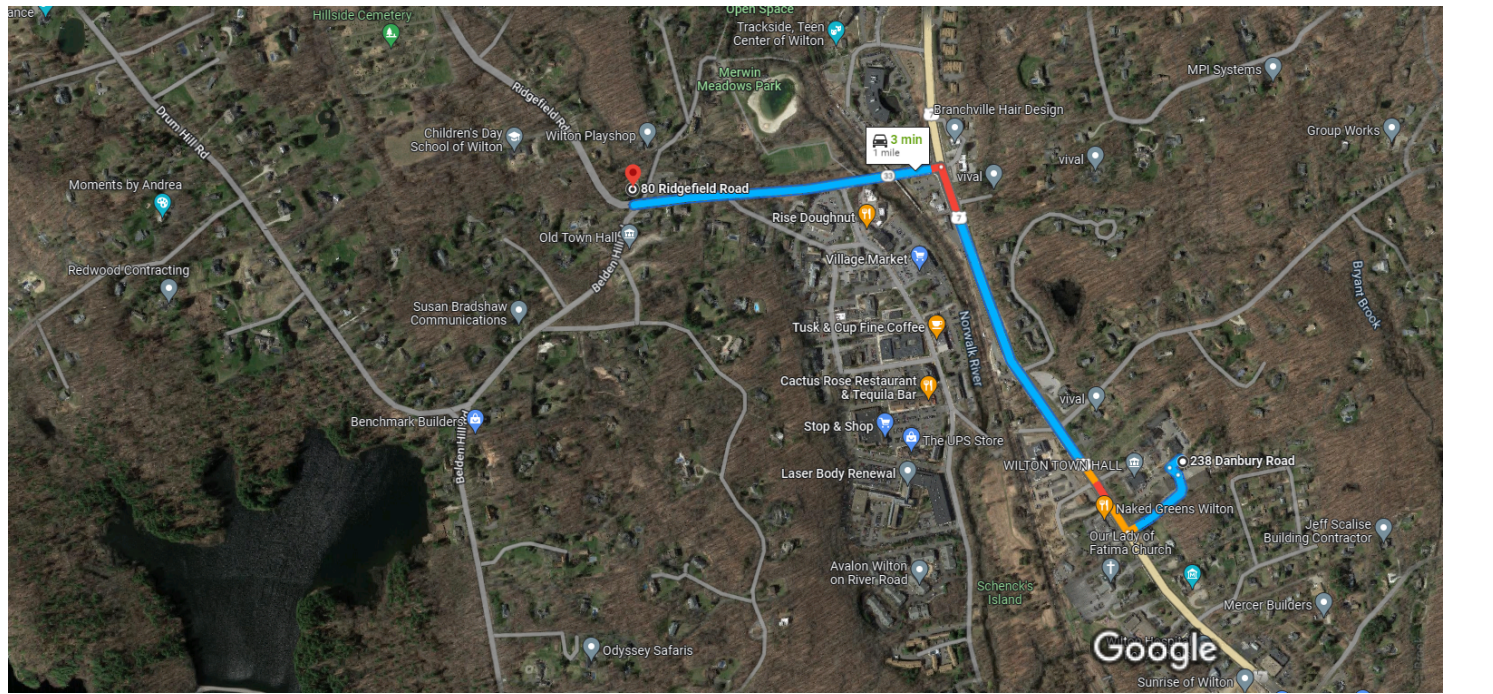


**Site Location
80 Ridgefield
Road**

Google Maps

238 Danbury Rd, Wilton, CT 06897 to 80 Ridgefield Rd, Wilton, CT 06897

Drive 1.0 mile, 3 min



Imagery ©2022 Google, Imagery ©2022 CNES / Airbus, Maxar Technologies, New York GIS, USDA/FPAC/GEO, Map data ©2022

500 ft

238 Danbury Rd
Wilton, CT 06897

- ↑

1. Head southwest toward US-7 N

89 ft
- ↶

2. Turn left toward US-7 N

72 ft
- ↷

3. Turn right toward US-7 N

0.1 mi
- ↷

4. Turn right onto US-7 N

0.5 mi
- ↶

5. Turn left onto CT-33 N

i

Destination will be on the right

0.4 mi

80 Ridgefield Rd
Wilton, CT 06897

These directions are for planning purposes only. You may find that construction projects, traffic, weather, or other events may cause conditions to differ from the map results, and you should plan your route accordingly. You





Lovers



2-2-07

Form 64 Connecticut QUIT CLAIM DEED. Revised 3 / 99

000102889 Bk: 01921
Pg: 00081DEED U. S. PATENT OFFICE
JAMES. NUTLAND, VT 05702**To all People to Whom these Presents shall Come, Greeting:**

Know Ye, That We, Jonathan A. Foltz and Isabel Foltz of the Town of Wilton, County of Fairfield and State of Connecticut,

for the consideration of One Dollar and other valuable consideration (\$1.00) received to our full satisfaction of Jonathan A. Foltz and Isabel Foltz

do remise, release, and forever QUITCLAIM unto the said Jonathan A. Foltz and Isabel Foltz, as tenants-in-common,

heirs and assigns forever, all the right, title, interest, claim and demand whatsoever as

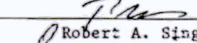
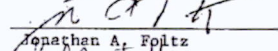
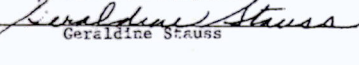
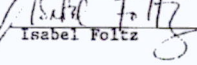
we the said releasor have or ought to have in or to

ALL THAT CERTAIN tract of land together with the buildings and improvements thereon situated in the Town of Wilton, County of Fairfield and State of Connecticut, shown and designated as "Kate G Winton 1.340 Ac." on a certain map entitled "Map of Historic District No. 2 Prepared for Wilton Historic Commission Wilton, Connecticut Scale 1" = 60' October 1, 1970 by Roland H Gardner, Land Surveyor, Wilton, Connecticut." Certified Substantially Correct by Roland H Gardner, Connecticut Reg. No. 5179, which map is on file in the Office of the Town Clerk of the Town of Wilton bearing File No. 2992.

"No Conveyance Tax Collected"
Bette Joan Rasognetti
TOWN CLERK OF WILTON

To Have and to Hold the premises, with all the appurtenances, unto the said Releasee their heirs and assigns forever, so that neither we the Releasor nor our heirs nor any other person under us or them shall hereafter have any claim, right or title in or to the premises, or any part thereof, but therefrom we and they are by these presents forever barred and excluded.

In Witness Whereof, we have hereunto set our hands and seal this 2nd day of February A.D. 2007
Signed, Sealed and Delivered in presence of

		LS
Robert A. Singewald	Jonathan A. Foltz	
		LS
Geraldine Strauss	Isabel Foltz	
		LS

State of Connecticut, } ss. Wilton
County of Fairfield }

On this the 2nd day of February, 2007, before me, Robert A. Singewald, the undersigned officer, personally appeared Jonathan A. Foltz and Isabel Foltz known to me (or satisfactorily proven) to be the person whose names are subscribed to the within instrument and acknowledged that they executed the same for the purposes therein contained.

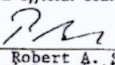
In Witness Whereof, I hereunto set my hand and official seal.

Latest address of Grantee:

No. and Street 80 Ridgefield Road

City Wilton

State CT Zip 06897


Robert A. Singewald
Commissioner of the Superior Court

Title of Officer

RECEIVED FOR RECORD 02/02/2007

AT 02:46:27PM

ATTEST: Bette Joan Rasognetti

TOWN CLERK

TOWN OF WILTON, CONNECTICUT

Parcel ID	Site Address	Owner Name	Mailing Address	Mailing City	Mailing State	Mailing Zip
73-43	67 RIDGEFIELD RD	EPSTEIN SAMANTHA	67 RIDGEFIELD RD	WILTON	CT	06897- 0000
74-1	65 RIDGEFIELD RD	ROWLEY DONALD W & BETH L	65 RIDGEFIELD RD	WILTON	CT	06897- 0000
74-2	69 RIDGEFIELD RD	WILTON TOWN OF	238 DANBURY RD	WILTON	CT	06897- 0000
74-3	108 RIDGEFIELD RD	BEST CARI	108 RIDGEFIELD RD	WILTON	CT	06897- 0000
74-4	98 RIDGEFIELD RD	HALSEY SAMUEL L & CLAUDIA U TR	25 BOAS LA	WILTON	CT	06897- 0000
74-5	80 RIDGEFIELD RD	FOLTZ JONATHAN A & ISABEL	80 RIDGEFIELD RD	WILTON	CT	06897- 0000
74-6	LOVERS LA	WILTON CONGREGATIONAL CHURCH	70 RIDGEFIELD RD	WILTON	CT	06897- 0000
74-7	19 LOVERS LA	SCHOETZ DAVID & ADRIENNE	19 LOVERS LA	WILTON	CT	06897- 0000
74-8	23 MERWIN LA	ANASTOS DENNIS W & TERESA M	23 MERWIN LA	WILTON	CT	06897- 0000
74-12	33 LOVERS LA	48 WEST NORWALK ROAD LLC	33 LOVERS LA	WILTON	CT	06897- 0000
74-15	34 LOVERS LA	WILTON TOWN OF	238 DANBURY RD	WILTON	CT	06897- 0000
74-16	26 LOVERS LA	BLUE HERON LANDING LLC	26 LOVERS LA	WILTON	CT	06897- 0000
74-17	10 LOVERS LA	ALLERS DONALD A & EILEEN P	10 LOVERS LA	WILTON	CT	06897- 0000
74-18	70 RIDGEFIELD RD	WILTON CONGREGATIONAL CHURCH	70 RIDGEFIELD RD	WILTON	CT	06897- 0000
88-34	30 DEACONS LA	SINCHAK MARLA J	30 DEACONS LA	WILTON	CT	06897- 0000
88-35	22 DEACONS LA	SOMMER GREGORY & CHRISTINA	22 DEACONS LA	WILTON	CT	06897- 0000
88-36	11 BELDEN HILL RD	DAWSON THOMAS M & JERRE C	11 BELDEN HILL RD	WILTON	CT	06897- 0000
88-36-1	16 DEACONS LA	SPIRER ALAN R & JENNIFER J	16 DEACONS LA	WILTON	CT	06897- 0000
88-37	87 RIDGEFIELD RD	CLUNE DAVID K & ROBIN D	87 RIDGEFIELD RD	WILTON	CT	06897- 0000
88-38	111 RIDGEFIELD RD	CHILDRENS DAY SCHOOL OF WILTON INC	111 RIDGEFIELD RD	WILTON	CT	06897- 0000
88-45	77 RIDGEFIELD RD	WILTON CONGREGATIONAL CHURCH	70 RIDGEFIELD RD	WILTON	CT	06897- 0000
88-46	4 BELDEN HILL LA	GORMAN MICHAEL J &	4 BELDEN HILL LA	WILTON	CT	06897- 0000
88-47	3 BELDEN HILL LA	GARLOCK DAVID	3 BELDEN HILL LA	WILTON	CT	06897- 0000
88-38-39	165 RIDGEFIELD RD	WILTON CONGREGATIONAL CHURCH	70 RIDGEFIELD RD	WILTON	CT	06897- 0000